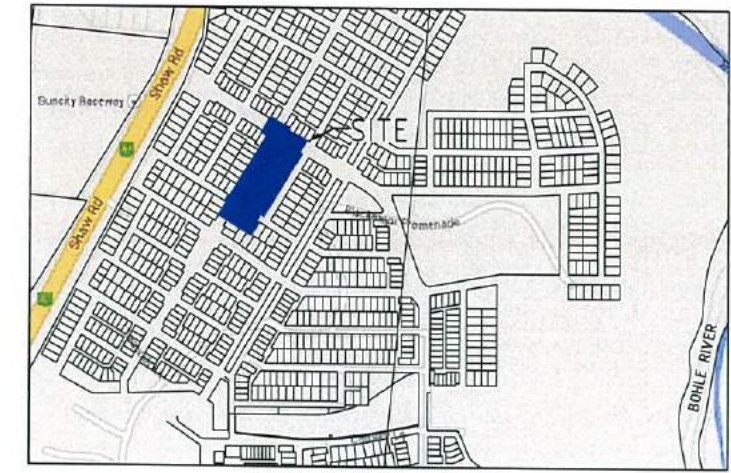




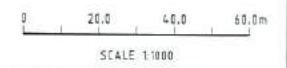
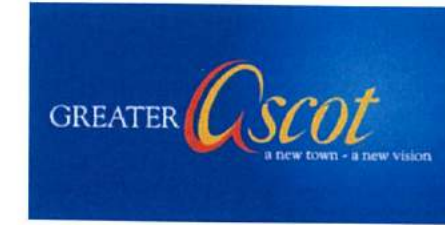
SITE PLAN
SCALE 1:1000



LOCALITY PLAN
NTS

DRAWING SCHEDULE

NO.	NAME
AS-CONSTRUCTED SET DRAWINGS	
PAR073/100	LOCALITY, SITE PLAN & DRAWING SCHEDULE
PAR073/101	EARTHWORKS LAYOUT PLAN
PAR073/102	ROADWORKS & STORMWATER DRAINAGE PLAN
PAR073/103	GREATER ASCOT AVENUE LONGITUDINAL & TYPICAL CROSS SECTIONS
PAR073/104	BURLINGS BOULEVARD LONGITUDINAL & TYPICAL CROSS SECTIONS
PAR073/105	CRANBOURNE STREET LONGITUDINAL & TYPICAL CROSS SECTIONS
PAR073/106	ROADWORKS DETAILS PLAN - SHEET 1 OF 2
PAR073/107	ROADWORKS DETAILS PLAN - SHEET 2 OF 2
PAR073/108	CONCRETE DETAILS PLAN
PAR073/109	ROAD LINEMARKING DETAILS PLAN - SHEET 1 OF 2
PAR073/110	ROAD LINEMARKING DETAILS PLAN - SHEET 2 OF 2
PAR073/111	Q2 STORMWATER LONGITUDINAL SECTIONS - SHEET 1 OF 2
PAR073/112	Q2 STORMWATER LONGITUDINAL SECTIONS - SHEET 2 OF 2
PAR073/113	WATER RETICULATION PLAN
PAR073/114	SEWERAGE RETICULATION PLAN
PAR073/115	LOT CONSTRAINTS PLAN - SHEET 1 OF 2
PAR073/116	LOT CONSTRAINTS PLAN - SHEET 2 OF 2



AS-CONSTRUCTED ISSUE

brazier motti
www.braziermotti.com.au
595 Flinders Street, Townsville
Phone: 4772 1144 Fax: 4772 2557
Email: townsville@braziermotti.com.au
Job No: 26700/138-01

REAL PROPERTY DESCRIPTION:
PART LOT 5000 ON SP270782

DRAWN: M.MOTTI	DATUM: AHD (DERIVED)
DESIGNED:	PSM131673
CHECKED: G.CAMPBELL	RL: 11.997
PROJECT MANAGER: P.PETERSEN	DALRYMPLE ROAD
	PROJECT DIRECTOR: D.GIBSON RPEQ 13230

UDP
Excellence Through Partnerships

DALGETY PLACE
84 DENHAM STREET
PO BOX 1110
TOWNSVILLE QLD 4810

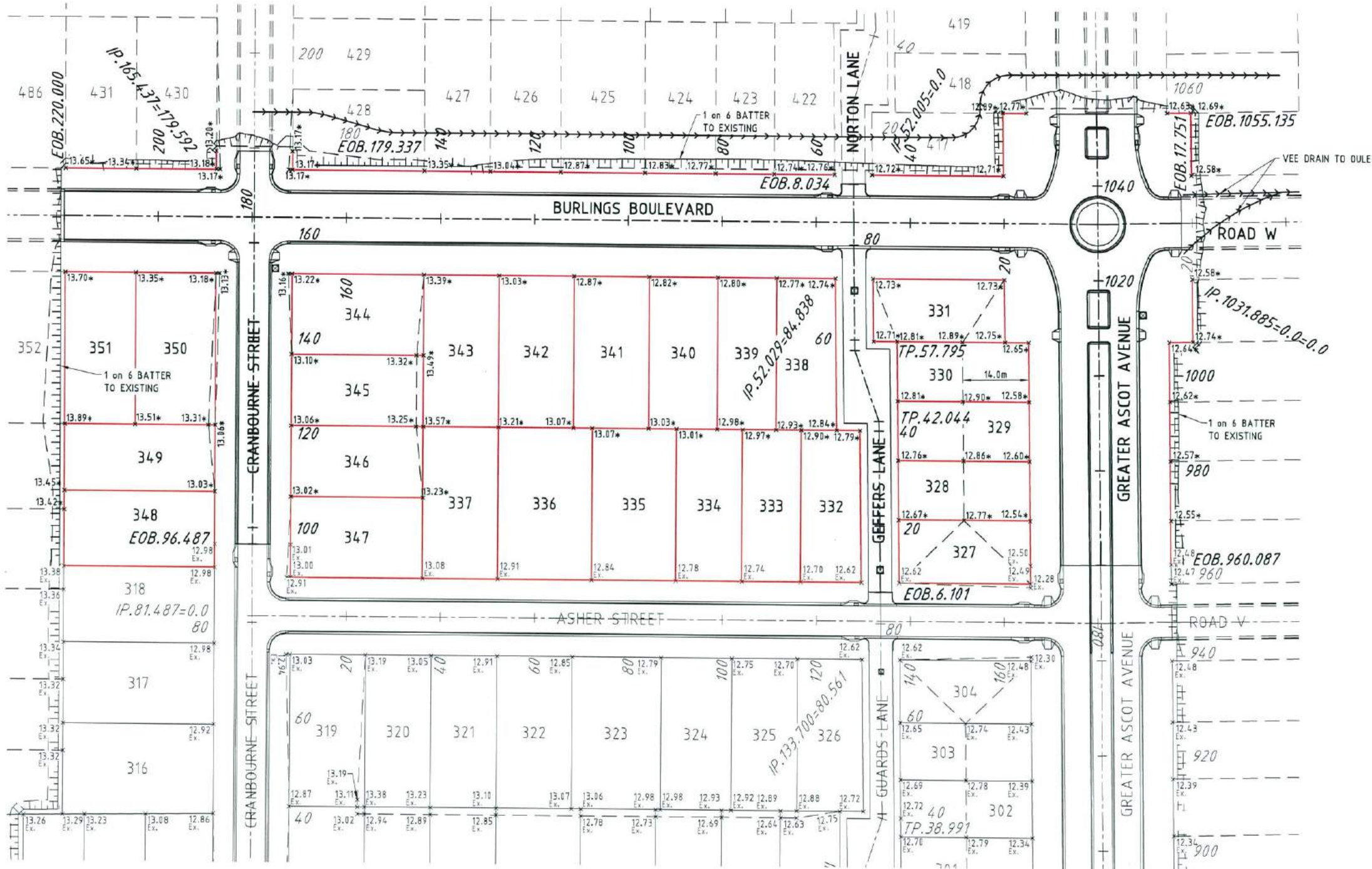
Phone: (07) 4772 0666
Fax: (07) 4772 0586
Email: main@udpgroup.com.au
Web: www.udpgroup.com.au

PARKSIDE DEVELOPMENT PTY LTD
GREATER ASCOT PRECINCT 3 - STAGE 302
GREATER ASCOT AVENUE, SHAW
LOCALITY PLAN, SITE PLAN & DRAWING SCHEDULE

DRAWING SIZE: A1	SCALE: 1:1000	DRAWING No: PAR073-100	REV: A
XREF: PAR073-XR-ASCEN			

REV.	DATE	AS CONSTRUCTED ISSUE	REVISIONS
A	20/04/16	AS CONSTRUCTED ISSUE	

G:\16700\138-01\PAR073-103.DWG

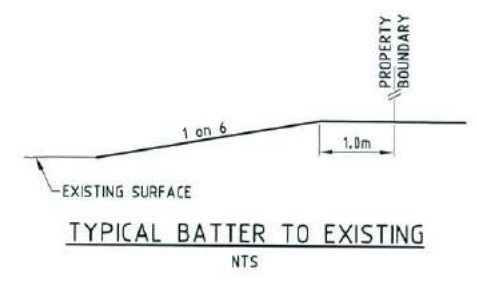


EARTHWORKS LEGEND:

- $\times 6.32^*$ FINISHED CERTIFIED ALLOTMENT LEVEL
- $\times 6.32$ DENOTES EXISTING ALLOTMENT LEVEL
- TOP OF BATTER
- BOTTOM OF BATTER
- ←←←←← DIVERSION MOUND

EARTHWORKS NOTES:

1. ALL EARTHWORKS OPERATIONS UNDERTAKEN IN ACCORDANCE WITH THE PROJECT SPECIFICATION.
2. ALLOTMENTS GRADED EVENLY BETWEEN LEVELS SHOWN. MINIMUM FINISHED ALLOTMENT GRADE 1:200.



Q100 LEVELS

GREATER ASCOT AVENUE		BURLINGS BOULEVARD	
CHAINAGE	LEVEL	CHAINAGE	LEVEL
960	12.47	20	12.71
980	12.50	40	12.71
1000	12.57	60	12.71
1020	12.65	80	12.71
1040	12.71	100	12.71
1060	12.71	120	12.72
		140	13.16
		160	13.17
		180	13.17
		200	13.17
		220	13.45

CRANBOURNE STREET	
CHAINAGE	LEVEL
100	12.96
120	12.98
140	13.02
160	13.14
180	13.17

BRAZIER MOTTI PTY LTD (ACN 866 411 841), 595 Flinders Street, Townsville hereby certify that this Drawing accurately and correctly describes and records the nature and location of the works depicted by (stipules to) be shown as they have been constructed for subdivision.

Director
 SEAL OF
 ACN066 411 841
 Date 20/1/16



AS-CONSTRUCTED ISSUE

brazier motti
 www.braziermotti.com.au
 595 Flinders Street, Townsville
 Phone: 4772 1144 Fax: 4772 2557
 Email: townsville@braziermotti.com.au
 Job No: 26700/138-01

REAL PROPERTY DESCRIPTION:
 PART LOT 5000 ON SP270782

DRAWN: M.MOTTI
 DESIGNED: PETERSEN
 CHECKED: G.CAMPBELL
 PROJECT MANAGER: P.PETERSEN

DATUM: AHD (DERIVED)
 PSM131673
 RL.11.997
 DALRYMPLE ROAD

PROJECT DIRECTOR: D.GIBSON RPEQ 13230

UDP
 Excellence Through Partnerships

DALGETY PLACE
 84 DENHAM STREET
 PO BOX 1110
 TOWNSVILLE QLD 4810

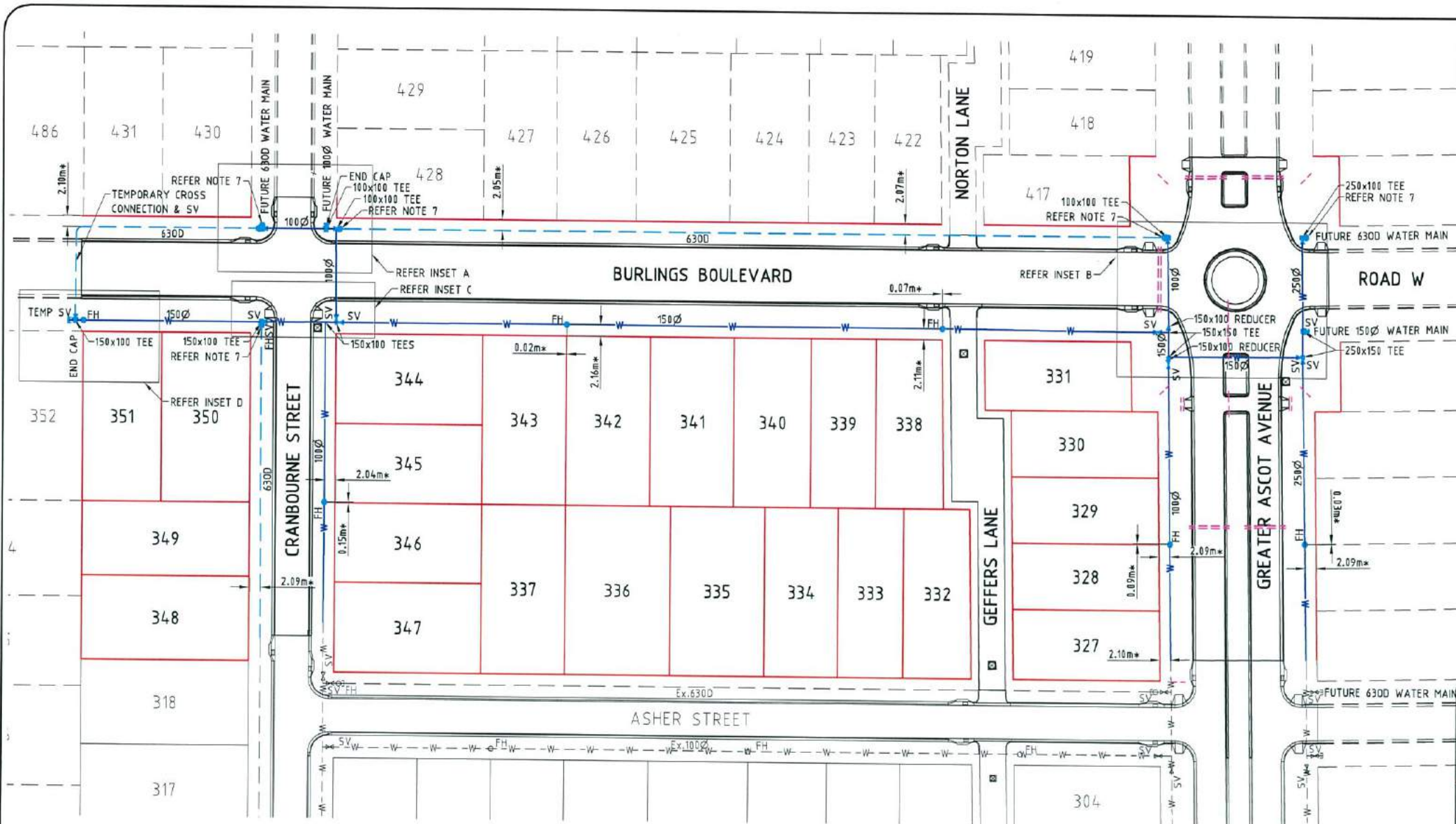
Phone: (07) 4772 0666
 Fax: (07) 4772 0566
 Email: main@udpgroup.com.au
 Web: www.udpgroup.com.au

PARKSIDE DEVELOPMENT PTY LTD
 GREATER ASCOT PRECINCT 3 - STAGE 302
 GREATER ASCOT AVENUE, SHAW
 EARTHWORKS LAYOUT PLAN

DRAWING SIZE	SCALE	1:500	DRAWING No.	REV
A1	XREF	PAR073-XR-ASCON	PAR073-101	A

REV.	DATE	REVISIONS
A	20/04/16	AS CONSTRUCTED ISSUE

GN24201\138-01\PAR073-101.Dwg



WATER LEGEND:

- 1000 W WATER MAIN & DIAMETER
- 630D POLY WATER MAIN & DIAMETER
- FH SV FIRE HYDRANT, VALVE & REDUCER
- GV GATE VALVE
- W W EXISTING WATER MAIN, VALVE & HYDRANT

WATER NOTES:

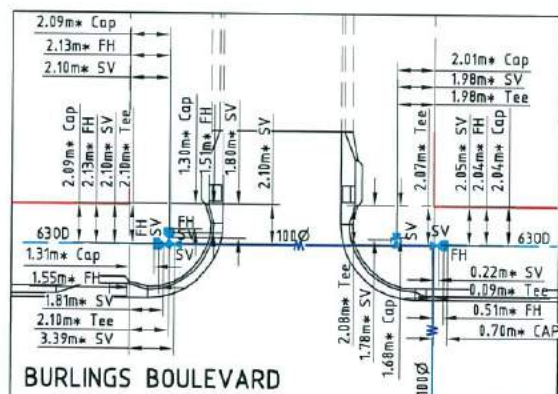
1. ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND PROJECT SPECIFICATION.
2. ALL WATER MAINS ARE LOCATED ON A 2.1m ±0.1m ALIGNMENT OFFSET FROM PROPERTY BOUNDARIES, UNLESS NOTED OTHERWISE.
3. ALL uPVC MAINS ARE CLASS PN16 SERIES 2 COMPATIBLE TO AS 1477 RUBBER RING JOINTED, WITH SOCKETED DIOL FITTINGS UNLESS NOTED OTHERWISE.
4. ALL 630D MAINS POLYETHYLENE CLASS PN16 TO AS 4130.
5. ALL TRENCHES UNDER ROAD PAVEMENT BACKFILLED WITH CRUSHER DUST TO SUBGRADE LEVEL. REFER PROJECT SPECIFICATION FOR COMPACTION AND COMPLIANCE TESTING REQUIREMENTS.
6. CONNECTION TO EXISTING WATER MAINS CARRIED OUT BY COUNCIL AT THE CONTRACTORS EXPENSE.
7. REFER TCC STANDARD DRAWING SD-315 FOR PVC TO PE SERVICE MAIN CONNECTION DETAIL.

IRRIGATION CONDUITS LEGEND

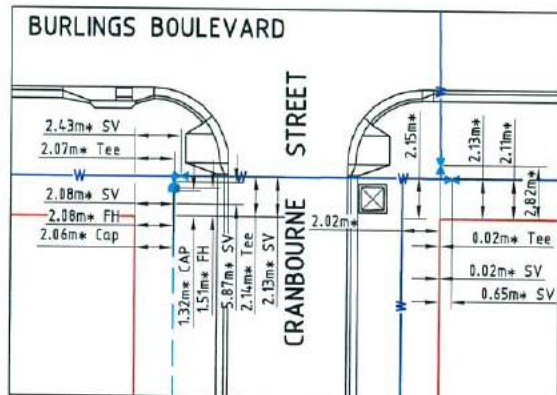
- 100Ø CONDUIT

IRRIGATION CONDUITS NOTES:

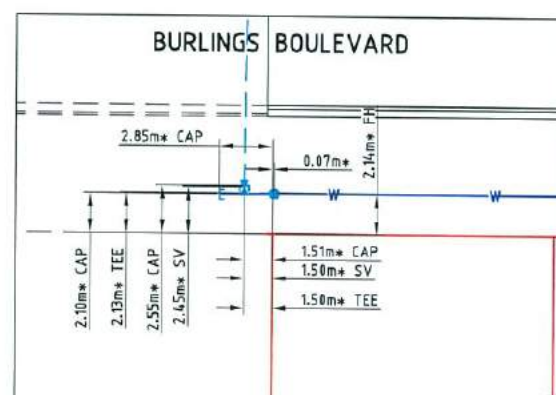
1. CONDUITS CLASS 9 PVC PIPE. MIN 600 COVER AND EXTEND MIN 1m PAST THE BACK OF KERBS ETC.
2. ENDS OF CONDUITS MARKED ON GROUND TO ENSURE THEY CAN BE LOCATED AT TIME OF IRRIGATION INSTALLATION.



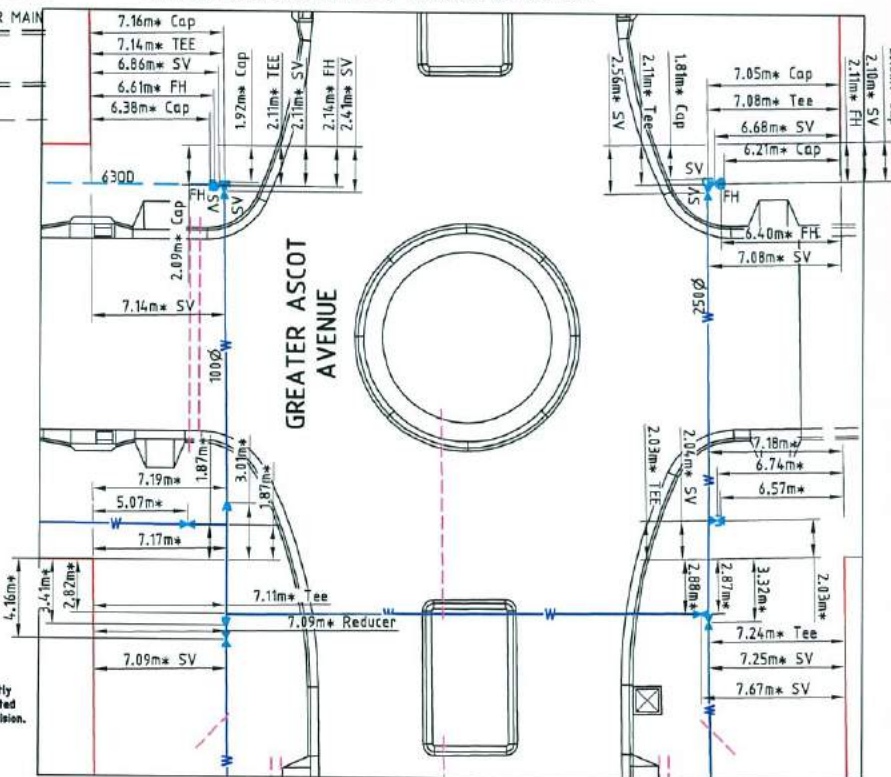
INSET A
SCALE 1:200



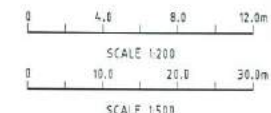
INSET C
SCALE 1:200



INSET D
SCALE 1:200



INSET B
SCALE 1:200



BRAZIER MOTTI PTY LTD (ACN 866 471 841), 595 Flinders Street, Townsville hereby certify that this Drawing accurately and correctly describes and records the nature and location of the works depicted by asterisks (*) herein as they have been constructed for subdivision.



AS-CONSTRUCTED ISSUE

REV.	DATE	REVISIONS
A	20/04/16	AS CONSTRUCTED ISSUE

brazier motti
www.braziermotti.com.au
595 Flinders Street, Townsville
Phone: 4772 1144 Fax: 4772 2557
Email: townsville@braziermotti.com.au
Job No: 26700/138-01

REAL PROPERTY DESCRIPTION:
PART LOT 5000 ON SP270782

DRAWN: M.MOTTI	DATUM: AHD (DERIVED)
DESIGNED: G.CAMPBELL	PSM131673 RL.11.997 DALRYMPLE ROAD
CHECKED: P.PETERSEN	
PROJECT MANAGER: D.GIBSON RPEQ 13230	

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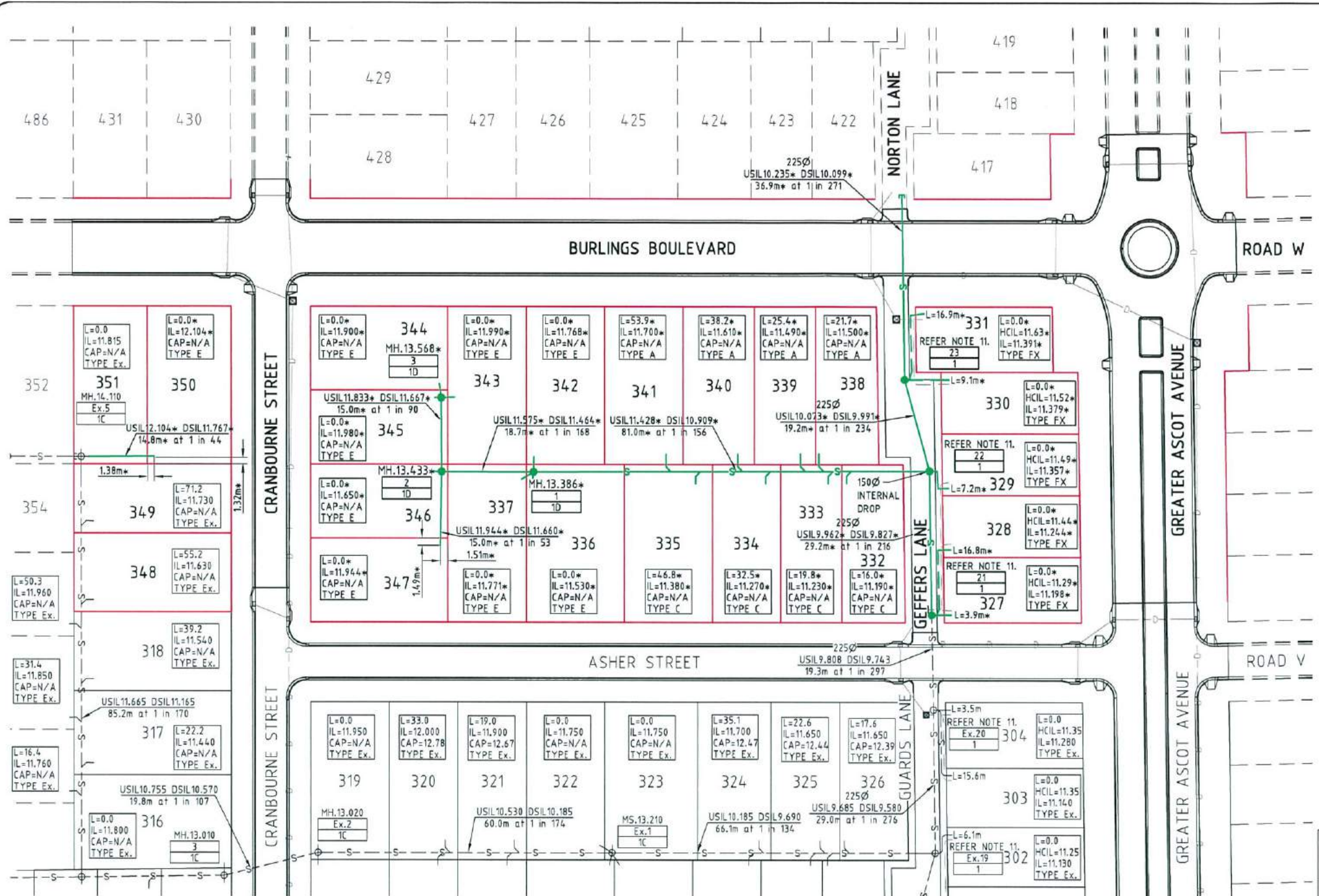
DALGETY PLACE
84 DENHAM STREET
PO BOX 1110
TOWNSVILLE QLD 4810

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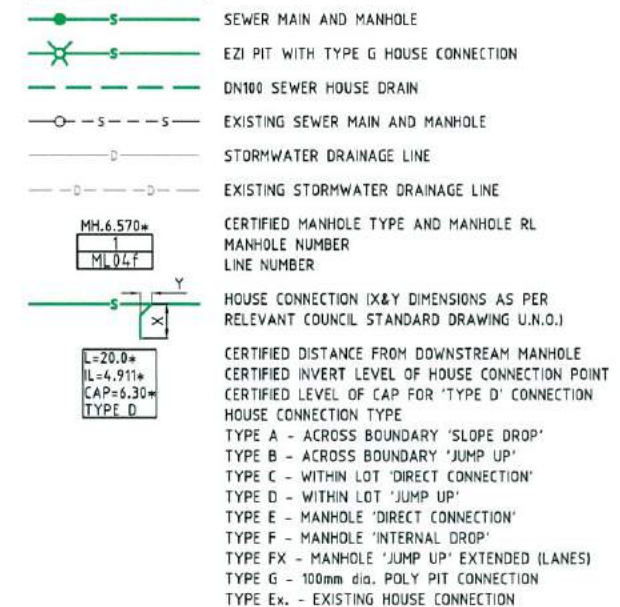
PARKSIDE DEVELOPMENT PTY LTD
GREATER ASCOT PRECINCT 3 - STAGE 302
GREATER ASCOT AVENUE, SHAW
WATER RETICULATION PLAN

DRAWING SIZE: A1	SCALE: AS SHOWN	DRAWING No.: PAR073-XR-ASCN	REV: A
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PAR073-113

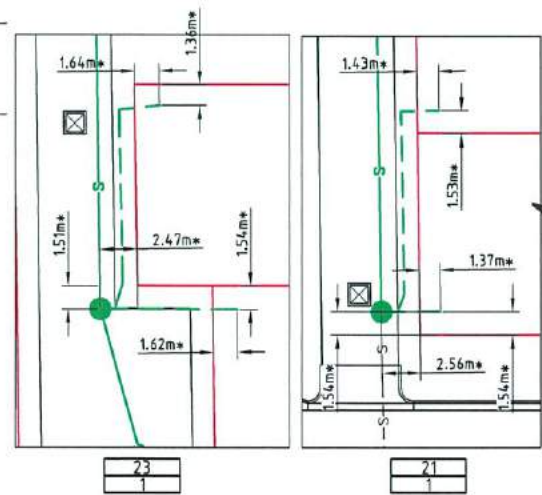
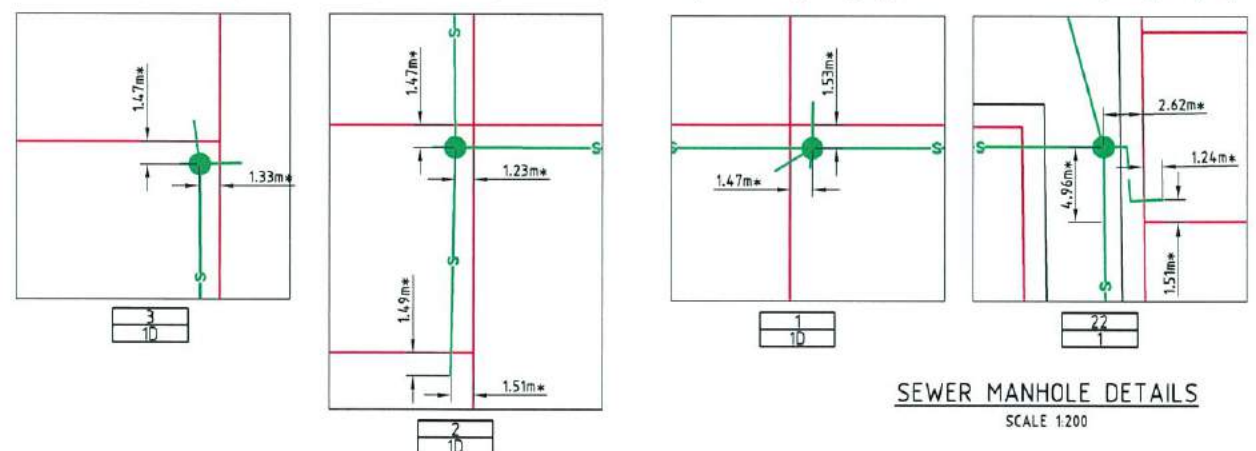
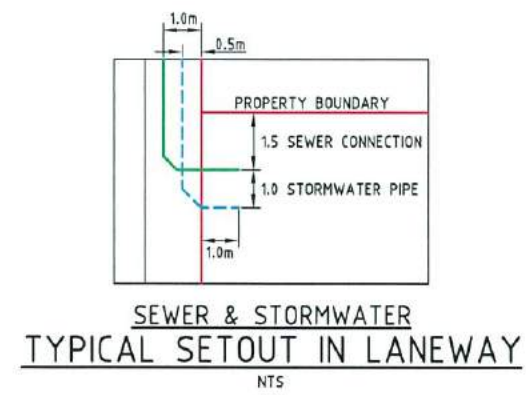


SEWER LEGEND:



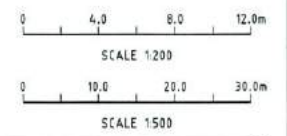
SEWER NOTES:

1. ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND PROJECT SPECIFICATION
2. ALL SEWERAGE MAINS LOCATED ON 1.5m ±0.1m ALIGNMENT OFFSET FROM THE PROPERTY BOUNDARIES, UNLESS NOTED OTHERWISE.
3. ALL SEWERAGE MAINS DN150, UNLESS NOTED OTHERWISE.
4. ALL DN150 AND DN225 SEWERAGE MAINS uPVC DWV SN8, UNLESS NOTED OTHERWISE.
5. ALL DN100 HOUSE DRAINS uPVC DWV SN10, UNLESS NOTED OTHERWISE. (MAXIMUM LENGTH 10.0m)
6. ALL TRENCHES UNDER ROAD PAVEMENT BACKFILLED WITH CRUSHER DUST TO SUBGRADE LEVEL. REFER PROJECT SPECIFICATION FOR COMPACTION AND COMPLIANCE TESTING REQUIREMENTS.
7. CONNECTION/ALTERATIONS TO EXISTING SEWERAGE INFRASTRUCTURE CARRIED OUT BY COUNCIL AT THE CONTRACTORS EXPENSE.
8. ALL MANHOLE INTERNAL DROP 'CORES' ARE NOT LOCATED WITHIN 150mm OF PRECAST WALL JOINTS. IF CLASH OCCURRED SUPERINTENDENT PROVIDED FURTHER INSTRUCTIONS PRIOR TO MANHOLE BEING 'CORED'.
9. ALL HOUSE DRAINS OVER 10m IN LENGTH DN150.
10. EXTENDED HOUSE DRAINS IN LANES LOCATED ON 1.0m ±0.1m ALIGNMENT OFFSET FROM PROPERTY BOUNDARIES UNO.
11. LANEWAY MANHOLE LIDS CONSTRUCTED FLUSH WITH CONCRETE LANEWAYS WITH TRAFFICABLE LIDS. CONTRACTOR TO VERIFY LEVELS ON SITE.
12. LANEWAY HOUSE CONNECTION LESS THAN 10.0m (100Ø) GRADE 1 ON 55 MORE THAN 10.0m (150Ø) GRADE 1 ON 75.



BRAZIER MOTTI PTY LTD IACH 466 411 849, 595 Flinders Street, Townsville hereby certify that this Drawing accurately and correctly describes and records the nature and location of the works depicted by asterisks (*) hereon as they have been constructed for subdivision.

Director
Date: 18/9/2016
ACN066411



AS-CONSTRUCTED ISSUE	
REV.	DATE
B	28/04/16 LOT 328 HOUSE CONNECTION AMENDED
A	20/04/16 AS CONSTRUCTED ISSUE

brazier motti
www.braziermotti.com.au
595 Flinders Street, Townsville
Phone: 4772 1144 Fax: 4772 2557
Email: townsville@braziermotti.com.au
Job No: 26700/138-01

REAL PROPERTY DESCRIPTION:
PART LOT 5000 ON SP270782

DRAWN: M.MOTTI
DESIGNED: G.CAMPBELL
CHECKED: P.PETERSEN
PROJECT MANAGER: P.PETERSEN

DATUM: AHD (DERIVED)
PSM131673
RL.11.997
DALRYMPLE ROAD

PROJECT DIRECTOR: D.GIBSON RPEQ 13230

UDP
Excellence Through Partnerships

DALGETY PLACE
84 DENHAM STREET
PO BOX 1110
TOWNSVILLE QLD 4810

Phone: (07) 4772 0666
Fax: (07) 4772 0566
Email: main@udpgroup.com.au
Web: www.udpgroup.com.au

PARKSIDE DEVELOPMENT PTY LTD				
GREATER ASCOT PRECINCT 3 - STAGE 302				
GREATER ASCOT AVENUE, SHAW				
SEWERAGE RETICULATION PLAN				
DRAWING SIZE	SCALE	AS SHOWN	DRAWING No.	REV
A1	XREF	PAR073-XR-ASCON	PAR073-114	B

FOR CONTINUATION REFER DRAWING PAR073/116



LEGEND

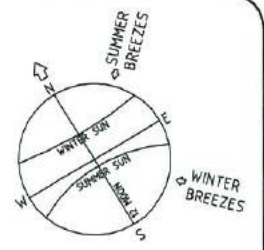
- ALLOWABLE DRIVEWAY ACCESS
- SEWER MAIN & MANHOLE
- WATER MAIN, FIRE HYDRANT & SLUICE VALVE
- POLY WATER MAIN
- STORMWATER, INLET PIT & MANHOLE
- ROOFWATER HOUSE DRAIN
- SUBSOIL DRAIN & CLEANOUT POINT

BUILDING SETBACK ENVELOPES

- FOR BUILDING SETBACK ENVELOPES REFER THE LATEST BRAZIER AND MOTTI DRAWINGS 26700/080 & 088 FOR DETAILS
- DIMENSIONS SHOWN ARE ADAPTED FROM THE QUEENSLAND DEVELOPMENT CODE (11.03.10) PART MP 1.1 & 1.2. DIMENSIONS SHOWN SHALL APPLY TO CLASS 1 SINGLE STORY STRUCTURES, FOR CLASS 2 TWO STOREY STRUCTURES AND CLASS 10 STRUCTURES REFER TO THE CODE.
- "SETBACK" MEANS A LINE OR LINES PARALLEL TO ANY BOUNDARY OF A LOT BEYOND WHICH THE BUILDING OR OTHER STRUCTURE SHALL NOT ENCROACH, AND MEASURED AS THE SHORTEST HORIZONTAL DISTANCE FROM THE OUTERMOST PROJECTION OF THE BUILDING OR OTHER STRUCTURE TO THE VERTICAL PROJECTION OF THE LOT BOUNDARY.
- THE BUILDING ENVELOPES ARE TO COMPLY WITH THE DESIGN CODE SHOWN ON THIS PLAN. GREATER SETBACKS MAY BE REQUIRED TO ACCOMMODATE THE ZONE OF INFLUENCE OF UNDERGROUND SERVICES AS STATED IN COUNCIL'S POLICY ON BUILDING OVER OR ADJACENT TO SEWERS.
- DIMENSIONS SHOWN ARE QDC GROUND DWELLING ONLY AND DO NOT ACCOUNT FOR BATTERS OR RETAINING WALLS. A SITE INSPECTION IS REQUIRED PRIOR TO COMMENCEMENT OF DESIGN. REFER DESIGN CODE FOR UPPER FLOOR AND GARAGE SETBACKS.

CORNER SIGHT LINES

- COMPLY WITH SIGHT LINES REQUIREMENT OF THE QUEENSLAND DEVELOPMENT CODE AT INTERSECTIONS OF ROADS. INTERSECTIONS OF LANES AND ROADS ARE EXEMPTED FROM THIS REQUIREMENT.
- THE QUEENSLAND DEVELOPMENT CODE TYPICALLY REQUIRES A 9.0m x 9.0m EXCLUSION ZONE BASED ON BOUNDARIES. FOR 4.5m FOOTPATHS THIS TRANSLATE TO AN 18.0m x 18.0m EXCLUSION ZONE FROM THE EDGE OF THE THROUGH TRAFFIC LANE. THE SIGHT LINE REQUIREMENTS SHOULD BE ASSESSED AS 18.0m x 18.0m FROM THE EDGE OF THE THROUGH LANE FOR SITUATIONS WHERE THE FOOTPATH IS GREATER THAN 4.5m OR WHERE THERE IS A PARKING LANE, CLIPPED LOT OR PARKLAND BETWEEN THE LOT AND ROAD.



DRIVEWAY ACCESS ENVELOPE

- FOR DRIVEWAY ACCESS ENVELOPE ALLOW 0.5m MINIMUM CLEARANCE TO ALL COUNCIL INFRASTRUCTURE, EXCEPT STORMWATER PITS WHICH REQUIRE 0.6m MINIMUM CLEARANCE AND SEWERAGE HOUSE CONNECTIONS WHICH REQUIRE 1.2m MINIMUM CLEARANCE.
- ALL DRIVEWAYS REQUIRE A PERMIT FROM COUNCIL PRIOR TO CONSTRUCTION.

ERGON SUBSTATIONS

- HABITABLE ROOMS REQUIRE A CLEARANCE OF 4m TO ERGON SUBSTATION SITES.

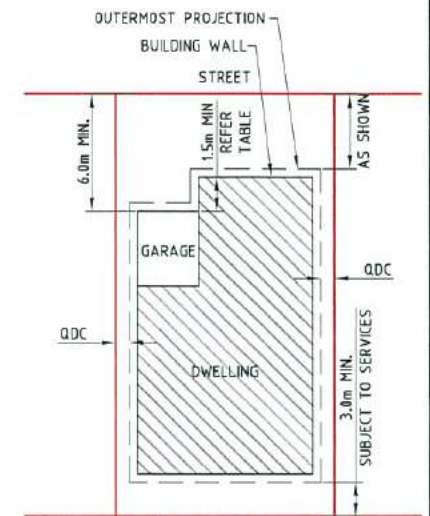
ACOUSTICAL REQUIREMENTS

- DWELLINGS SHALL COMPLY WITH THE PROVISIONS IN THE AECOM "GREATER ASCOT DEVELOPMENT - PRECINCT 3 AND 4 ROAD TRAFFIC, INDUSTRIAL & RECREATION NOISE IMPACT ASSESSMENT - REVISION 4 - 16 DECEMBER 2013" OR ANY APPROVED SUBSEQUENT REPORT.

GENERAL ITEMS

- ALL DIMENSIONS ARE IN METRES UNLESS NOTED OTHERWISE.
- DRIVEWAY SLOPES IN LANES TO BE 12.5% MAXIMUM.

LIGHT POLES & TELSTRA PITS HAVE NOT BEEN SHOWN



TYPICAL SETBACK REQUIREMENTS
NTS

DESIGN CODE - ALL ALLOTMENTS

TYPE	HOUSE, FRONT LOADED	HOUSE, REAR LOADED (LANE ACCESSED LOTS)
LOT ACCESS	FRONT	REAR
LOT DEPTH (MIN)	25m (20m WHERE 15m WIDTH PROPOSED)	25m
LOT WIDTH (MIN)	12.5m	10.5m
SITE COVERAGE	50% MAX	MAY EXCEED 50% IN RESPONSE TO CODE REQUIREMENTS, BUT NO MORE THAN 65% SITE COVERAGE.
SETBACK FRONT GROUND (MIN)	3.5m	3.0m
SETBACK FRONT UPPER (MIN)	3.5m	4.5m
SETBACK FRONT GARAGE	6.0m FROM FRONT OF GARAGE WALL & 1.5m MIN FROM DWELLING.	N/A
SETBACK PRINCIPAL SIDE GROUND (MIN)	QDC	QDC
SETBACK PRINCIPAL SIDE UPPER (MIN)	QDC	QDC
SETBACK ROAD/ROAD CORNER (MIN)	QDC	QDC
SETBACK PRINCIPLE REAR (MIN)	3.0m	3.0m
OUTBUILDING # (CARPORT/GARAGE) WIDTH (MAX FROM OUTSIDE WALL)	N/A	6.2m*
OUTBUILDING # (CARPORT/GARAGE) & RESIDENTIAL OVER OUTBUILDING SETBACK TO LANE	N/A	0-1.0m
OUTBUILDING # (CARPORT/GARAGE) & RESIDENTIAL OVER OUTBUILDING SIDE SETBACK OTHER THAN TO LANE (MIN)	QDC	QDC
OUTBUILDING (SHED) WIDTH (MAX)	LESSER OF 50% OF REAR BOUNDARY OR 9m	N/A
OUTBUILDING (SHED) DEPTH (MAX)	9m	N/A
OUTBUILDING (SHED) REAR SETBACK	0-1.0m	N/A
OUTBUILDING (SHED) SIDE SETBACK	ZERO IF LOT 12.5m WIDE. AS PER PRINCIPAL SETBACK IF LOT >12.5m WIDE	N/A
FLOOR HEIGHT PRINCIPAL (MIN)	400mm	400mm
MAXIMUM STOREYS	2 STOREYS	2 STOREYS
PRIVATE OPEN SPACE (MIN) (MAY BE COVERED)	4m x 4m	4m x 4m
PARKING (MIN)	TWO (2), ONE OF WHICH MUST BE COVERED	TWO (2), ONE OF WHICH MUST BE COVERED

*NOTE: OUTBUILDING (CARPORT/GARAGE) - THE BALANCE OF THE LOT BOUNDARY ADJACENT TO THE OUTBUILDINGS WHERE LOCATED ALONG A ROAD RESERVE INCLUDING LANES) MUST REMAIN OPEN WITH NO ADDITIONAL STRUCTURES PERMITTED ALONG THAT BOUNDARY (EXCLUDING BOUNDARY FENCING WHICH ALLOWS AIRFLOW THROUGH THE BARRIERI).
*NOTE: CLEARANCES TO SEWER LINES AND MANHOLES ARE REQUIRED IN ACCORDANCE WITH COUNCIL POLICY.



AS-CONSTRUCTED ISSUE



REAL PROPERTY DESCRIPTION:
PART LOT 5000 ON SP270782
DRAWN: G.CAMPBELL
DESIGNED: [Signature]
CHECKED: G.F.YSH
PROJECT MANAGER: P.PETERSEN
PROJECT DIRECTOR: D.GIBSON RPEQ 13230

DATUM: AHD (DERIVED)
FSM131673
RL.11.997
DALRYMPLE ROAD

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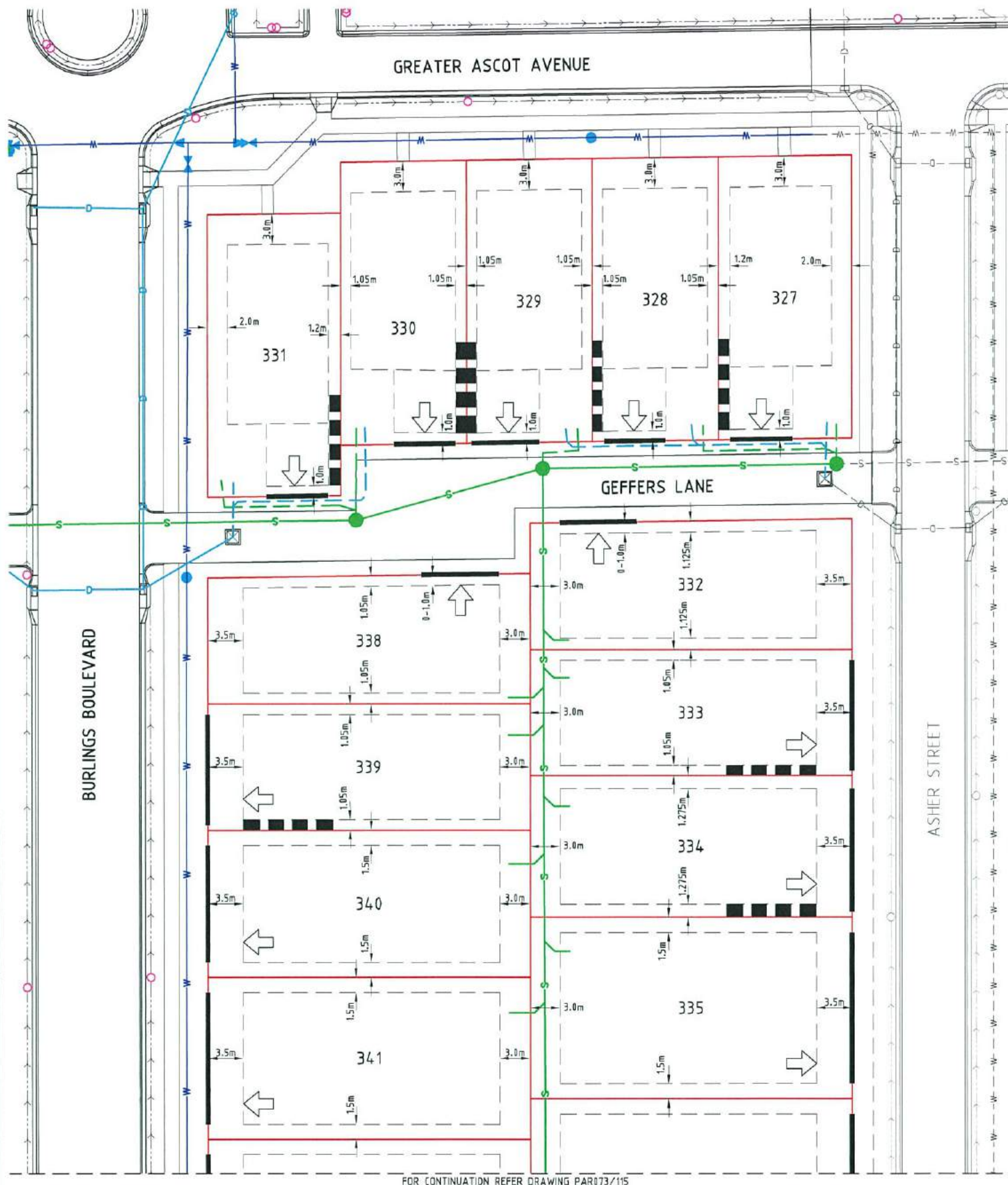
DALGETY PLACE
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PARKSIDE DEVELOPMENT PTY LTD
GREATER ASCOT PRECINCT 3 - STAGE 302
GREATER ASCOT AVENUE, SHAW
LOT CONSTRAINTS PLAN - SHEET 1 OF 2

DRAWING SIZE: A3
SCALE: 1:500
XREF: PAR073-XR-DESIGN
DRAWING No.: PAR073-115
REV: A

REV.	DATE	AS-CONSTRUCTED ISSUE	REVISIONS
A	20/04/16	AS-CONSTRUCTED ISSUE	



LEGEND

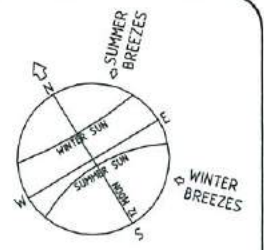
- ALLOWABLE DRIVEWAY ACCESS
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- POLY WATER MAIN
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- ROOFWATER HOUSE DRAIN
- SUBSOIL DRAIN & CLEANOUT POINT

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- FOR BUILDING SETBACK ENVELOPES REFER THE LATEST BRAZIER AND MOTTI DRAWINGS 26710/080 & 088 FOR DETAILS
- DIMENSIONS SHOWN ARE ADAPTED FROM THE QUEENSLAND DEVELOPMENT CODE (11.03.10) PART MP 1.1 & 1.2. DIMENSIONS SHOWN SHALL APPLY TO CLASS 1 SINGLE STORY STRUCTURES, FOR CLASS 2 TWO STOREY STRUCTURES AND CLASS 10 STRUCTURES REFER TO THE CODE.
- "SETBACK" MEANS A LINE OR LINES PARALLEL TO ANY BOUNDARY OF A LOT BEYOND WHICH THE BUILDING OR OTHER STRUCTURE SHALL NOT ENCRDACH, AND MEASURED AS THE SHORTEST HORIZONTAL DISTANCE FROM THE OUTERMOST PROJECTION OF THE BUILDING OR OTHER STRUCTURE TO THE VERTICAL PROJECTION OF THE LOT BOUNDARY.
- THE BUILDING ENVELOPES ARE TO COMPLY WITH THE DESIGN CODE SHOWN ON THIS PLAN. GREATER SETBACKS MAY BE REQUIRED TO ACCOMMODATE THE ZONE OF INFLUENCE OF UNDERGROUND SERVICES AS STATED IN COUNCIL'S POLICY ON BUILDING OVER OR ADJACENT TO SEWERS.
- DIMENSIONS SHOWN ARE QDC GROUND DWELLING ONLY AND DO NOT ACCOUNT FOR BATTERS OR RETAINING WALLS. A SITE INSPECTION IS REQUIRED PRIOR TO COMMENCEMENT OF DESIGN. REFER DESIGN CODE FOR UPPER FLOOR AND GARAGE SETBACKS.

CORNER SIGHT LINES

- COMPLY WITH SIGHT LINES REQUIREMENT OF THE QUEENSLAND DEVELOPMENT CODE AT INTERSECTIONS OF ROADS. INTERSECTIONS OF LANES AND ROADS ARE EXEMPTED FROM THIS REQUIREMENT.
- THE QUEENSLAND DEVELOPMENT CODE TYPICALLY REQUIRES A 9.0m x 9.0m EXCLUSION ZONE BASED ON BOUNDARIES. FOR 4.5m FOOTPATHS THIS TRANSLATE TO AN 18.0m x 18.0m EXCLUSION ZONE FROM THE EDGE OF THE THROUGH TRAFFIC LANE. THE SIGHT LINE REQUIREMENTS SHOULD BE ASSESSED AS 18.0m x 18.0m FROM THE EDGE OF THE THROUGH LANE FOR SITUATIONS WHERE THE FOOTPATH IS GREATER THAN 4.5m OR WHERE THERE IS A PARKING LANE, CLIPPED LOT OR PARKLAND BETWEEN THE LOT AND ROAD.



DRIVEWAY ACCESS ENVELOPE

- FOR DRIVEWAY ACCESS ENVELOPE ALLOW 0.5m MINIMUM CLEARANCE TO ALL COUNCIL INFRASTRUCTURE, EXCEPT STORMWATER PITS WHICH REQUIRE 0.6m MINIMUM CLEARANCE AND SEWERAGE HOUSE CONNECTIONS WHICH REQUIRE 1.2m MINIMUM CLEARANCE.
- ALL DRIVEWAYS REQUIRE A PERMIT FROM COUNCIL PRIOR TO CONSTRUCTION.

ERGON SUBSTATIONS

- HABITABLE ROOMS REQUIRE A CLEARANCE OF 4m TO ERGON SUBSTATION SITES.

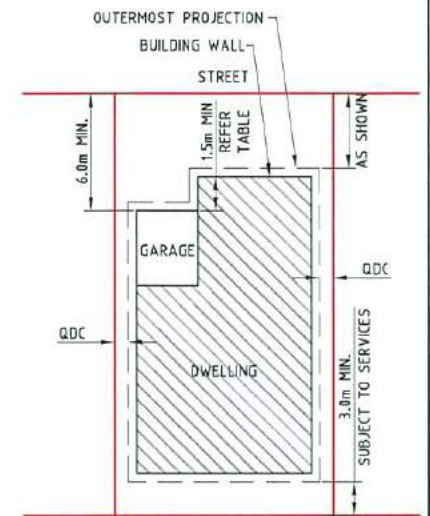
ACOUSTICAL REQUIREMENTS

- DWELLINGS SHALL COMPLY WITH THE PROVISIONS IN THE AECOM "GREATER ASCOT DEVELOPMENT - PRECINCT 3 AND 4 ROAD TRAFFIC, INDUSTRIAL & RECREATION NOISE IMPACT ASSESSMENT - REVISION 4 - 16 DECEMBER 2013" OR ANY APPROVED SUBSEQUENT REPORT.

GENERAL ITEMS

- ALL DIMENSIONS ARE IN METRES UNLESS NOTED OTHERWISE.
- DRIVEWAY SLOPES IN LANES TO BE 12.5% MAXIMUM.

LIGHT POLES & TELSTRA PITS HAVE NOT BEEN SHOWN

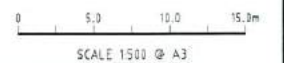


TYPICAL SETBACK REQUIREMENTS NTS

DESIGN CODE - ALL ALLOTMENTS

TYPE	HOUSE, FRONT LOADED	HOUSE, REAR LOADED (LANE ACCESSED LOTS)
LOT ACCESS	FRONT	REAR
LOT DEPTH (MIN)	25m (20m WHERE 15m WIDTH PROPOSED)	25m
LOT WIDTH (MIN)	12.5m	10.5m
SITE COVERAGE	50% MAX	MAY EXCEED 50% IN RESPONSE TO CODE REQUIREMENTS, BUT NO MORE THAN 65% SITE COVERAGE.
SETBACK FRONT GROUND (MIN)	3.5m	3.0m
SETBACK FRONT UPPER (MIN)	3.5m	4.5m
SETBACK FRONT GARAGE	6.0m FROM FRONT OF GARAGE WALL & 1.5m MIN FROM DWELLING.	N/A
SETBACK PRINCIPAL SIDE GROUND (MIN)	QDC	QDC
SETBACK PRINCIPAL SIDE UPPER (MIN)	QDC	QDC
SETBACK ROAD/ROAD CORNER (MIN)	QDC	QDC
SETBACK PRINCIPLE REAR (MIN)	3.0m	3.0m
OUTBUILDING # (CARPORT/GARAGE) WIDTH (MAX FROM OUTSIDE WALL)	N/A	6.2m*
OUTBUILDING # (CARPORT/GARAGE) & RESIDENTIAL OVER OUTBUILDING SETBACK TO LANE	N/A	0-1.0m
OUTBUILDING # (CARPORT/GARAGE) & RESIDENTIAL OVER OUTBUILDING SIDE SETBACK OTHER THAN TO LANE (MIN)	QDC	QDC
OUTBUILDING (SHED) WIDTH (MAX)	LESSER OF 50% OF REAR BOUNDARY OR 9m	N/A
OUTBUILDING (SHED) DEPTH (MAX)	9m	N/A
OUTBUILDING (SHED) REAR SETBACK	0-1.0m	N/A
OUTBUILDING (SHED) SIDE SETBACK	ZERO IF LOT 12.5m WIDE. AS PER PRINCIPAL SETBACK IF LOT >12.5m WIDE	N/A
FLOOR HEIGHT PRINCIPAL (MIN)	400mm	400mm
MAXIMUM STOREYS	2 STOREYS	2 STOREYS
PRIVATE OPEN SPACE (MIN) (MAY BE COVERED)	4mx4m	4mx4m
PARKING (MIN)	TWO (2), ONE OF WHICH MUST BE COVERED	TWO (2), ONE OF WHICH MUST BE COVERED

*NOTE: OUTBUILDING (CARPORT/GARAGE) - THE BALANCE OF THE LOT BOUNDARY ADJACENT TO THE OUTBUILDINGS WHERE LOCATED ALONG A ROAD RESERVE INCLUDING LANES) MUST REMAIN OPEN WITH NO ADDITIONAL STRUCTURES PERMITTED ALONG THAT BOUNDARY (EXCLUDING BOUNDARY FENCING WHICH ALLOWS AIRFLOW THROUGH THE BARRIER).
 *NOTE: CLEARANCES TO SEWER LINES AND MANHOLES ARE REQUIRED IN ACCORDANCE WITH COUNCIL POLICY.



AS-CONSTRUCTED ISSUE



REAL PROPERTY DESCRIPTION:
 PART LOT 5000 ON SP270782
 DRAWN: G.CAMPBELL
 DESIGNED: [Signature]
 CHECKED: G.FYSH
 PROJECT MANAGER: P.PETERSEN
 DATUM: AHD (DERIVED)
 PSM131673
 RL.11.997
 DALRYMPLE ROAD
 PROJECT DIRECTOR: D.GIBSON RPEQ 13230



DALGETY PLACE
 84 DENHAM STREET
 PO BOX 1110
 TOWNSVILLE QLD 4810
 Phone: (07) 4772 0666
 Fax: (07) 4772 0566
 Email: main@udpgroup.com.au
 Web: www.udpgroup.com.au

PARKSIDE DEVELOPMENT PTY LTD
 GREATER ASCOT PRECINCT 3 - STAGE 302
 GREATER ASCOT AVENUE, SHAW
 LOT CONSTRAINTS PLAN - SHEET 2 OF 2

DRAWING SIZE	SCALE	1:500	DRAWING No.	REV
A3	XREF	PAR073-XR-DESIGN	PAR073-116	A

REV.	DATE	AS-CONSTRUCTED ISSUE	REVISIONS
A	20/04/16	AS-CONSTRUCTED ISSUE	

Area of New Road

GREATER ASCOT AVENUE
(126-142-142a-143-144-145-137-140-141-127-128) **3462 m²**

THE BURLINGS
(144-143-146-152-153-155-156-157-159-160-161-144) **4363 m²**

CRANBOURNE STREET
(117-155-153-154-118a-117) **925 m²**

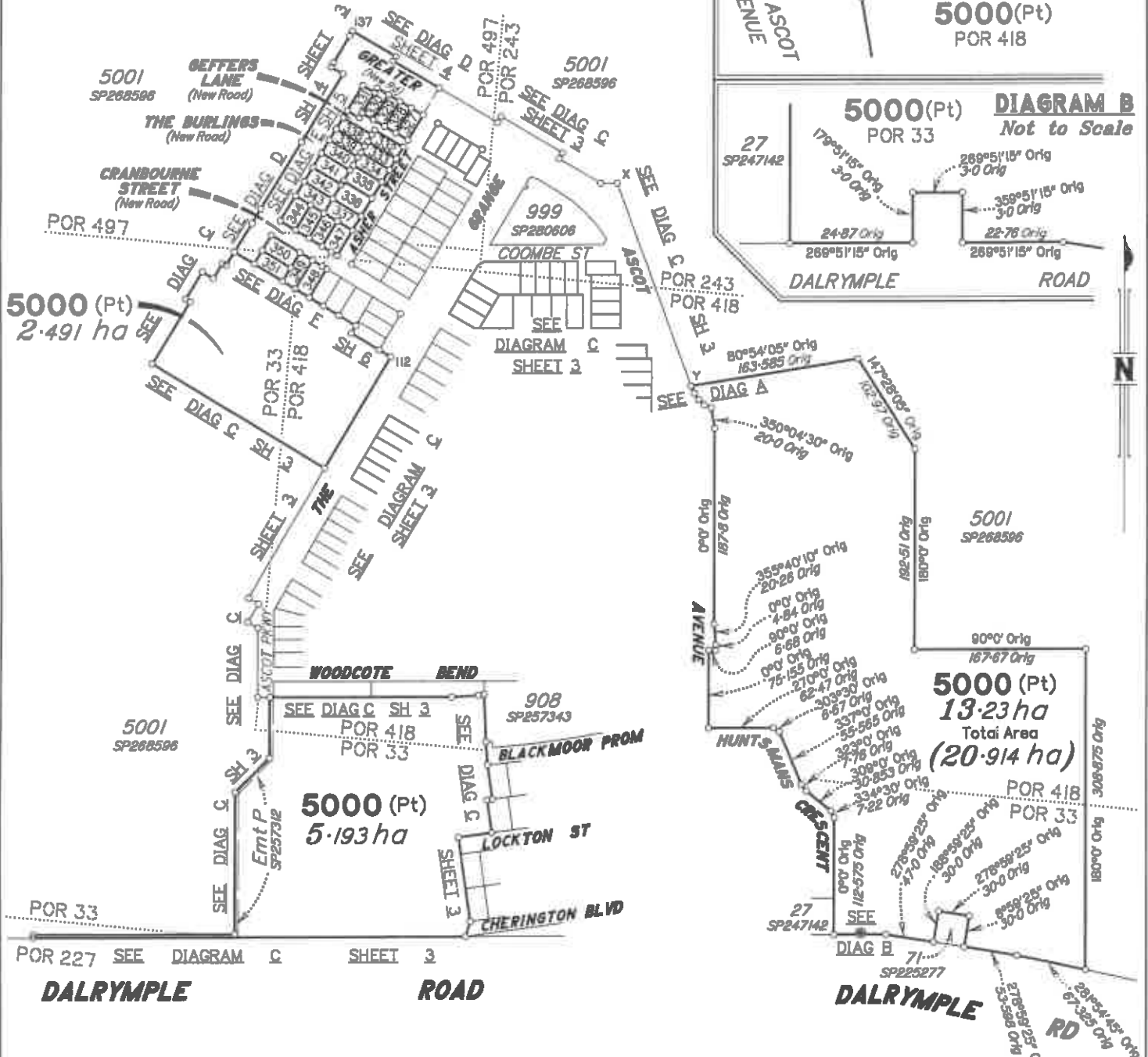
GEFFERS LANE
(149-150-151-152-146-146a-147-148-149) **606 m²**

Total Area 9356 m²

Original information compiled from SP280606 in the Department of Natural Resources and Mines.

Peg placed at all new corners unless otherwise stated.

For Traverse Tabulation See Sheet 7
For Permanent Mark Tabulation See Sheet 7
For Reference Mark Tabulation See Sheet 7
For MGA Coordinates Tabulation See Sheet 7



BRAZIER MOTTI PTY LTD (ACN 085 411 041) hereby certify that the land comprised in this plan was surveyed by the corporation, by Fraser Scott WALKER, Cadastral Surveyor, for whose work the corporation accepts responsibility, and that the plan is accurate, that the said survey was performed in accordance with the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the said survey was completed on 5th April, 2018.

0m 200m 400m 800m
0 50mm 100mm 150mm State copyright reserved.



Director
Date 12/5/18

Plan of Lots 327 - 351 and 5000		Scale: 1:4000
Cancelling Lot 5000 on SP280606		Format: STANDARD
LOCAL GOVERNMENT: COUNCIL	LOCALITY: SEAW	 SP283208
Meridian: MGA (Zone 55) Vids CORS	Survey Records: No	

76700/11117 SEM



ADDITIONAL SHEET

SEC DIAG SH 3
POR 243
POR 497

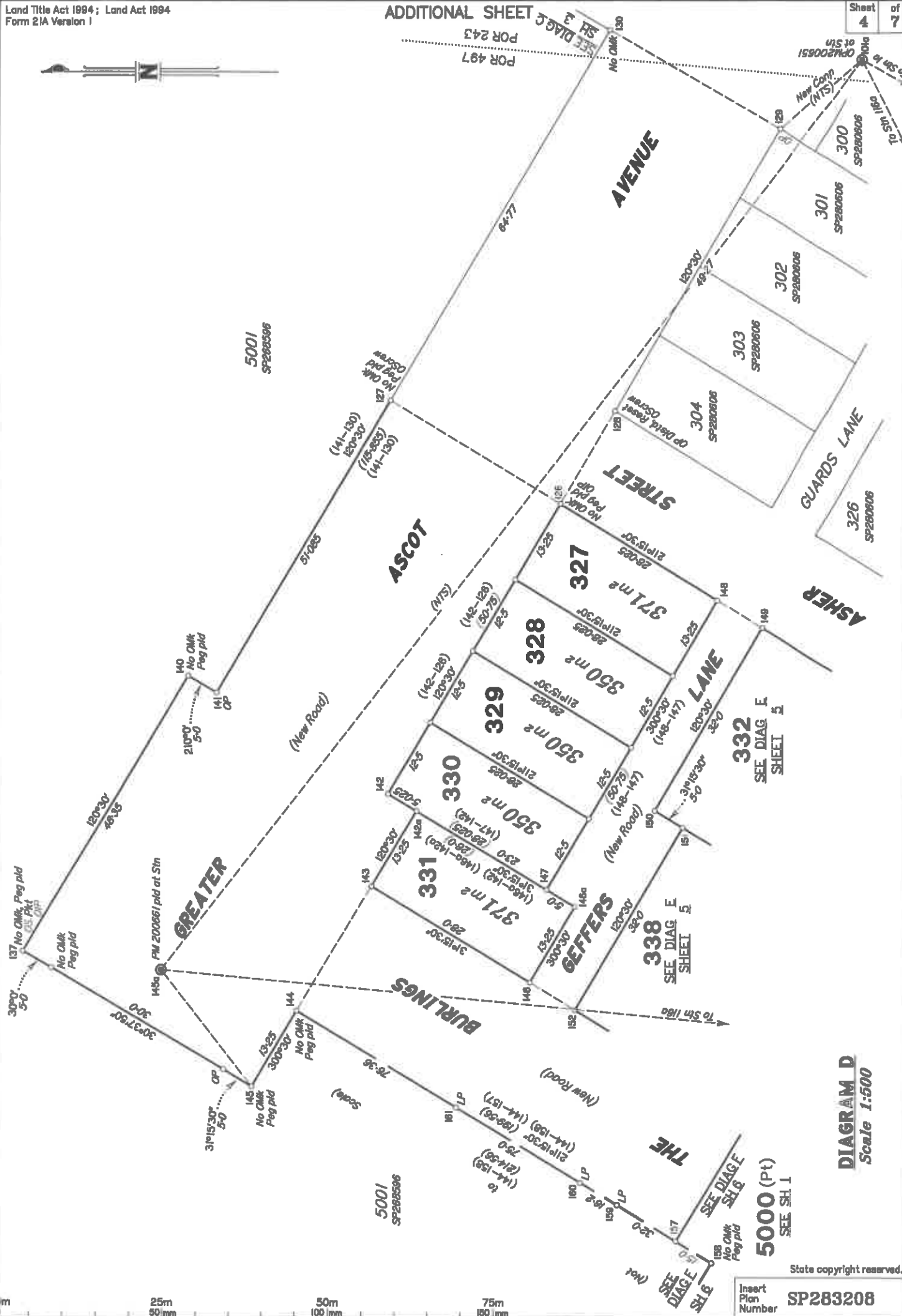


DIAGRAM D
Scale 1:500

5000 (Pt)
SEE SH 1

Insert Plan Number
SP283208

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26700/1117 SEM

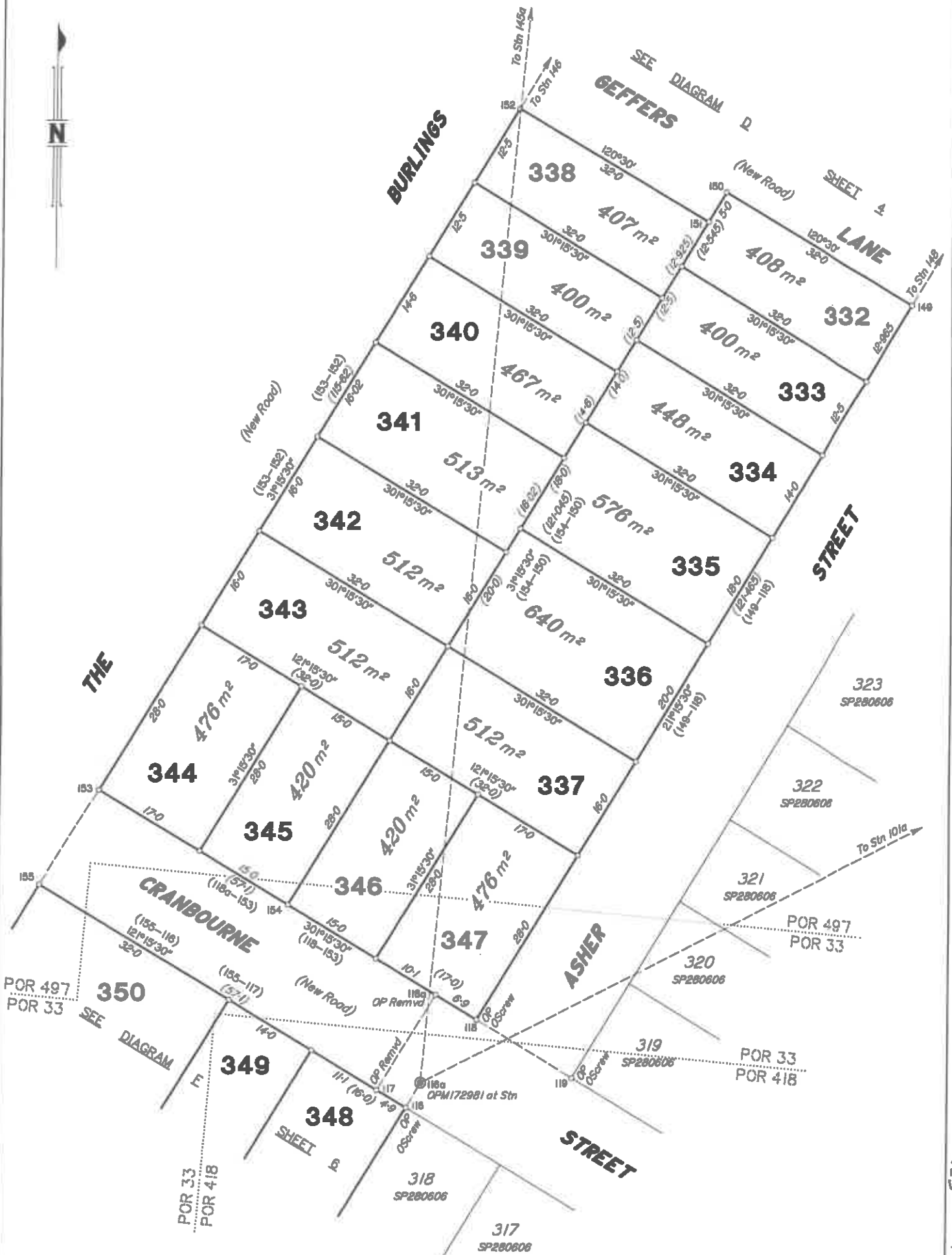
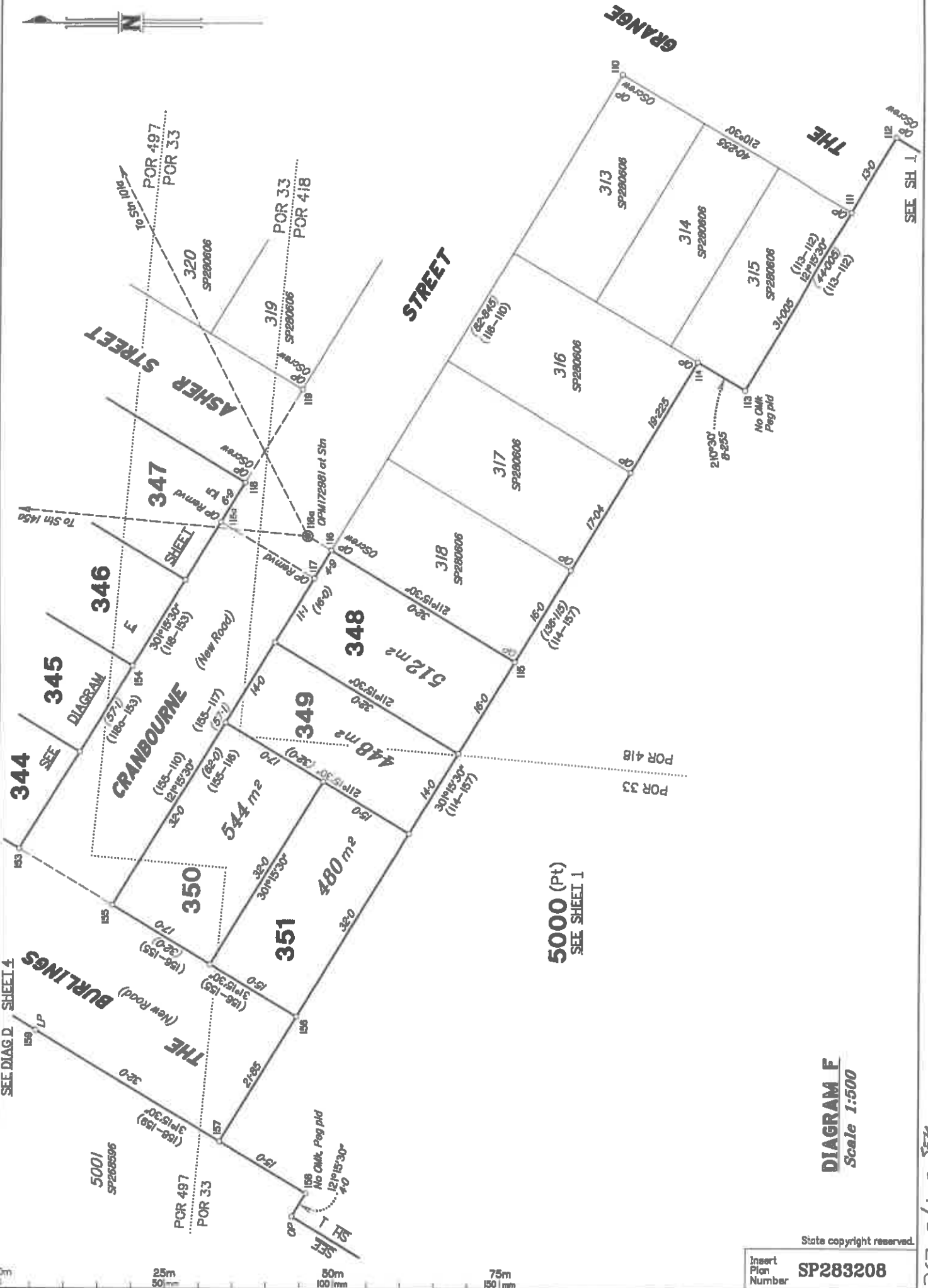


DIAGRAM E
Scale 1:500



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Insert Plan Number **SP283208**

21700/1117 SEM



5000 (Pt)
SEE SHEET 1

DIAGRAM F
Scale 1:500

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27/07/11/17 524