

PROPOSED RECONFIGURATION






Lots 352-379

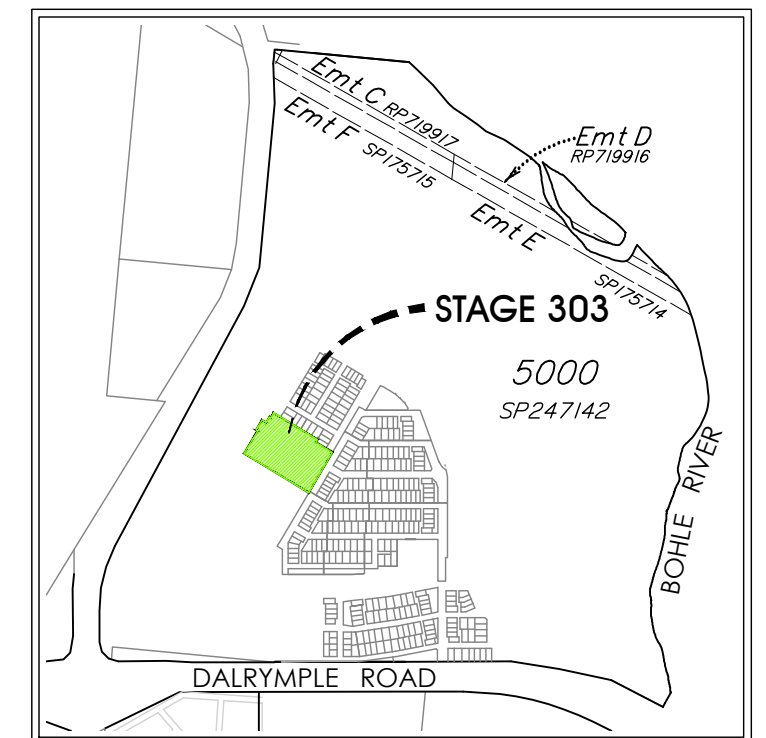
Cancelling Lots 5000 on SP247142

Parish of Bohle
County of Elphinstone
City of Townsville

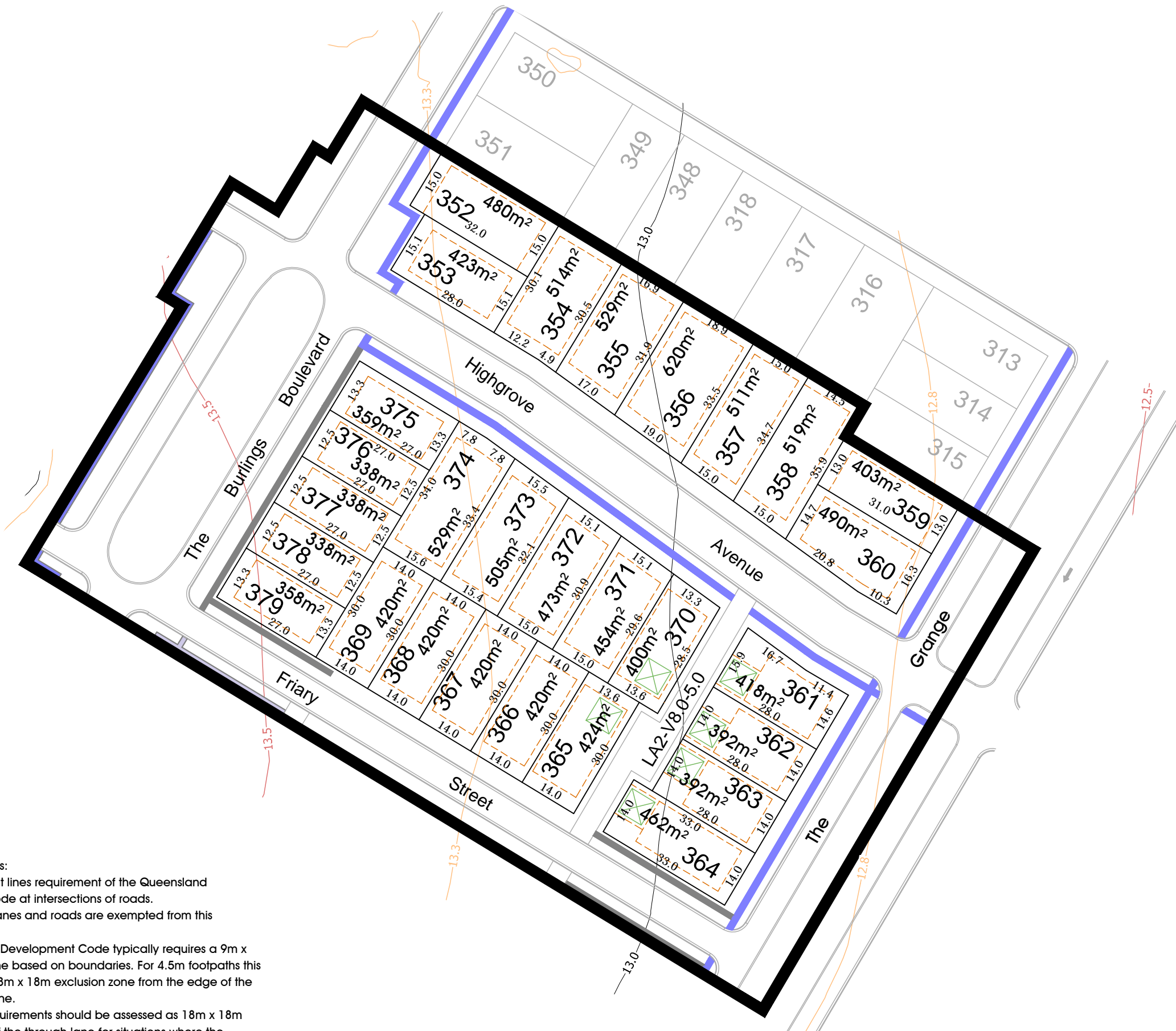
STAGE 303

Total Site Area 2.58 ha
Area of Open Space -
Average Lot Area..... 443m²
Total Length of New Road 810m

-  1.2m path
-  1.5m path
-  1.0m contour
-  0.5m contour
-  Garage with optional residential over



LOCALITY 1:20,000



Notes

Corner Sight Lines:
Comply with sight lines requirement of the Queensland Development Code at intersections of roads.
Intersections of lanes and roads are exempted from this requirement.
The Queensland Development Code typically requires a 9m x 9m exclusion zone based on boundaries. For 4.5m footpaths this translate to an 18m x 18m exclusion zone from the edge of the through traffic lane.
The sight line requirements should be assessed as 18m x 18m from the edge of the through lane for situations where the footpath is greater than 4.5m or where there is a parking lane, clipped lot or parkland between the lot and road.

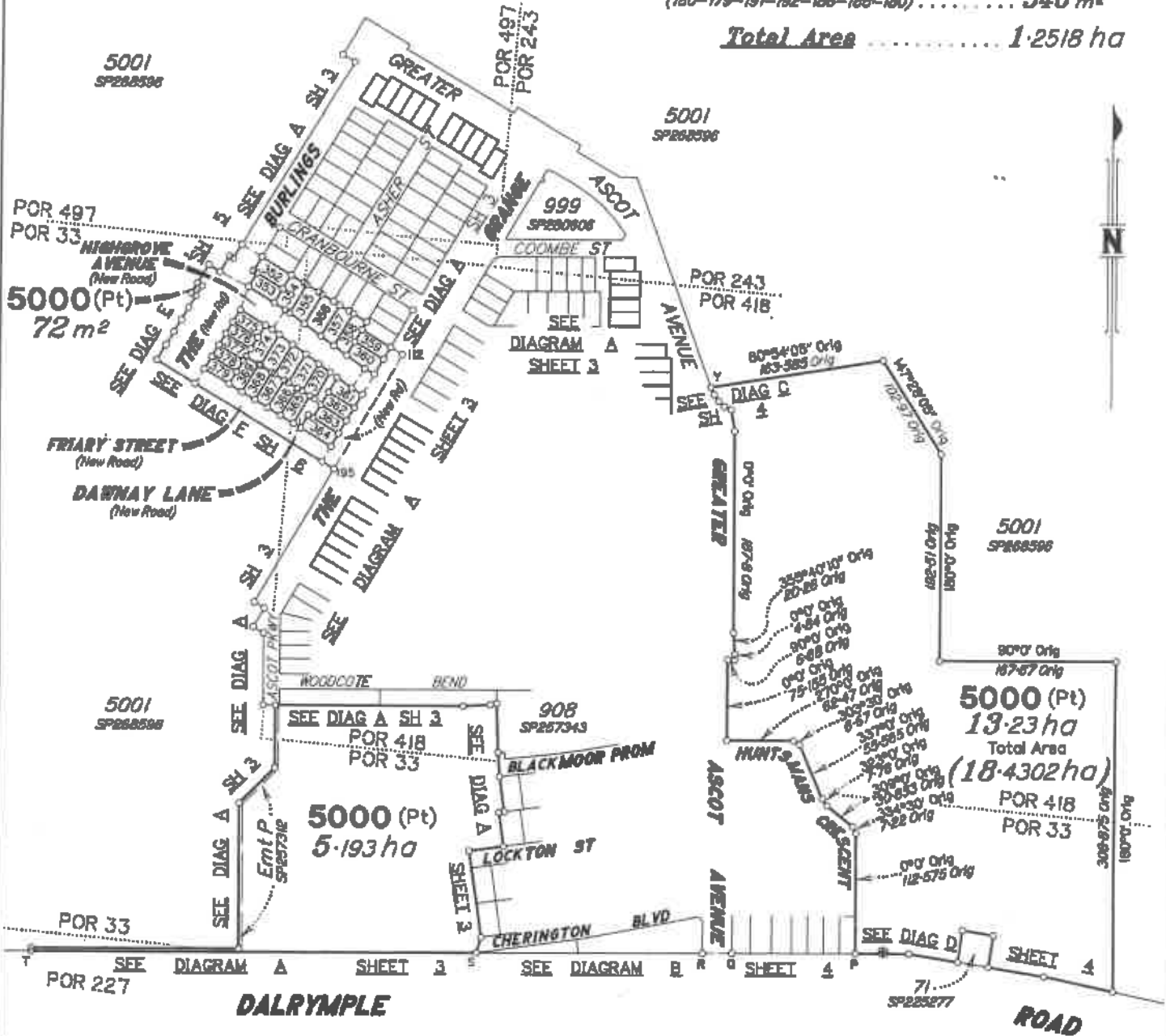
Original information compiled from SP283208
SP247143 & SP247142 in the Department of Natural
Resources and Mines.

Pegs placed at all new corners
unless otherwise stated.

For Traverse Tabulation See Sheet 7
For Permanent Mark Tabulation See Sheet 7
For Reference Mark Tabulation See Sheet 7
For MGA Coordinates Tabulation See Sheet 7

Area of New Road

THE GRANGE (195-194-183-177-176-111-112-195).....	1611 m ²
THE BURLINGS (157-156-172-182-183-198-197-197a- 187b-187c-198-158-187).....	5088 m ²
HIGHGROVE AVENUE (172-171-173-174-175-176-177-178-179- 180-181-184-182-172).....	3055 m ²
FRIARY STREET (183-185-185a-188-192-193-194-186-183).....	2238 m ²
DAWNAY LANE (180-179-191-192-188-188-180).....	546 m ²
Total Area	1.2518 ha



BRAZIER MOTY PTY LTD (ACN 066 411 041) hereby certify that
the land surveyed in this plan was surveyed by the corporation,
by Neil Alan MASSELL, Registered Surveyor, for whose work the
corporation accepts responsibility, under the supervision of
Christopher Francis MCGINN, Cadastre Surveyor, and that the
plan is accurate, that the said survey was performed in
accordance with the Survey and Mapping Infrastructure Act 2003
and Surveyors Act 2003 and associated Regulations and
Standards and that the said survey was completed on 10th
August, 2007.



Director
Date 7/2/08



Plan of Lots 352-379 and 5000		Scale: 1:4000
Cancelling Lot 5000 on SP283208		Format: STANDARD
LOCAL GOVERNMENT: COUNCIL	LOCALITY: SEAVIEW	 SP295380
Merkator: MGA (Zone 55) Vide CORS	Survey Records: No	

26700/1152 SEM

WARNING : Folded or Mutilated Plans will not be accepted.
Plans may be rolled.
Information may not be placed in the outer margins.

(Dealing No.)

a. Lodged by

(Include address, phone number, reference, and Lodger Code)

1. Certificate of Registered Owners or Lessees.

1/No **PARKSIDE DEVELOPMENT PTY LTD**
A.C.N. 009 802 233

Existing		Created		
Title Reference	Description	New Lots	Road	Secondary Interests
51059749	Lot 5000 on SP283208	352-378 & 5000	New Rd	—

(Names in full)

*as Registered Owners of this land agree to this plan and dedicate the Public Use Land as shown hereon in accordance with Section 50 of the Land Title Act 1994.

*as Lessees of this land agree to this plan.

Signature of *Registered Owner

ENCUMBRANCE EASEMENT ALLOCATIONS

Easement	Lots to be Encumbered
715322813 (Emt P on SP257312)	5000

**SIGN
HERE**

* Rule set whichever is inapplicable

2. Planning Body Approval.

*
hereby approves this plan in accordance with the :
%

Dated this day of

* Insert the name of the Planning Body.

Insert designation of signatory or delegation

% Insert applicable approving legislation.

3. Plans with Community Management Statement :

CMS Number :

Name :

4. References :

Dept File :
Local Govt :
Surveyor : 28700/147-01 SEM
26700_132A 05/17

5000	POR 33, POR 418 & POR 227
356-364 & 370	POR 418
354, 355, 365, 366, 371 & 372	POR 33 & POR 418
352, 353,	POR 33
367-388 & 373-378	
Lots	Orig

7. Orig Grant Allocation :

8. Passed & Endorsed :

By: BRAZIER MOTTI PTY LTD
Date: 7/1/17
Signed: [Signature]
Designation: Liaison Officer

a. Building Format Plans only.

I certify that :
* As far as it is practicable to determine, no part of the building shown on this plan encroaches onto adjoining lots or road.
* Part of the building shown on this plan encroaches onto adjoining lots and road

Registrar General / Director * Date
* Delete words not required

b. Lodgement Fees :

Survey Deposit \$
Lodgement \$
..... New Titles \$
Photocopy \$
Postage \$
TOTAL \$

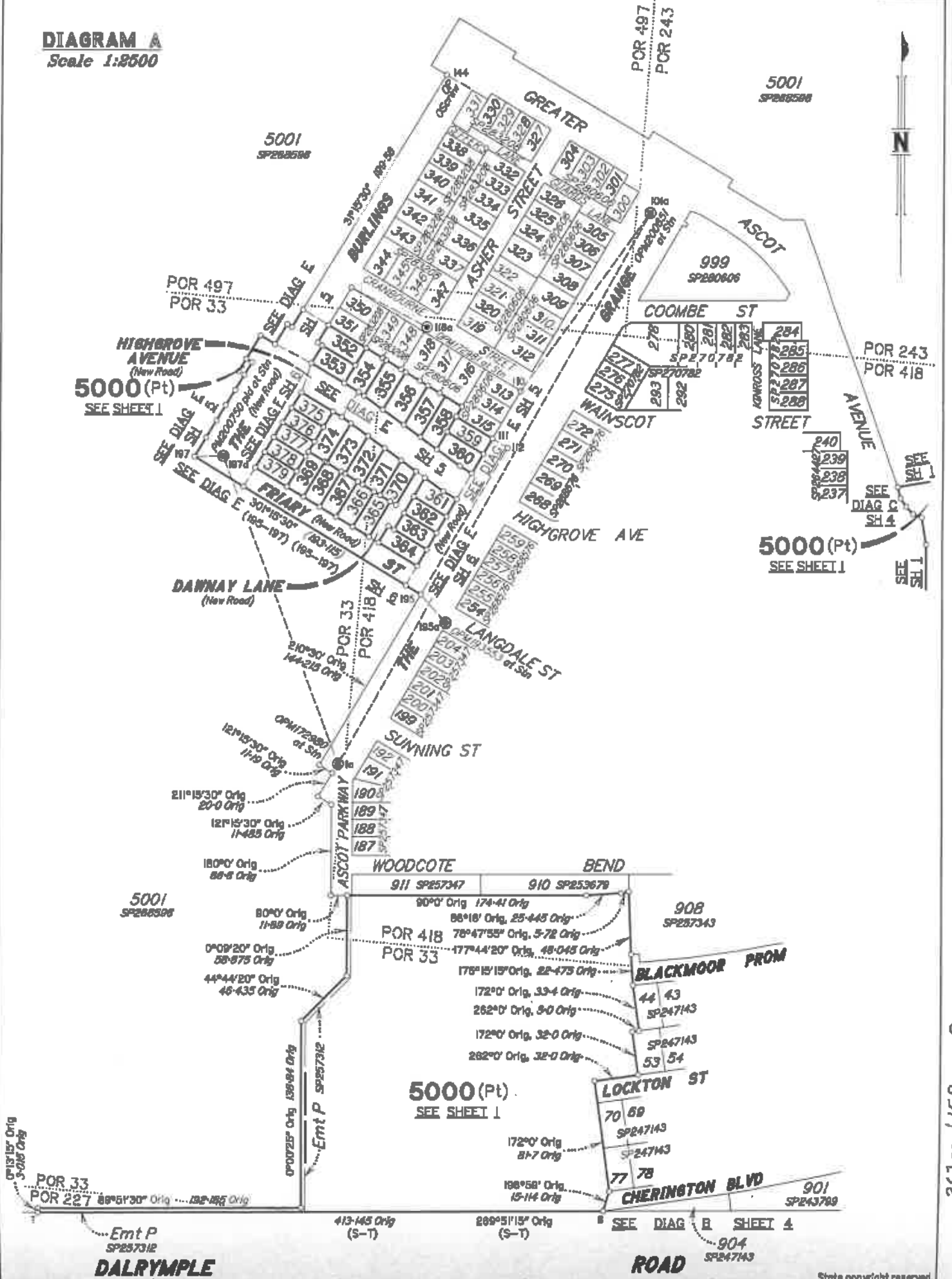
11. Insert Plan Number

SP295380

2011-10-17

DIAGRAM A

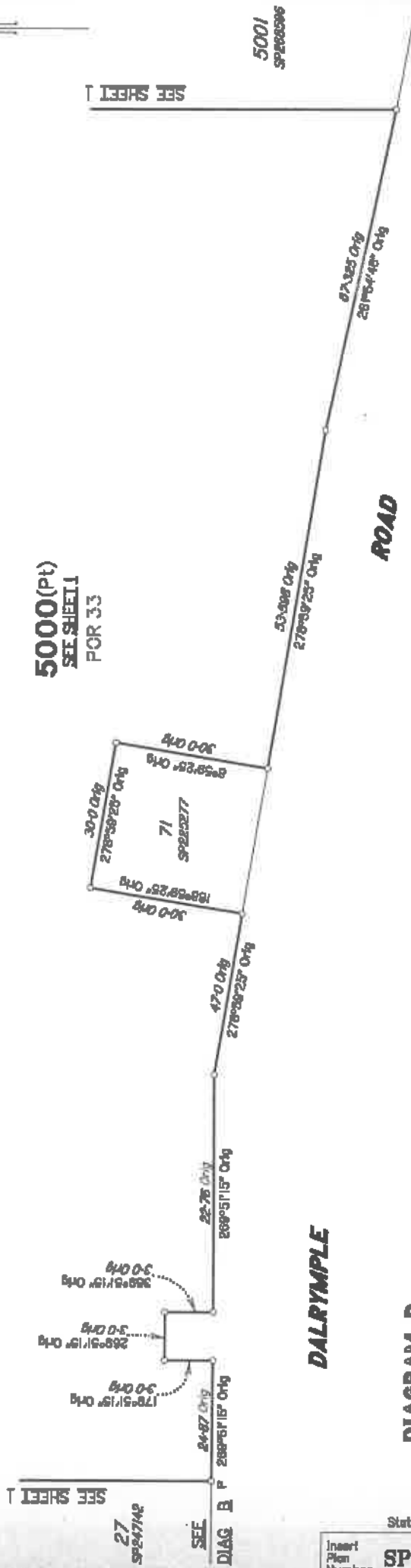
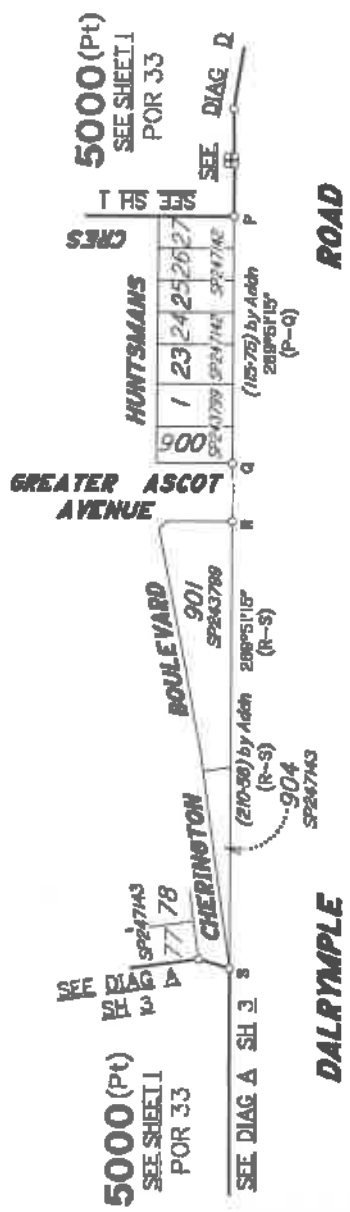
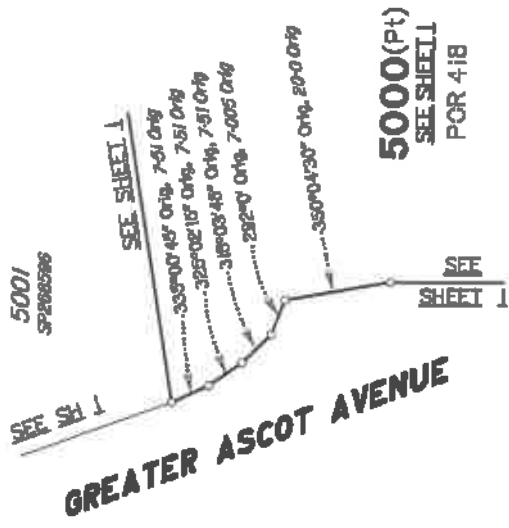
Scale 1:8500



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Insert Plan Number **SP295380**

267m 1152 crs



26700 / 152 SEM



ADDITIONAL SHEET

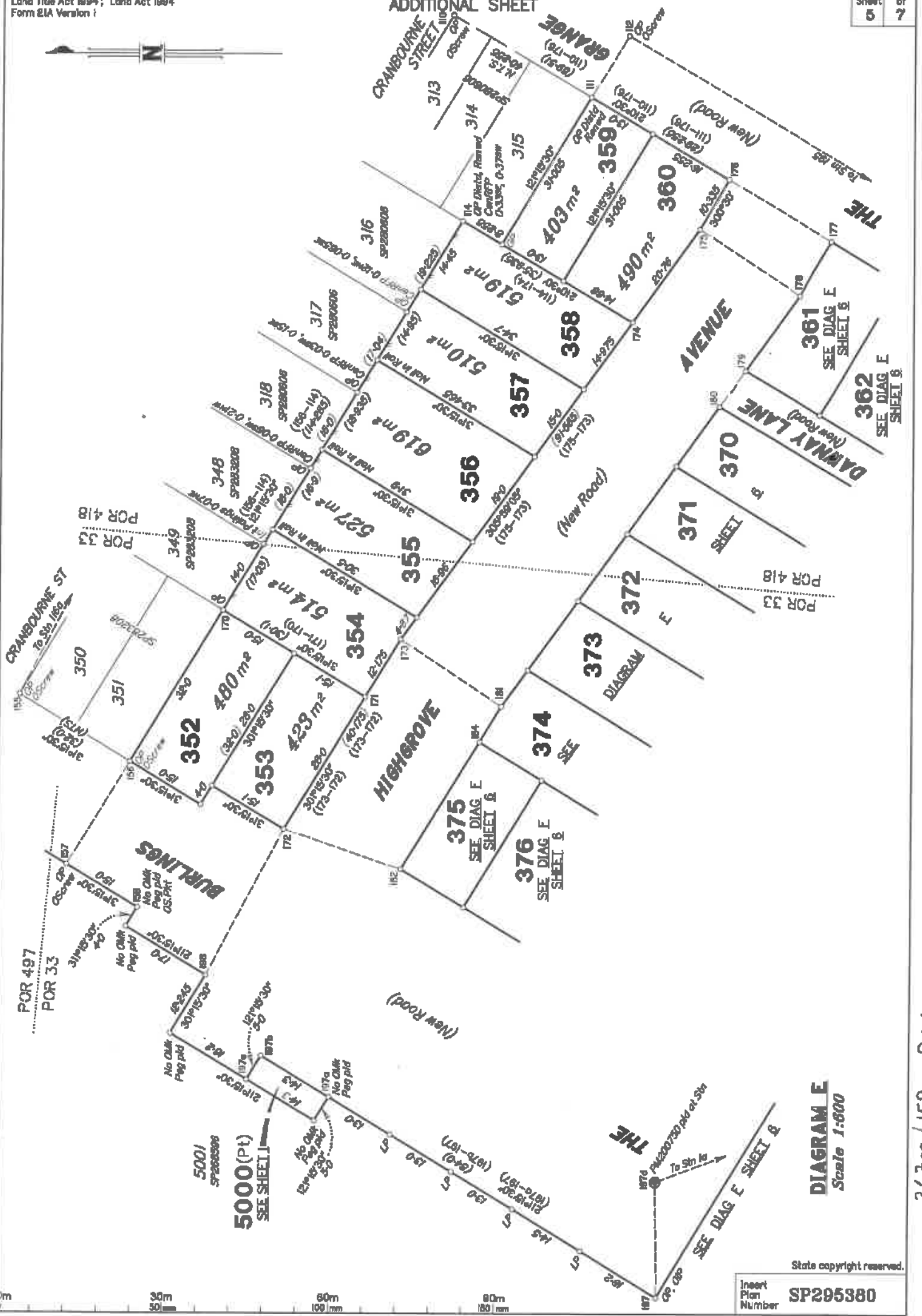


DIAGRAM E
Scale 1:600

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Insert Plan Number **SP295380**

267m / 152 ccm

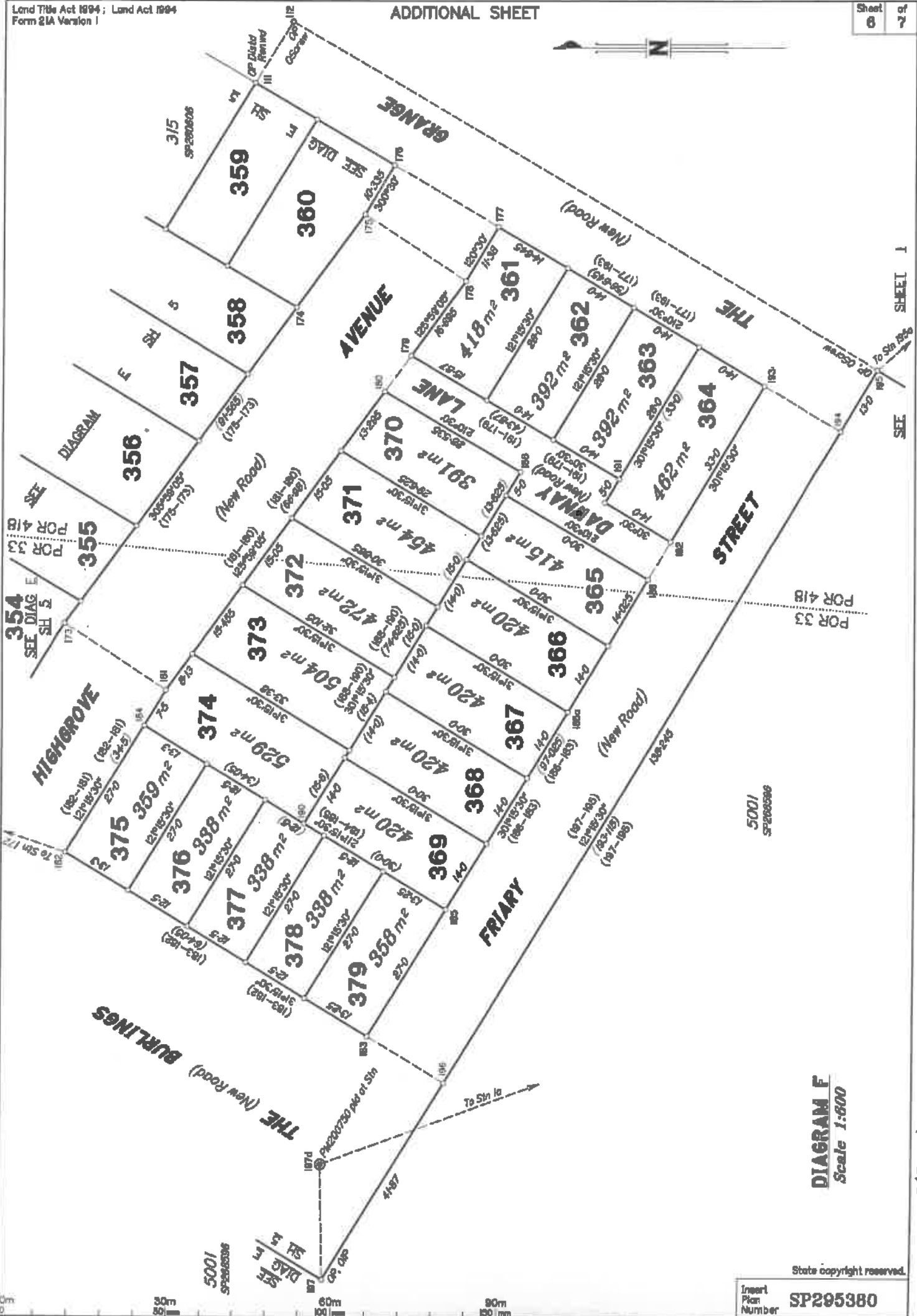


DIAGRAM F
Scale 1:600

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Insert
Plan
Number **SP295380**

SEE SHEET 1

FOR 33

26/1/157 SEM

60m 90m 150m

TRAVERSES ETC

LINE	BEARING	DISTANCE
Q-R	288°31'15"	27.3
1a-101a	28°35'10"	483.773
1a-187a	340°15'10"	240.242
110-101a	35°35'35"	150.805
111-112	121°15'30"	13.0
112-185	210°30'	123.95
118a-185	297°26'30"	62.065
156-157	301°19'30"	21.85
172-182	185°53'20"	22.385
172-188	297°37'	29.91
173-181	213°37'15"	21.87
175-176	213°14'30"	21.875
176-177	210°30'	21.85
178-180	305°59'05"	8.035
183-186	211°13'30"	16.2
186-192	121°15'30"	8.0
183-194	210°30'	16.2
185-185a	138°30'50"	27.43
187-187a	88°53'40"	20.881

New Conn

New Conn

REFERENCE MARKS

STN	TD	ORIGIN	BEARING	DIST
110	O Screw in Kb	110/SP280606	288°12'	8.18
112	O Screw in Conc Beam	112/SP280606	21°15'	3.41
144	O Screw in Prom Ramp	144/SP283208	87°16'	5.285
150	O Screw in Prom Ramp	150/SP283208	358°35'	4.665
156	O Screw in Kb	156/SP283208	322°08'	8.785
157	O Screw in Kb	157/SP283208	83°46'	5.628
158	O.S.Pkt	158/SP283208	13°18'50"	35.24
172	Screw in Kb		285°28'50"	10.185
173	Screw in Kb		213°40'20"	4.84
174	Screw in Kb		182°12'20"	7.525
176	Screw in M/H		125°00'40"	5.82
176	IPin		94°43'	16.285
177	Screw in Path		84°20'40"	3.465
178	Screw in M/H		39°12'	4.82
181	Screw in Kb		38°17'10"	8.175
182	Screw in Kb		349°21'10"	7.585
183	Screw in Kb		273°45'40"	8.4
185a	Screw in Kb		185°13'55"	4.83
185a	Screw in Kb		203°24'10"	11.835
183	Screw in Kb		126°19'	5.98
184	S.Pkt		220°48'50"	5.73
184	Screw in Kb		85°29'50"	8.2
185	IPin		39°11'50"	8.11
185	O Screw in Kb	53a/SP288596	152°52'50"	24.84
186	Screw in Kb		318°37'	13.78
187	O.P	55/SP288596	238°41'30"	8.415
187	S.Pkt		208°41'50"	8.803
187	Screw in Kb		83°48'30"	14.085
187	Screw in Kb		104°50'50"	14.18
187a	Screw in Kb		48°28'20"	18.2
188	Screw in Kb		142°16'20"	8.285

PERMANENT MARKS

PM	ORIGIN	BEARING	DIST	NO	TYPE
1a-OPM	1a/SP280606	at Station		172880	Brown Pk
101a-OPM	101a/SP280606	at Station		200651	Mini Mk
118a-OPM	118a/SP280606	at Station		172881	Brown Pk
185a-OPM	78a/SP287347	at Station		193553	Mini Mk
187a-PM		at Station		200790	Mini Mk

M.G.A. COORDINATES GDA-94

STATION	EASTING	NORTHING	ZONE	P.U.	LINEAGE	METHOD	REMARKS
PM172880	488 588 578	7 887 827 817	55	O-027	Derived	AusPOS	OPM
PM200651	488 817 463	7 887 930 858	55	O-012	Derived	AusPOS	OPM

Survey Report

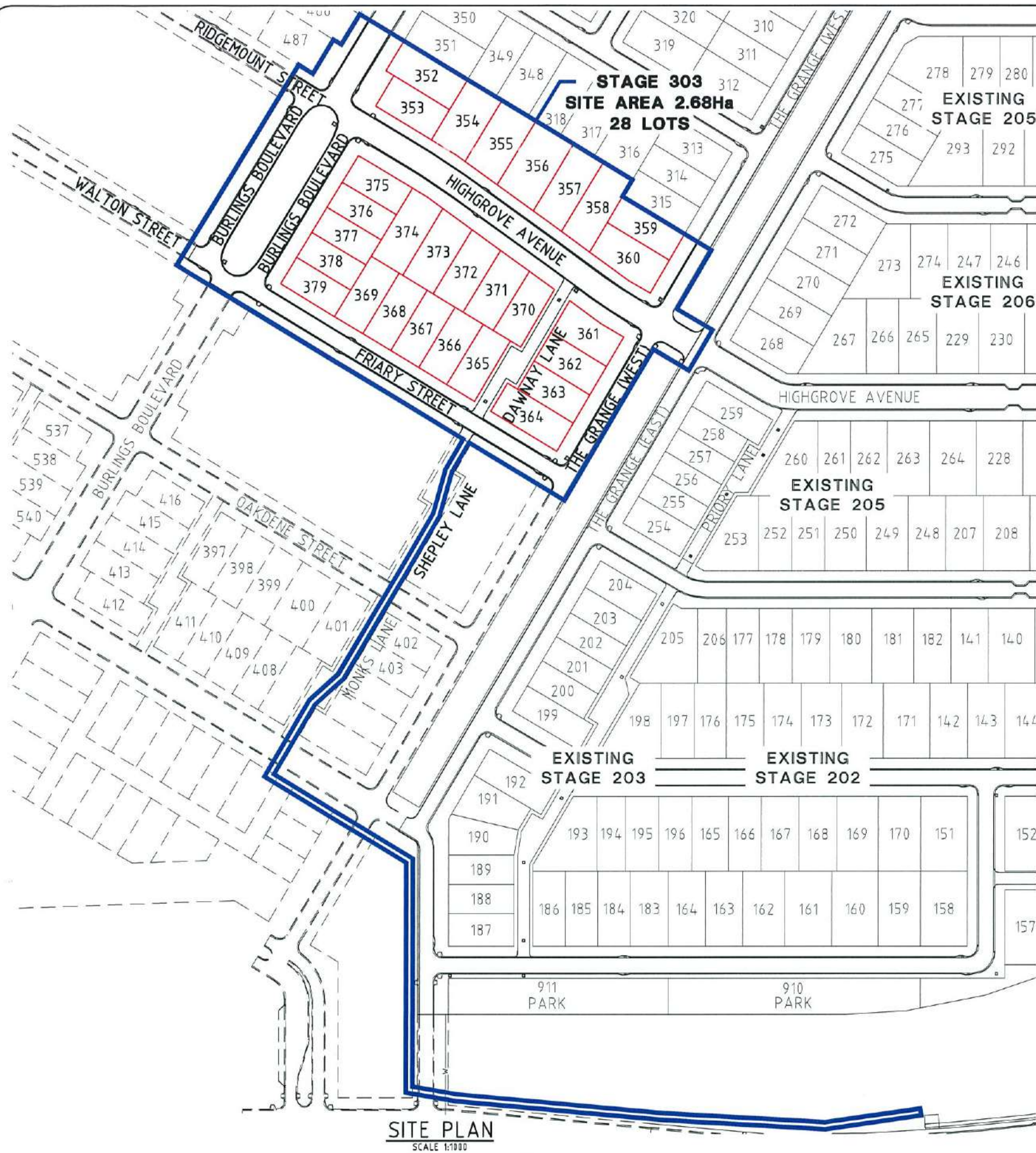
Adjoining plans to this subdivision include SP283208 and SP 280606 to the NE and SP288576 to the SE. SP288596 (Lot 5001) abuts the NW and SW boundaries.

28 new allotments and 1.259 HA of new road were created from the northern part of Lot 5000 on SP283208.

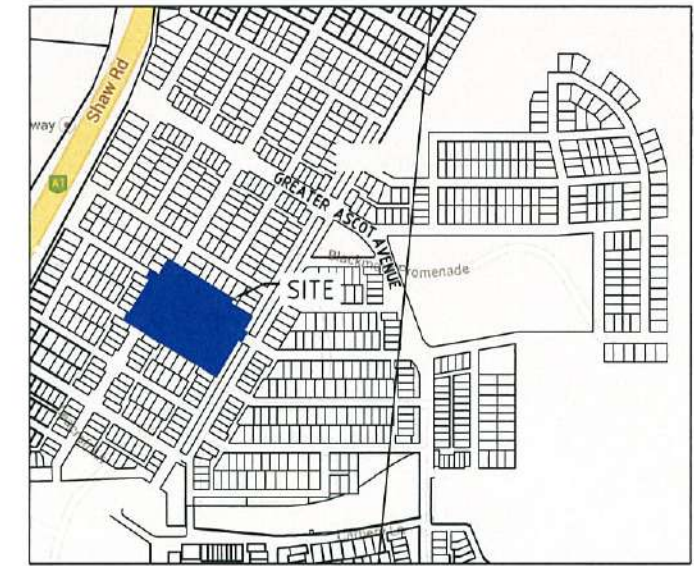
MGA meridian was established using OPM 200651 and OPM 172980 which were coordinated as Auspos stations on SP280606.

This subject lot, (5000Pt) was well defined by OP and O screw at stn 195, OP and O Screw at stn 112, OP's at all original corners adjoining SP 280606 and SP283208, OP's and O Screws at stn's 156 and 157 and OP at stn 197. All lines show agreement with deed dimensions. Pegs were placed at all new corners and where original marks were found missing or damaged.

763m/167 CRM



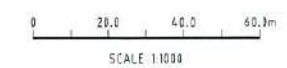
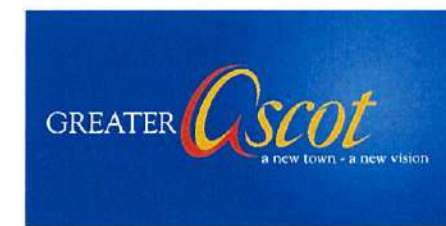
SITE PLAN
SCALE 1:1000



LOCALITY PLAN
NTS

DRAWING SCHEDULE

DRAWING No.	NAME
CONSTRUCTION SET DRAWINGS	
PAR-0074-C01	LOCALITY PLAN, SITE PLAN & DRAWING SCHEDULE
PAR-0074-C02	ROAD GEOMETRY PLAN
PAR-0074-C03	EARTHWORKS LAYOUT PLAN
PAR-0074-C04	ROADWORKS & STORMWATER DRAINAGE PLAN
PAR-0074-C05	THE GRANGE (WEST) LONGITUDINAL & CROSS SECTIONS
PAR-0074-C06	BURLINGS BOULEVARD LONGITUDINAL SECTION
PAR-0074-C07	BURLINGS BOULEVARD CROSS SECTIONS SHEET 1 OF 2
PAR-0074-C08	BURLINGS BOULEVARD CROSS SECTIONS SHEET 2 OF 2
PAR-0074-C09	HIGHGROVE AVENUE LONGITUDINAL AND CROSS SECTIONS
PAR-0074-C10	RIDGEMOUNT STREET LONGITUDINAL & CROSS SECTIONS
PAR-0074-C11	FRIARY STREET LONGITUDINAL & CROSS SECTIONS
PAR-0074-C12	WALTON STREET LONGITUDINAL & CROSS SECTIONS
PAR-0074-C13	ROADWORKS DETAILS PLAN - SHEET 1 OF 2
PAR-0074-C14	ROADWORKS DETAILS PLAN - SHEET 2 OF 2
PAR-0074-C15	CONCRETE DETAILS PLAN
PAR-0074-C16	ROAD LINEMARKING DETAILS PLAN - SHEET 1 OF 2
PAR-0074-C17	ROAD LINEMARKING DETAILS PLAN - SHEET 2 OF 2
PAR-0074-C18	STORMWATER CULVERT DETAILS PLAN
PAR-0074-C19	Q2 STORMWATER LONGITUDINAL SECTION - SHEET 1 OF 3
PAR-0074-C20	Q2 STORMWATER LONGITUDINAL SECTION - SHEET 2 OF 3
PAR-0074-C21	Q2 STORMWATER LONGITUDINAL SECTION - SHEET 3 OF 3
PAR-0074-C22	WATER RETICULATION PLAN
PAR-0074-C23	SEWERAGE RETICULATION PLAN - SHEET 1 OF 2
PAR-0074-C24	SEWERAGE RETICULATION PLAN - SHEET 2 OF 2
PAR-0074-C25	SESC STRATEGY - CONSTRUCTION PHASE
PAR-0074-C26	SESC STRATEGY - POST CONSTRUCTION PHASE
PAR-0074-C27	SESC STRATEGY - DETAILS PLAN
PAR-0074-C28	LOT CONSTRAINTS PLAN - SHEET 1 OF 3
PAR-0074-C29	LOT CONSTRAINTS PLAN - SHEET 2 OF 3
PAR-0074-C30	LOT CONSTRAINTS PLAN - SHEET 3 OF 3
ADDITIONAL COUNCIL INFORMATION DRAWINGS	
PAR-0074-C31	Q2 STORMWATER CATCHMENT PLAN
PAR-0074-C32	Q2 STORMWATER DATA TABLES - SHEET 1 OF 2
PAR-0074-C33	Q2 STORMWATER DATA TABLES - SHEET 2 OF 2
PAR-0074-C34	Q100 STORMWATER CATCHMENT PLAN - SHEET 1 OF 2
PAR-0074-C35	Q100 STORMWATER CATCHMENT PLAN - SHEET 2 OF 2



SCALE 1:1000

CONSTRUCTION ISSUE		
REV.	DATE	REVISIONS
A	27/04/16	ISSUED FOR CONSTRUCTION
1	01/04/16	ISSUED FOR OPERATIONAL WORKS APPROVAL

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ISO 9001

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REAL PROPERTY DESCRIPTION:
LOT 5000 ON SP280606

DRAWN: J.THORSEN	DATUM: AHD (DERIVED) PSM131673 RL.11.997 DALRYMPLE ROAD
DESIGNED: N.FREEMAN	CHECKED: G.FYSH
PROJECT MANAGER: P.PETERSEN	PROJECT DIRECTOR: D.GIBSON RPEQ 13230

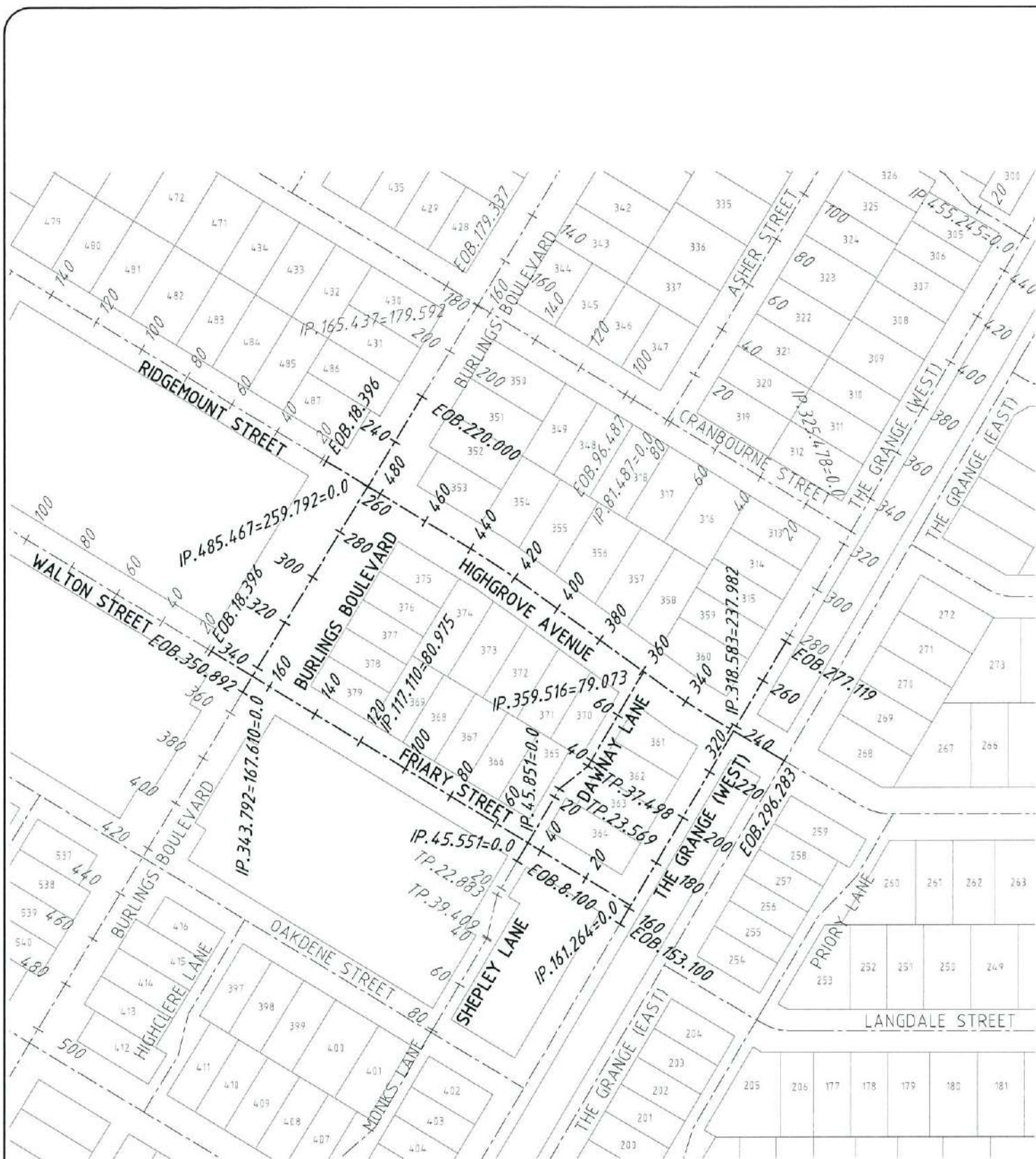
UDP
Excellence Through Partnerships

DALGETY PLACE
84 DENHAM STREET
PO BOX 1110
TOWNSVILLE QLD 4810

Phone: (07) 4772 0866
Fax: (07) 4772 0566
Email: main@udpgroup.com.au
Web: www.udpgroup.com.au

PARKSIDE DEVELOPMENT PTY LTD			
GREATER ASCOT PRECINCT 3 - STAGE 303			
GREATER ASCOT AVENUE, SHAW			
LOCALITY PLAN, SITE PLAN & DRAWING SCHEDULE			
DRAWING SIZE	SCALE	DRAWING No.	REV
A1	1:1000	PAR-0074-C01	A
XREF	PAR-0074-XR-DESIGN		

\\UDP-FS\DATA\JOB DATA\PAR\LOT4\ENGINEERING\DRAWINGS\PAR-0074-C31.DWG



ROAD GEOMETRY PLAN
SCALE 1:1000

CONTROL LINE HIGHGROVE AVENUE

	CHAINAGE	EASTING	NORTHING	BEARING	RADIUS	LENGTH
START	295.283	68697.771	89230.104	300d30' 0"	STRAIGHT	32.383
END	328.666	68669.868	89246.540	300d30' 0"		
START	328.666	68669.868	89246.540	300d30' 0"	200.000	19.144
END	347.810	68653.864	89257.030	305d59' 3"		
CENTRE	347.810	68653.864	89257.030	305d59' 3"		
START	347.810	68653.864	89257.030	305d59' 3"	STRAIGHT	73.801
END	421.611	68594.146	89300.392	305d59' 3"		
START	421.611	68594.146	89300.392	305d59' 3"	200.000	16.496
END	438.107	68580.413	89309.523	301d15' 30"		
CENTRE	438.107	68476.633	89138.556	301d15' 30"		
START	438.107	68580.413	89309.523	301d15' 30"	STRAIGHT	47.360
END	485.467	68539.928	89334.099	301d15' 30"		

CONTROL LINE THE GRANGE (WEST)

	CHAINAGE	EASTING	NORTHING	BEARING	RADIUS	LENGTH
START	0.000	68557.772	89036.370	30d30' 0"	STRAIGHT	153.100
END	153.100	68635.476	89168.285	30d30' 0"		
START	153.100	68635.476	89168.285	30d30' 0"	STRAIGHT	124.019
END	277.119	68698.420	89275.144	30d30' 0"		
START	277.119	68698.420	89275.144	30d30' 0"	STRAIGHT	48.360
END	325.479	68722.965	89316.812	30d30' 0"		

CONTROL LINE BURLINGS BOULEVARD

	CHAINAGE	EASTING	NORTHING	BEARING	RADIUS	LENGTH
START	0.000	68674.733	89556.179	211d15' 30"	STRAIGHT	220.000
END	220.000	68560.576	89368.115	211d15' 30"		
START	220.000	68560.576	89368.115	211d15' 30"	STRAIGHT	130.892
END	350.892	68492.656	89256.223	211d15' 30"		
START	350.892	68492.656	89256.223	211d15' 30"	STRAIGHT	288.569
END	639.461	68342.918	89009.544	211d15' 30"		

CONTROL LINE RIDGEMONT STREET

	CHAINAGE	EASTING	NORTHING	BEARING	RADIUS	LENGTH
START	0.000	68539.928	89334.099	301d15' 30"	STRAIGHT	18.396
END	18.396	68524.202	89343.644	301d15' 30"		
START	18.396	68524.202	89343.644	301d15' 30"	STRAIGHT	165.782
END	184.178	68382.486	89429.668	301d15' 30"		

CONTROL LINE DAWNAY LANE

	CHAINAGE	EASTING	NORTHING	BEARING	RADIUS	LENGTH
START	0.000	68600.422	89199.113	30d30' 0"	STRAIGHT	23.569
END	23.569	68612.384	89219.421	30d30' 0"		
START	23.569	68612.384	89219.421	30d30' 0"	STRAIGHT	13.929
END	37.498	68623.291	89228.086	51d32' 9"		
START	37.498	68623.291	89228.086	51d32' 9"	STRAIGHT	41.575
END	79.073	68644.391	89263.908	30d30' 0"		

CONTROL LINE SHEPLEY LANE

	CHAINAGE	EASTING	NORTHING	BEARING	RADIUS	LENGTH
START	0.000	68600.681	89198.956	211d15' 30"	STRAIGHT	8.100
END	8.100	68596.478	89192.032	211d15' 30"		
START	8.100	68596.478	89192.032	211d15' 30"	STRAIGHT	14.783
END	22.883	68588.807	89179.395	211d15' 30"		
START	22.883	68588.807	89179.395	211d15' 30"	STRAIGHT	16.526
END	39.409	68585.120	89163.285	192d53' 20"		

CONTROL LINE WALTON STREET

	CHAINAGE	EASTING	NORTHING	BEARING	RADIUS	LENGTH
START	0.000	68496.340	89262.292	301d15' 30"	STRAIGHT	18.396
END	18.396	68480.614	89271.838	301d15' 30"		
START	18.396	68480.614	89271.838	301d15' 30"	STRAIGHT	134.991
END	153.387	68365.220	89341.884	301d15' 30"		

CONTROL LINE FRIARY STREET

	CHAINAGE	EASTING	NORTHING	BEARING	RADIUS	LENGTH
START	0.000	68639.619	89175.320	301d15' 30"	STRAIGHT	167.610
END	167.610	68496.340	89262.292	301d15' 30"		

SURVEY CONTROL POINTS

POINT	EASTING	NORTHING	ELEVATION	DESCRIPTION
131673	68967.946	88696.352	11.997	psm131673
129289	69533.633	88518.132	9.793	psm129289
C500	69500.506	88571.892	10.671	SIP/Levelled
C501	69272.638	88673.008	10.428	SIP/Levelled
C502	69090.090	88681.892	11.273	SIP/Levelled
C503	68897.458	88681.777	12.135	SIP/Levelled
C504	68694.248	88684.786	13.082	SIP/Levelled
C505	68499.450	88680.939	13.488	SIP/Levelled



CONSTRUCTION ISSUE	
REV.	DATE
A	27/04/16 ISSUED FOR CONSTRUCTION
1	01/04/16 ISSUED FOR OPERATIONAL WORKS APPROVAL

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ISO 9001

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REAL PROPERTY DESCRIPTION:
LOT 5000 ON SP280606

DRAWN: J. THORSEN
DESIGNED: N. FREEMAN
CHECKED: G. FYSH
PROJECT MANAGER: P. PETERSEN

DATUM: AHD (DERIVED)
PSM131673
RL: 11.997
DALRYMPLE ROAD

PROJECT DIRECTOR: D. GIBSON RPEQ 13230

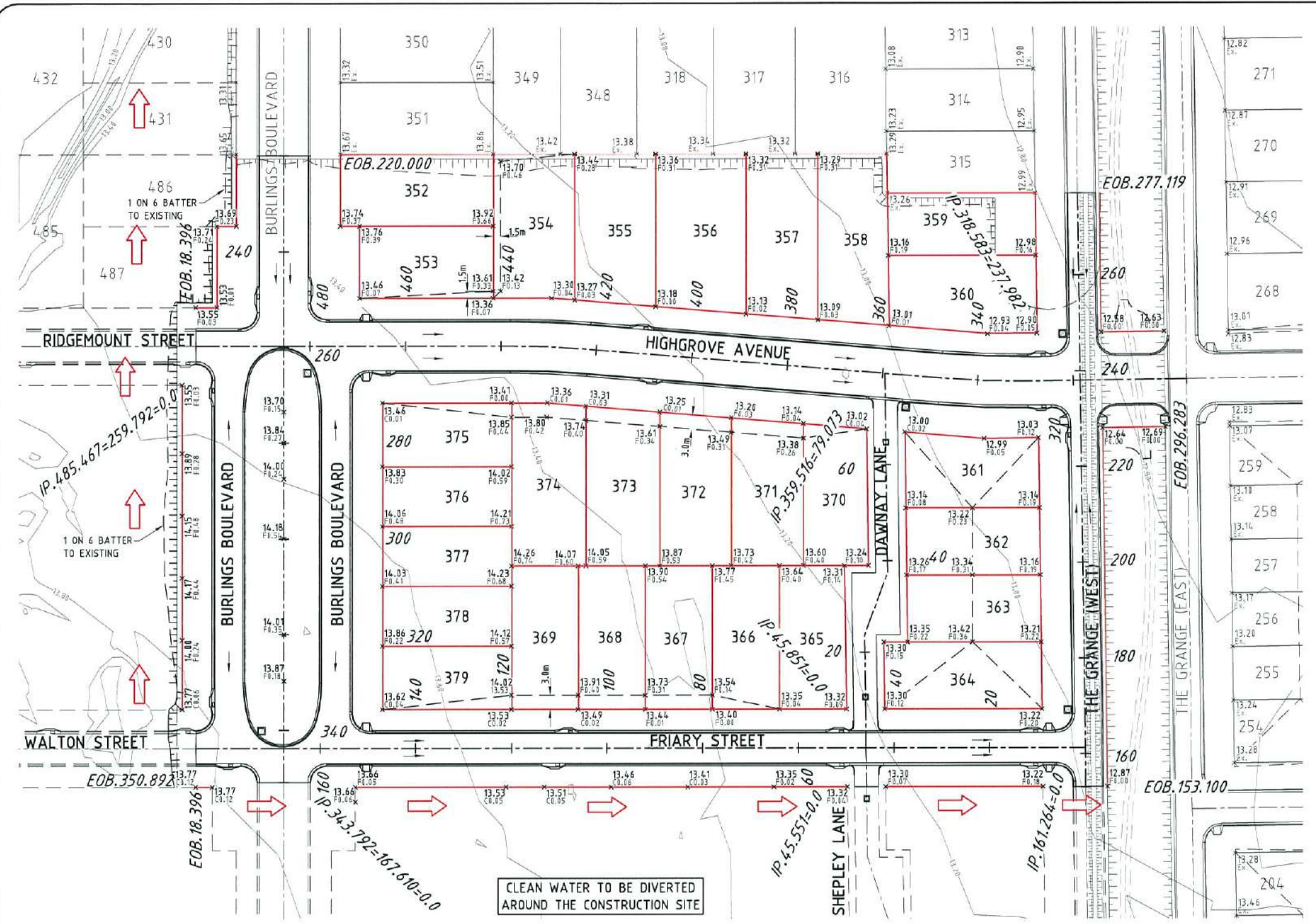
UDP
Excellence Through Partnerships

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Web: www.udpgroup.com.au

PARKSIDE DEVELOPMENT PTY LTD
GREATER ASCOT PRECINCT 3 - STAGE 303
GREATER ASCOT AVENUE, SHAW
ROAD GEOMETRY PLAN

DRAWING SIZE	SCALE	1:1000	DRAWING No.	PAR-0074-C02	REV	A
A1	XREF	PAR-0074-XR-DESIGN				



EARTHWORKS LEGEND

- EXISTING SURFACE CONTOURS
- FINISHED ALLOTMENT LEVEL CUT/FILL VALUE
- DENOTES EXISTING ALLOTMENT LEVEL
- TOP OF BATTER
- BOTTOM OF BATTER
- DIRECTION OF KERB & CHANNEL FLOW
- DIVERSION MOUND

EARTHWORKS NOTES

1. ALL EARTHWORKS OPERATIONS ARE TO BE UNDERTAKEN IN ACCORDANCE WITH THE PROJECT SPECIFICATION.
2. ALLOTMENTS TO BE GRADED EVENLY BETWEEN LEVELS SHOWN. MINIMUM FINISHED ALLOTMENT GRADE TO BE 1200.

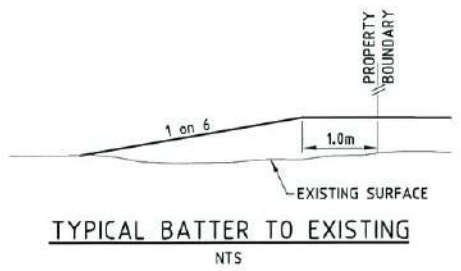
Q100 LEVELS

BURLINGS BOULEVARD		HIGHGROVE AVENUE	
CHAINAGE	LEVEL	CHAINAGE	LEVEL
220	13.46	328.666	12.80
230.000	13.53	340	12.87
240	13.42	360	12.93
250	13.37	380	13.01
260	13.45	400	13.10
280	13.62	420	13.17
300	13.92	440	13.26
320	13.77	460	13.34
340	13.71	485.467	13.45
360	13.66		

FRIARY STREET		WALTON STREET	
CHAINAGE	LEVEL	CHAINAGE	LEVEL
20	13.13	0.000	13.71
40	13.21	20	13.76
60	13.26	40	13.76
80	13.33		
100	13.38		
120	13.45		
140	13.50		
160	13.65		

THE GRANGE (WEST)		RIDGEMOUNT STREET	
CHAINAGE	LEVEL	CHAINAGE	LEVEL
140	12.80	0.000	13.45
160	12.78	20	13.50
180	12.76	40	13.50
200	12.74		
220	12.73		
230.897	12.73		
245.747	12.54		
260	12.51		
280	12.46		

EXISTING SERVICES
 ALL EXISTING SERVICES ARE TO BE LOCATED BY THE CONTRACTOR THROUGH CONTACTING THE RELEVANT SERVICE AUTHORITY PRIOR TO THE COMMENCEMENT OF ANY WORK



CONSTRUCTION ISSUE		
REV.	DATE	REVISIONS
A	27/04/16	ISSUED FOR CONSTRUCTION
1	01/04/16	ISSUED FOR OPERATIONAL WORKS APPROVAL

JAS-ANZ

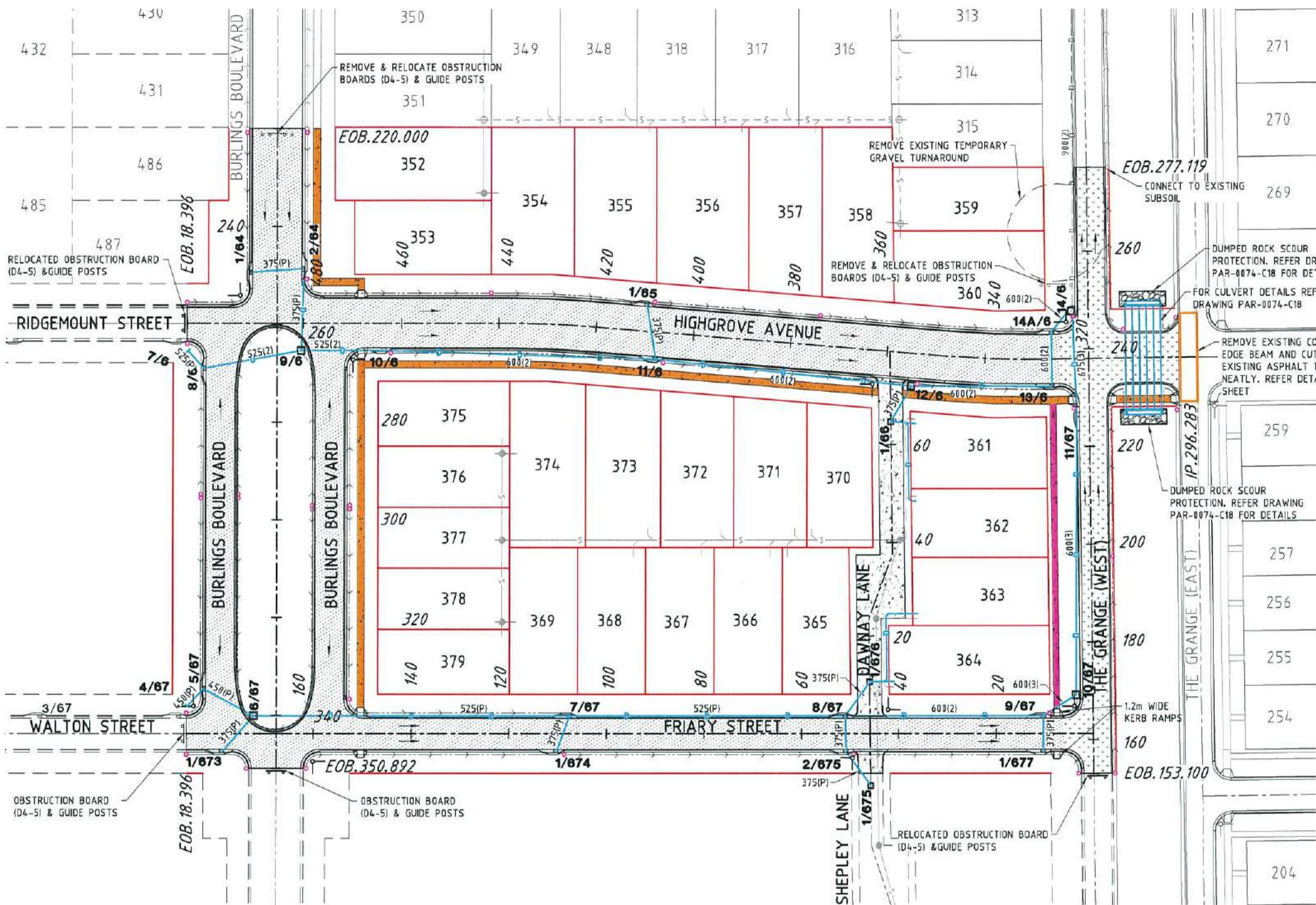
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REAL PROPERTY DESCRIPTION:
 LOT 5000 ON SP280606
 DRAWN: J. THORSEN
 DESIGNED: N. FREEMAN
 CHECKED: G. FYSH
 PROJECT MANAGER: P. PETERSEN
 DATUM: AHD (DERIVED)
 PSM131673
 RL. 11.997
 DALRYMPLE ROAD
 PROJECT DIRECTOR: D. GIBSON RPEQ 13230

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 DALGETY PLACE
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 Fax: (07) 4772 0568
 Email: main@udpgroup.com.au
 Web: www.udpgroup.com.au

PARKSIDE DEVELOPMENT PTY LTD
 GREATER ASCOT PRECINCT 3 - STAGE 303
 GREATER ASCOT AVENUE, SHAW
 EARTHWORKS LAYOUT PLAN
 DRAWING SIZE: A1
 SCALE: 1:500
 XREF: PAR-0074-XR-DESIGN
 DRAWING No.: PAR-0074-C03
 REV: A

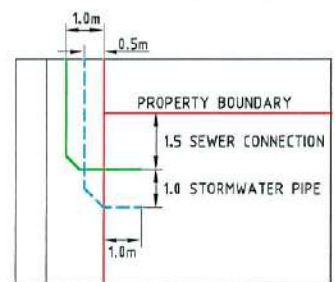
\\UDP-FS\DATA\JOB DATA\PAR\074\ENG\DRAWING\PAR-0074-C13.DWG



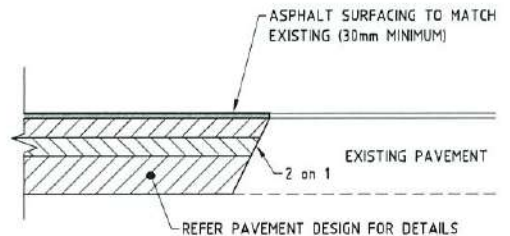
- ### ROADWORKS LEGEND
- LAYBACK KERB AND CHANNEL (TYPE L1)
 - BARRIER KERB AND CHANNEL (TYPE B1)
 - MEDIAN KERB (TYPE SM)
 - FLUSH KERB. REFER DRAWING PAR-0074-C08 FOR DETAILS
 - DOUBLE STREET NAME PLATE
 - DIRECTION OF KERB & CHANNEL FLOW
 - SUBSOIL DRAIN & CLEANOUT POINT
 - 50mm THICK ASPHALT
REFER PAVEMENT DESIGN FOR DETAILS
 - 30mm THICK ASPHALT
REFER PAVEMENT DESIGN FOR DETAILS
 - CONCRETE PAVEMENT
REFER PAVEMENT DESIGN FOR DETAILS
 - 1.5m WIDE KERB RAMP
 - 1.5m CONCRETE PATH
 - 1.2m CONCRETE PATH
 - CONCRETE PATHS:**
150mm THICK N32 CONCRETE, SL82 MESH 50mm TOP COVER
50mm CRUSHER DUST
ADOPT DRIVEWAY CONSTRUCTION FOR ENTIRE PATHWAY.
- ### ROADWORKS NOTES
- ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
 - FOR ROAD GRADING, LEVELS AND TYPICAL SECTIONS, REFER ROAD LONGITUDINAL/CROSS SECTION AND ROADWORKS DETAILS DRAWINGS.
 - FOR SUBSOIL DRAIN DETAILS, REFER TYPICAL SUBSOIL DRAIN CLEANOUT POINT DETAIL AND PAVEMENT & KERBING DETAIL ON DRAWING PAR-0074-C08.
 - ALL SUBSOIL DRAINS TO BE GRADED AT MINIMUM 0.5% FROM HIGH POINT TO OUTLET, UNLESS NOTED OTHERWISE.

- ### STORMWATER LEGEND
- STORMWATER DRAINAGE LINE
 - STORMWATER MANHOLE (MANHOLE NO./LINE NO.)
 - PROPOSED SEWER MAIN
 - EXISTING SEWER MAIN
 - DN150 (1 ALLOTMENT) & DN225 (2 ALLOTMENTS) uPVC STORMWATER PIPE & INVERT LEVEL. EXTEND 1.0m INTO ALLOTMENT. OFFSET 1.0m FROM SEWER HOUSE DRAIN GRADE AT 0.5% TO PITS. ALIGNMENT 0.5m FROM PROPERTY BOUNDARY.
 - KERB INLET PIT (PIT NO./LINE NO.)
 - EXISTING STORMWATER DRAINAGE LINE
 - EXISTING STORMWATER MANHOLE (MANHOLE NO./LINE NO.)
 - EXISTING KERB INLET PIT (PIT NO./LINE NO.)
- ### STORMWATER NOTES
- ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
 - FOR HYDROLOGY AND HYDRAULIC DETAILS, REFER TO STORMWATER DATA TABLE DRAWINGS.
 - FOR STORMWATER SETOUT, LEVELS, PIPE LENGTHS, PIPE CLASS AND STRUCTURE TYPES, REFER STORMWATER LONGITUDINAL DRAWINGS.
 - ALL PIPE CUTS TO BE MADE USING A MASONRY SAW.
 - ALL TRENCHES UNDER ROAD PAVEMENT (INCLUDING FUTURE) TO BE BACKFILLED WITH CRUSHER DUST TO SUBGRADE LEVEL. REFER PROJECT SPECIFICATION FOR COMPACTION AND COMPLIANCE TESTING REQUIREMENTS.
 - REFER DETAILS ON DRAWING PAR-0074-C21 FOR TYPICAL SUBSURFACE DRAINAGE TO STORMWATER MANHOLES, KERB INLET TRANSITION & RRJ STORMWATER PIPE MANHOLE CONNECTION DETAIL.
 - FOR STORMWATER CULVERT DETAILS, REFER DRAWING PAR-0074-C18.

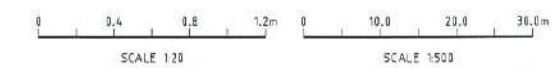
EXISTING SERVICES
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SEWER & STORMWATER TYPICAL SETOUT IN LANEWAY
NTS



TYPICAL PAVEMENT CUTBACK DETAIL
SCALE 1:20



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REAL PROPERTY DESCRIPTION: LOT 5000 ON SP280606	
DRAWN: J.THORSEN	DATUM: AHD (DERIVED)
DESIGNED: N.FREEMAN	PSM131673
CHECKED: G.FYSH	RL.11.997
PROJECT MANAGER: P.PETERSEN	DALRYMPLE ROAD
	PROJECT DIRECTOR: D.GIBSON RPEQ 13230

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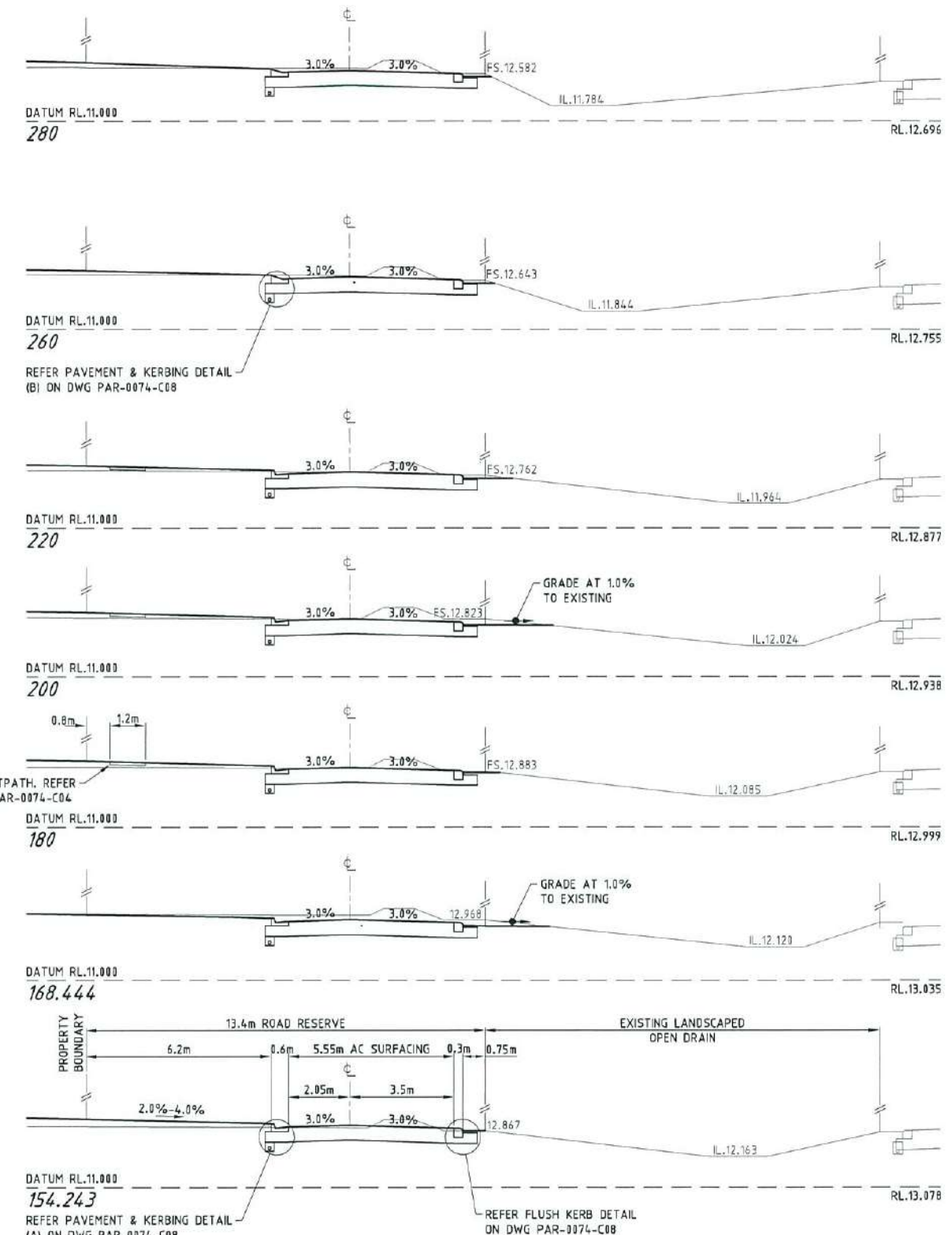
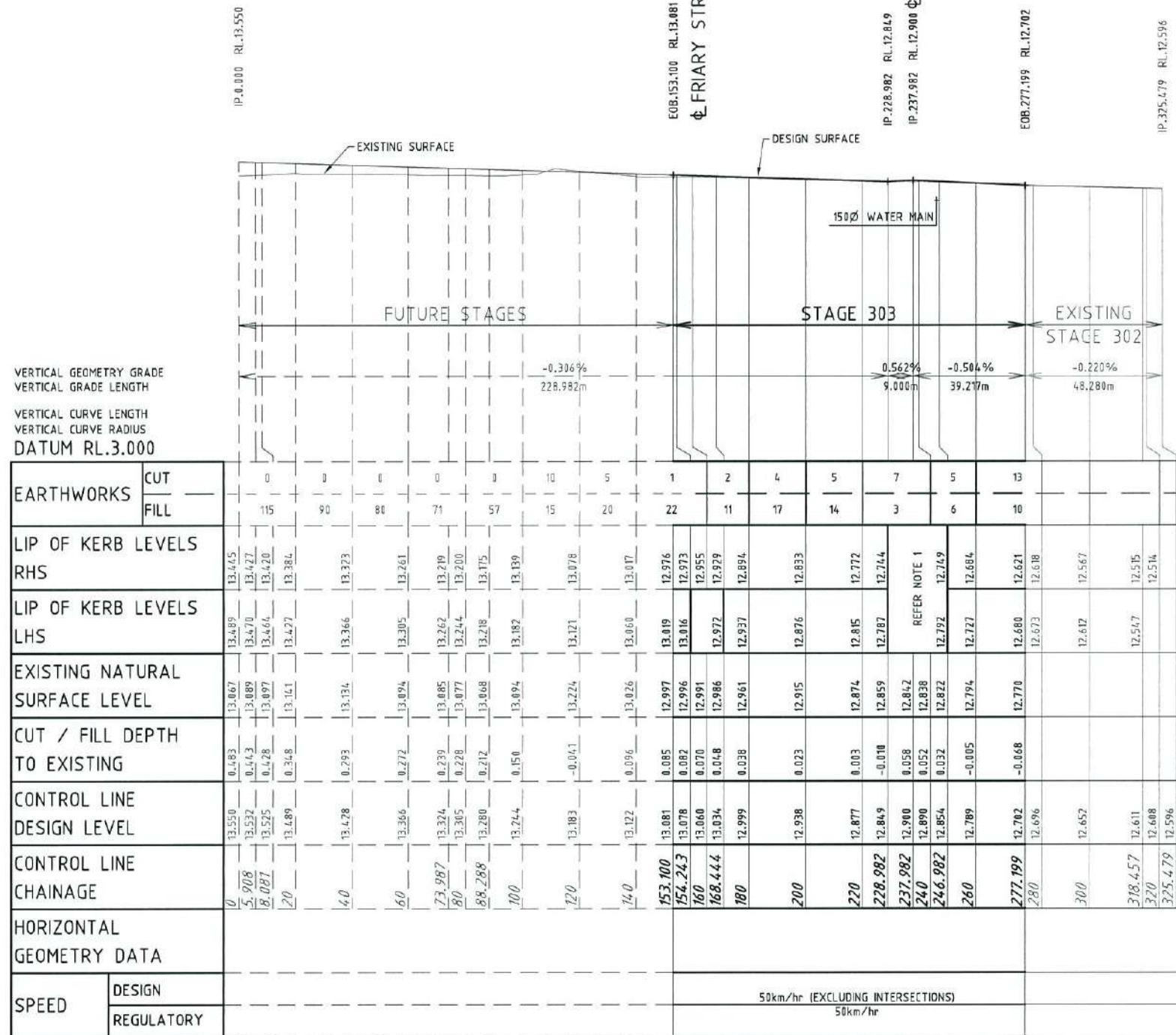
DALGETY PLACE
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 TOWNSVILLE QLD 4810

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 Web: www.udpgroup.com.au

PARKSIDE DEVELOPMENT PTY LTD			
GREATER ASCOT PRECINCT 3 - STAGE 303			
GREATER ASCOT AVENUE, SHAW			
ROADWORKS & STORMWATER DRAINAGE PLAN			
DRAWING SIZE A1	SCALE XREF	AS SHOWN PAR-0074-XR-DESIGN	DRAWING No. PAR-0074-C04
			REV A

PROVISIONAL PAVEMENT DESIGN
THE GRANGE (WEST) CH.153.100 - CH.277.199

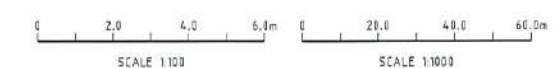
50mm ASPHALT SURFACING (DG14)
 150mm BASE COURSE (DMR TYPE 2.1)
 140mm SUB BASE COURSE (DMR TYPE 2.3)
 150mm LOWER SUB BASE COURSE (DMR TYPE 2.3 @ 1.5% CEMENT)
 150mm SUB GRADE REPLACEMENT (DMR TYPE 2.3 @ 3.0% CEMENT)



TYPICAL SECTION
THE GRANGE (WEST) CROSS SECTIONS
 SCALE 1:100

ROAD LONGITUDINAL SECTION NOTES
 1. FOR SETOUT AND LEVEL INFORMATION REFER ROADWORKS DETAILS PLAN.

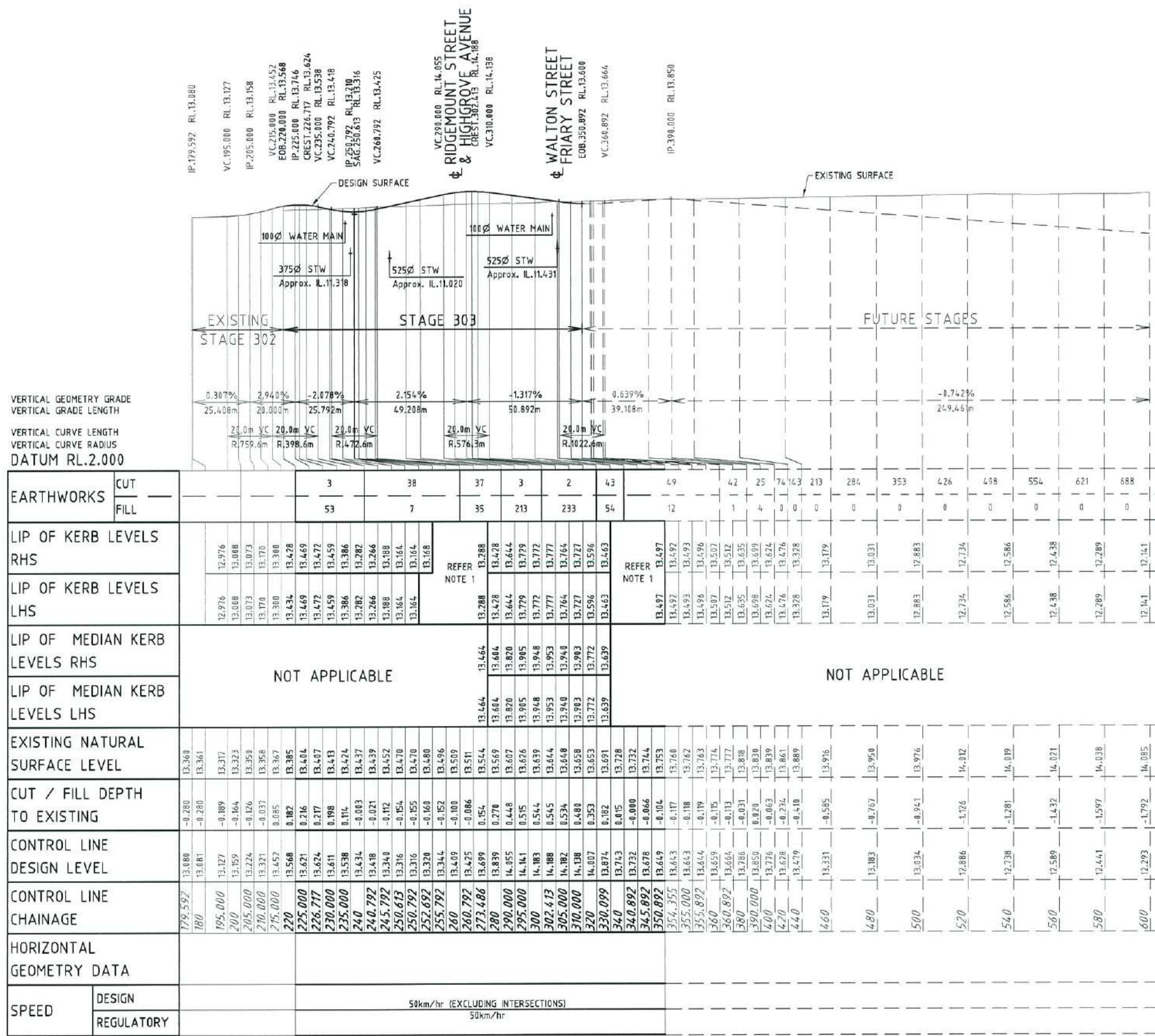
THE GRANGE (WEST) LONGITUDINAL SECTION
 SCALE 1:100 VERTICAL, SCALE 1:1000 HORIZONTAL



<p>CONSTRUCTION ISSUE</p> <p>REV. DATE REVISIONS</p> <p>A 27/04/16 ISSUED FOR CONSTRUCTION</p> <p>1 01/04/16 ISSUED FOR OPERATIONAL WORKS APPROVAL</p>	<p>JAS-ANZ</p> <p>ISO 9001</p>	<p>REAL PROPERTY DESCRIPTION:</p> <p>LOT 5000 ON SP220636</p>	<p>UDP</p> <p>DALGETY PLACE 84 DENHAM STREET PO BOX 1110 TOWNSVILLE QLD 4810</p> <p>Phone: (07) 4772 0666 Fax: (07) 4772 0566 Email: main@udpgroup.com.au Web: www.udpgroup.com.au</p>	<p>PARKSIDE DEVELOPMENT PTY LTD</p> <p>GREATER ASCOT PRECINCT 3 - STAGE 303</p> <p>GREATER ASCOT AVENUE, SHAW</p> <p>THE GRANGE (WEST) LONGITUDINAL & CROSS SECTIONS</p>
		<p>DRAWN: J.THORSEN</p> <p>DESIGNED: N.FREEMAN</p> <p>CHECKED: G.FYSH</p> <p>PROJECT MANAGER: P.PETERSEN</p>		<p>DATUM: AHD (DERIVED)</p> <p>PSM131673</p> <p>RL.11.997</p> <p>DALRYMPLE ROAD</p> <p>PROJECT DIRECTOR: D.GIBSON RPEQ 13230</p>

PROVISIONAL PAVEMENT DESIGN
BURLINGS BOULEVARD CH.220.000 - CH.350.892

30mm ASPHALT SURFACING (DG10)
125mm BASE COURSE (DMR TYPE 2.1)
180mm SUB BASE COURSE (DMR TYPE 2.3, 1.5% CEMENT)
200mm SUB GRADE REPLACEMENT (DMR TYPE 2.3, 3.0% CEMENT)

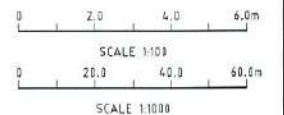


ROAD LONGITUDINAL SECTION NOTES

- FOR SETOUT AND LEVEL INFORMATION REFER ROADWORKS DETAILS PLAN.
- FOR TYPICAL SECTIONS REFER TO RELEVANT ROAD CROSS SECTION PLAN.

BURLINGS BOULEVARD LONGITUDINAL SECTION

SCALE 1:100 VERTICAL, SCALE 1:1000 HORIZONTAL



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REAL PROPERTY DESCRIPTION:
LOT 5000 ON SP280606

DRAWN: J.THORSEN
DESIGNED: N.FREEMAN
CHECKED: G.FYSH
PROJECT MANAGER: P.PETERSEN

DATUM: AHD (DERIVED)
PSM131673
RL.11.997
DALRYMPLE ROAD

PROJECT DIRECTOR: D.GIBSON RPEQ 13230

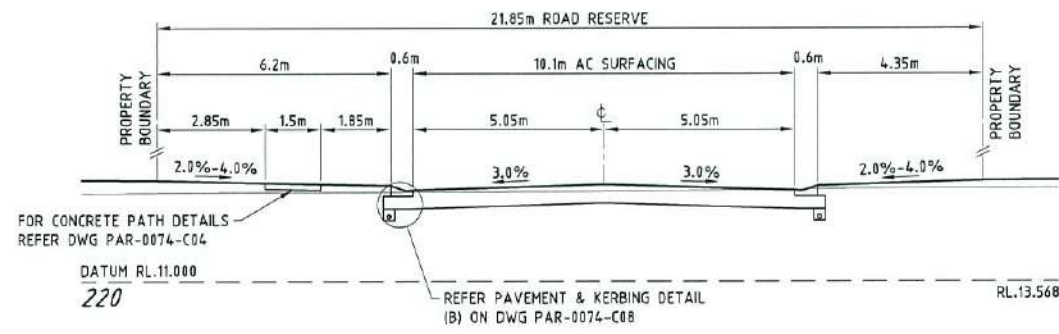
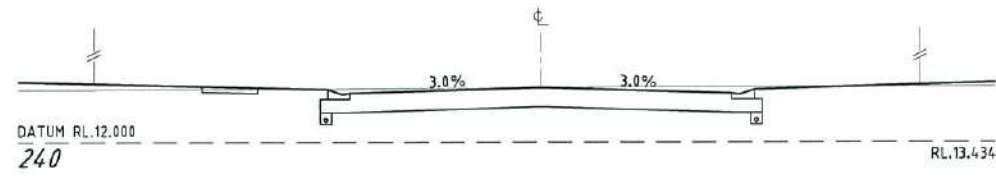
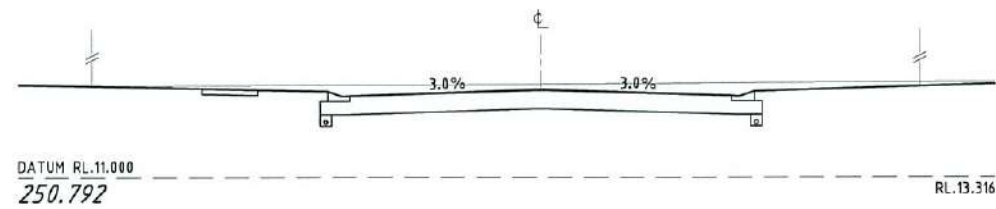
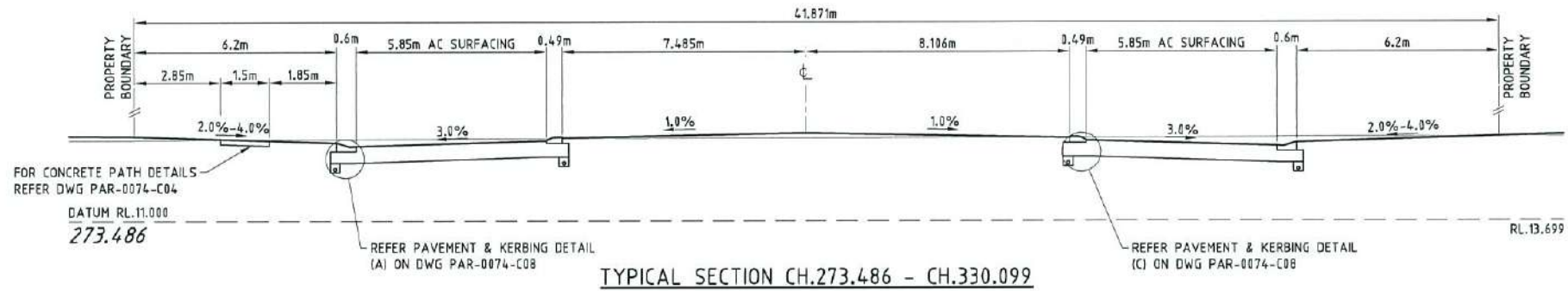
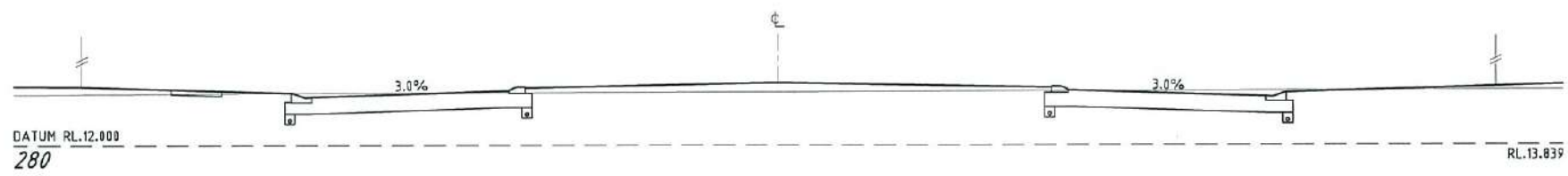
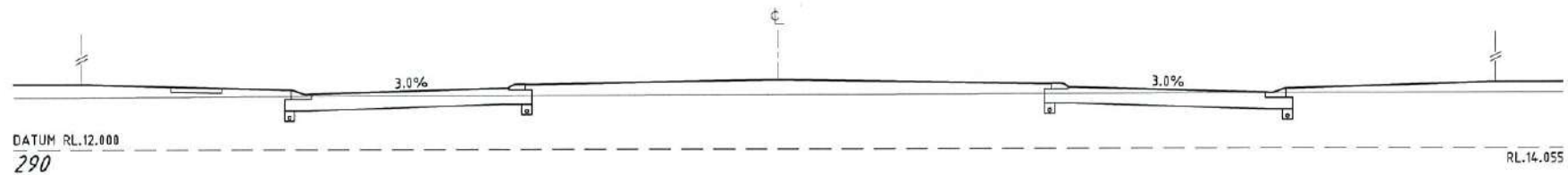
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PARKSIDE DEVELOPMENT PTY LTD
GREATER ASCOT PRECINCT 3 - STAGE 303
GREATER ASCOT AVENUE, SHAW
BURLINGS BOULEVARD LONGITUDINAL SECTION

DRAWING SIZE	SCALE	AS SHOWN	DRAWING No.	REV
A1	XREF	-	PAR-0074-C06	A



TYPICAL SECTION CH.273.486 - CH.330.099
TYPICAL SECTION CH.220.000 - 250.792
BURLINGS BOULEVARD CROSS SECTIONS
 SCALE 1:100



CONSTRUCTION ISSUE



REAL PROPERTY DESCRIPTION:
 LOT 5000 ON SP289606

DRAWN: J.THORSEN
DESIGNED: N.FREEMAN
CHECKED: G.FYSH
PROJECT MANAGER: P.PETERSEN

DATUM: AHD (DERIVED)
 PSM131673
 RL.11.997
 DALRYMPLE ROAD

PROJECT DIRECTOR: D.GIBSON RPEQ 13238

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DALGETY PLACE
 84 DENHAM STREET
 PO BOX 1110
 TOWNSVILLE QLD 4810

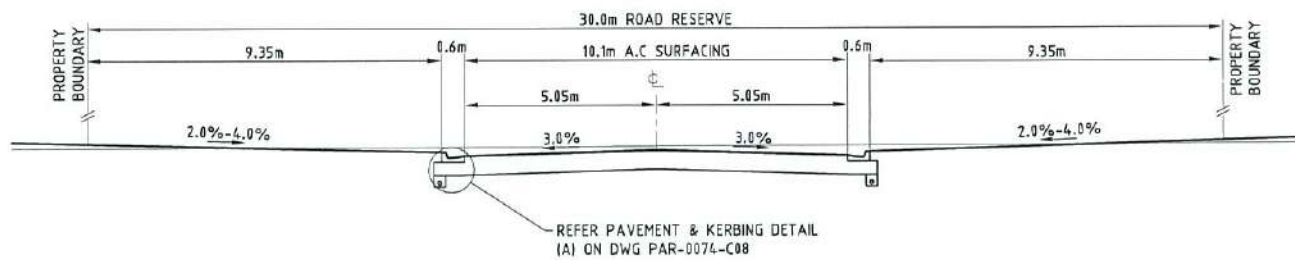
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 Fax: (07) 4772 0566
 Email: main@udpgroup.com.au
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PARKSIDE DEVELOPMENT PTY LTD
 GREATER ASCOT PRECINCT 3 - STAGE 303
 GREATER ASCOT AVENUE, SHAW
 BURLINGS BOULEVARD CROSS SECTIONS SHEET 1 OF 2

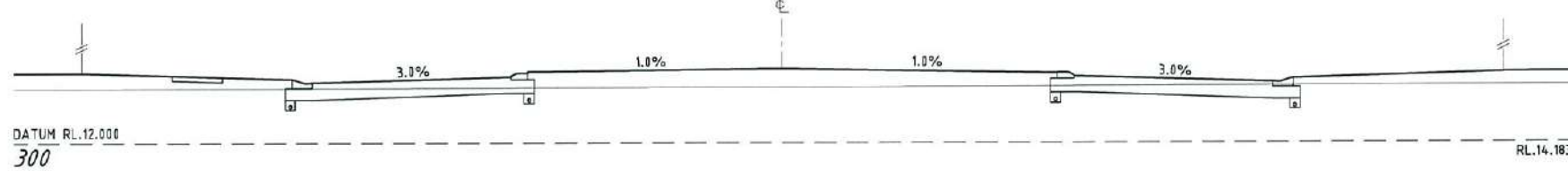
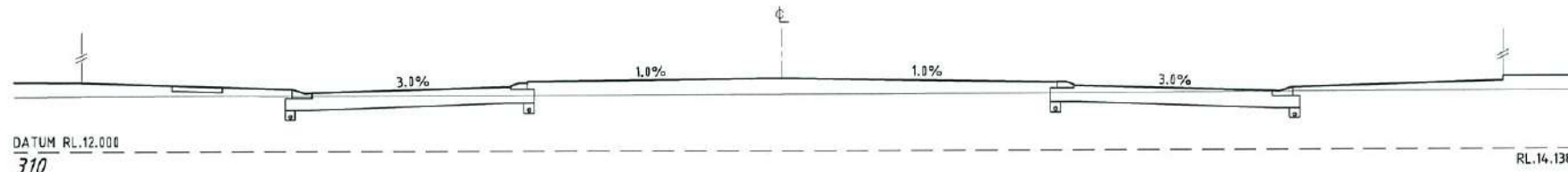
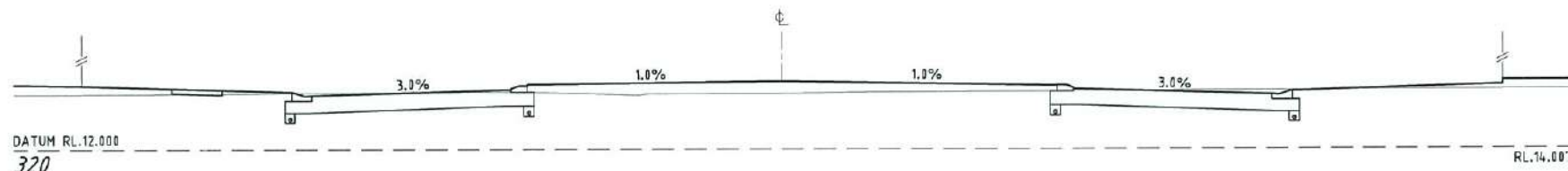
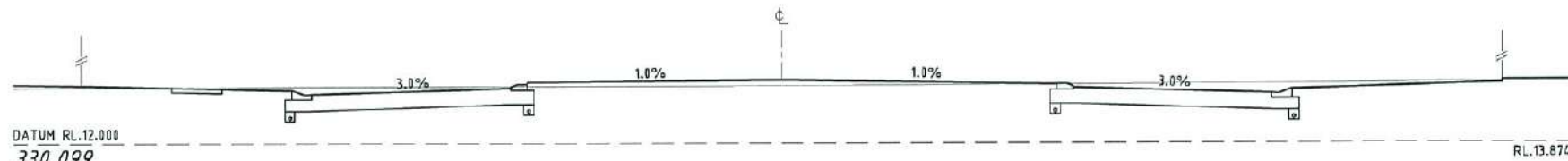
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REV.	DATE	REVISIONS
A	27/04/16	ISSUED FOR CONSTRUCTION
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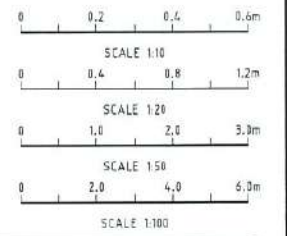
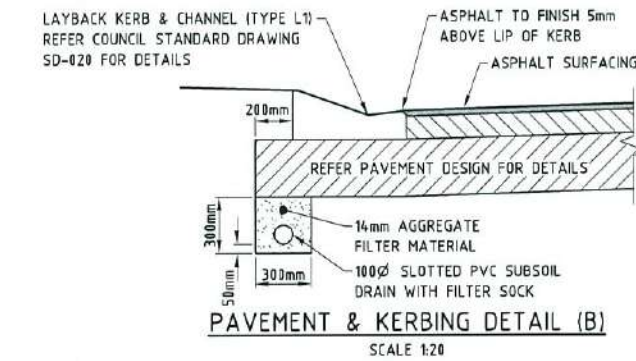
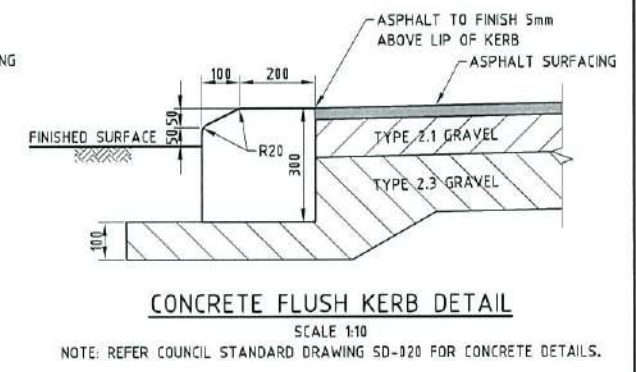
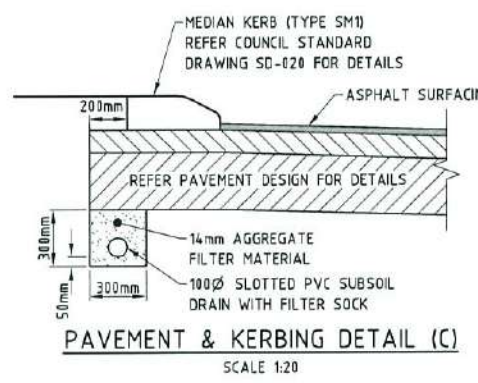
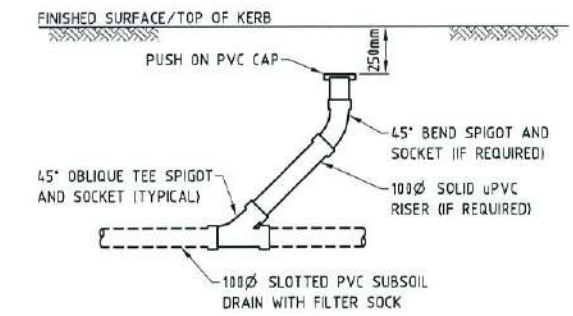
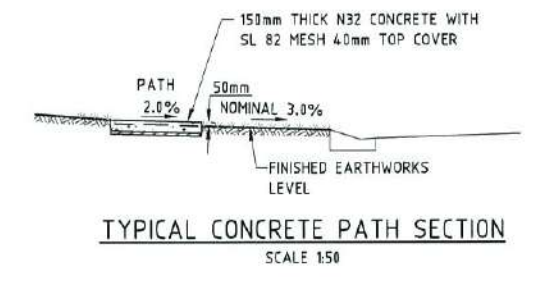
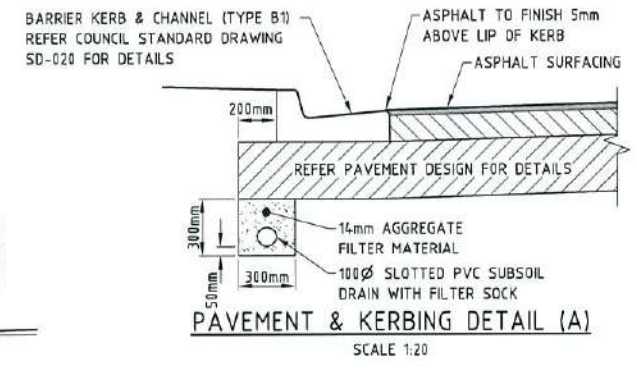
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DATUM RL.10.000
 350.892
 TYPICAL SECTION CH.350.892 - END
 RL.13.649



BURLINGS BOULEVARD CROSS SECTIONS
 SCALE 1:100



CONSTRUCTION ISSUE	
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DRAWN: J.THORSEN	DATUM: AHD (DERIVED)
DESIGNED: N.FREEMAN	PSM131673
CHECKED: G.FYSH	RL.11.997
PROJECT MANAGER: P.PETERSEN	DALRYMPLE ROAD
	PROJECT DIRECTOR: D.GIBSON RPEQ. 13230

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PARKSIDE DEVELOPMENT PTY LTD			
GREATER ASCOT PRECINCT 3 - STAGE 303			
GREATER ASCOT AVENUE, SHAW			
BURLINGS BOULEVARD CROSS SECTIONS SHEET 2 OF 2			
DRAWING SIZE	SCALE	AS SHOWN	DRAWING No.
A1	XREF	-	PAR-0074-C08
			REV A

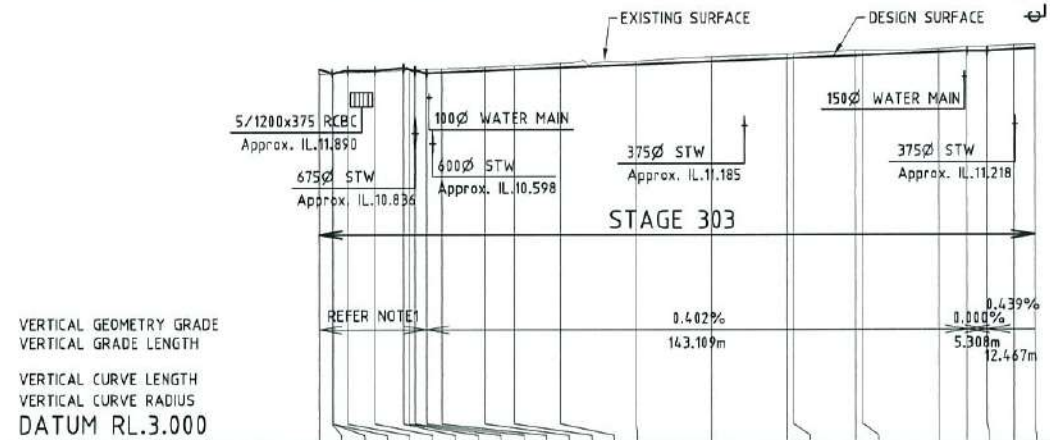
**PROVISIONAL PAVEMENT DESIGN
HIGHGROVE AVENUE**

30mm ASPHALT SURFACING (DG10)
125mm BASE COURSE (DMR TYPE 2.1)
100mm SUB BASE COURSE (DMR TYPE 2.3, 1.5% CEMENT)
200mm SUB GRADE REPLACEMENT (DMR TYPE 2.3, 3.3% CEMENT)

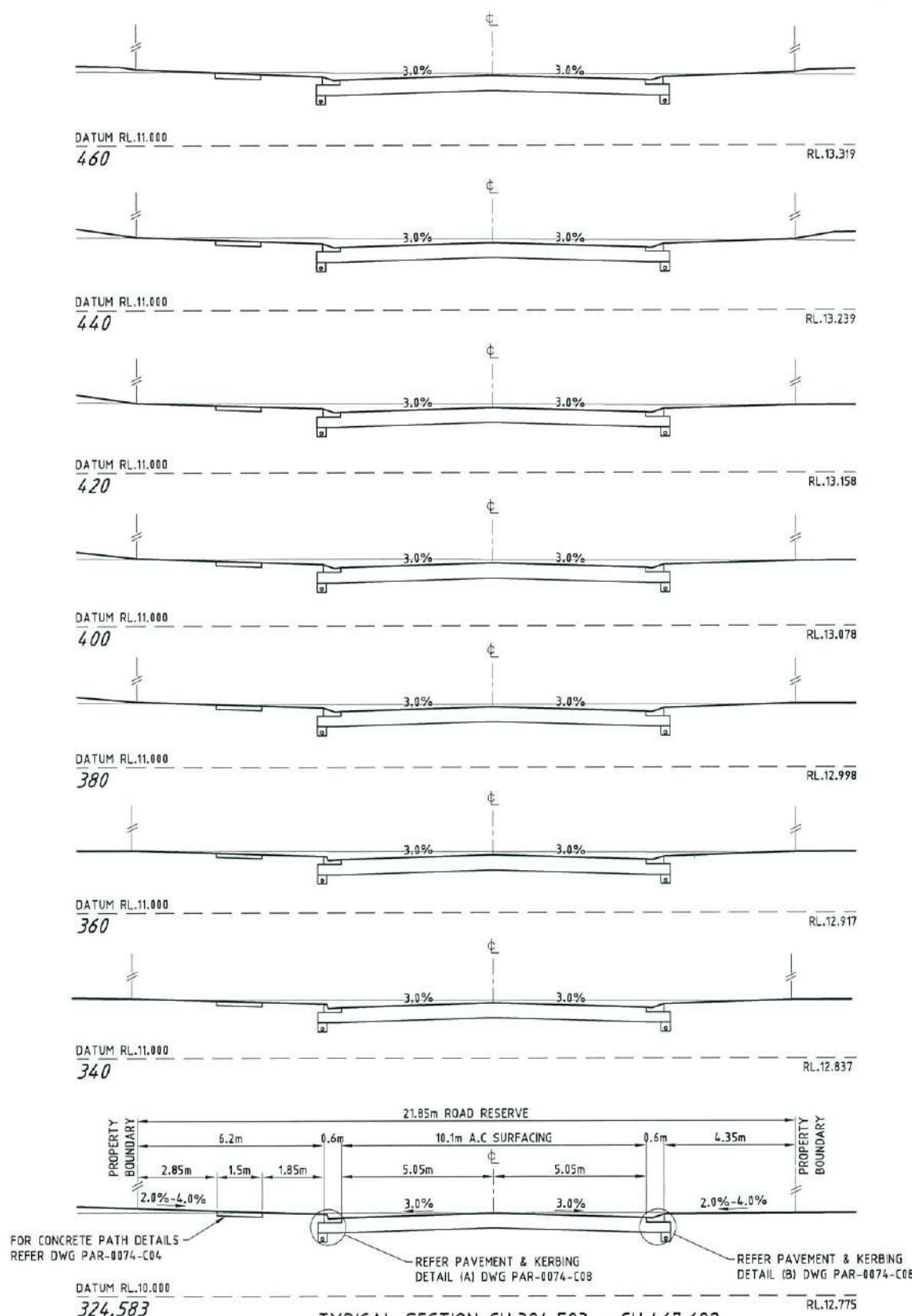
THE GRANGE (EAST)
IP: 296,283 RL: 12,866
IP: 299,783 RL: 12,830
IP: 303,733 RL: 12,830
IP: 311,133 RL: 12,830

THE GRANGE (WEST)
IP: 316,583 RL: 12,900
IP: 321,583 RL: 12,830
IP: 324,583 RL: 12,775

BURLINGS BOULEVARD & RIDGEMOUNT STREET
CH: 465,467



EARTHWORKS		CUT	16	41	50	51	54	62	62	50	17														
		FILL	1	2	0	0	0	0	0	2	1														
LIP OF KERB LEVELS		RHS	REFER NOTE 1	12.678	12.623	12.639	12.685	12.716	12.765	12.846	12.926	13.006	13.073	13.079	13.087	13.167	13.198	REFER NOTE 1							
		LHS	REFER NOTE 1	12.678	12.623	12.639	12.685	12.716	12.765	12.846	12.926	13.006	13.073	13.079	13.087	13.167	13.198	REFER NOTE 1							
EXISTING NATURAL SURFACE LEVEL			12.732	12.746	12.746	12.747	12.801	12.842	12.856	12.866	12.879	12.922	12.960	13.019	13.058	13.395	13.438	13.462	13.488	13.509					
CUT / FILL DEPTH TO EXISTING			0.134	0.029	0.032	0.032	0.069	0.029	0.058	0.018	0.018	-0.076	-0.091	-0.088	-0.085	-0.092	-0.102	-0.102	-0.102	-0.104					
CONTROL LINE DESIGN LEVEL			12.866	12.830	12.830	12.830	12.830	12.900	12.867	12.830	12.775	12.837	12.868	12.917	12.939	13.319	13.350	13.350	13.381	13.415					
CONTROL LINE CHAINAGE			296.283	299.783	300.083	303.733	311.133	316.583	320	321.583	324.583	328.666	340	347.810	360	400	420	421.611	438.107	440	460	467.692	473.000	480	485.467
HORIZONTAL GEOMETRY DATA			200.00R										-200.00R												
SPEED		DESIGN	50km/hr (EXCLUDING INTERSECTIONS)																						
		REGULATORY	50km/hr																						



ROAD LONGITUDINAL SECTION NOTES HIGHGROVE AVENUE LONGITUDINAL SECTIONS

1. FOR SETOUT AND LEVEL INFORMATION REFER ROADWORKS DETAILS PLAN.

SCALE 1:100 VERTICAL, SCALE 1:1000 HORIZONTAL

HIGHGROVE AVENUE CROSS SECTIONS

SCALE 1:100



CONSTRUCTION ISSUE

REV.	DATE	REVISIONS
A	27/04/16	ISSUED FOR CONSTRUCTION
1	01/04/16	ISSUED FOR OPERATIONAL WORKS APPROVAL

JAS-ANZ
ISO 9001

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REAL PROPERTY DESCRIPTION:
LOT 5000 ON SP280606

DRAWN: J.THORSEN
DESIGNED: N.FREEMAN
CHECKED: G.FYSH
PROJECT MANAGER: P.PETERSEN

DATUM: AHD (DERIVED)
PSM131673
RL: 11.997
DALRYMPLE ROAD

PROJECT DIRECTOR: D.GIBSON RPEQ 13230

UDP
Excellence Through Partnerships

DALGETY PLACE
84 DENHAM STREET
PO BOX 1110
TOWNSVILLE QLD 4810

Phone: (07) 4772 0666
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PARKSIDE DEVELOPMENT PTY LTD
GREATER ASCOT PRECINCT 3 - STAGE 303
GREATER ASCOT AVENUE, SHAW
HIGHGROVE AVENUE LONGITUDINAL AND CROSS SECTIONS

DRAWING No. **PAR-0074-C09**

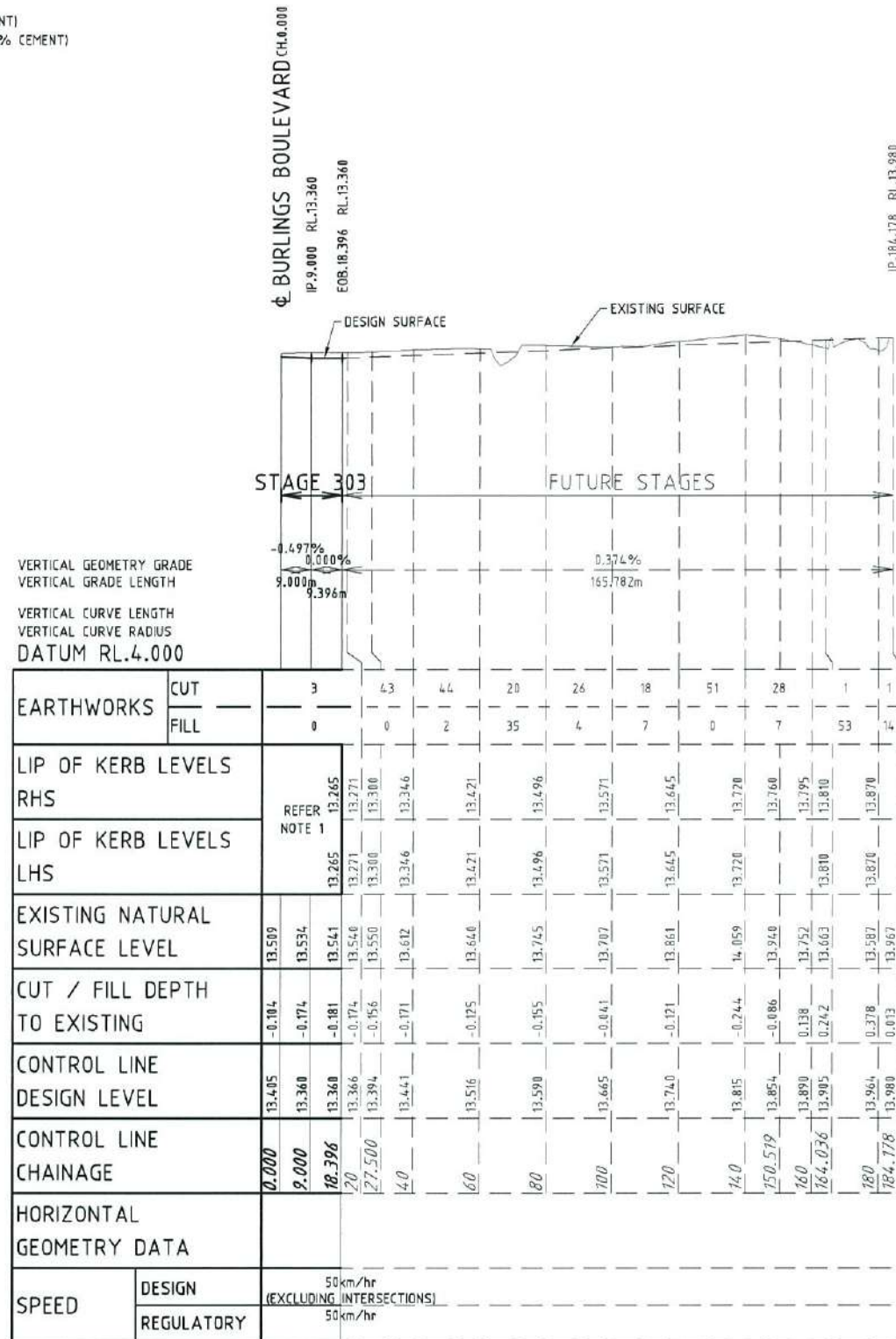
DRAWING SIZE: A1
SCALE: XREF
AS SHOWN

REV: **A**

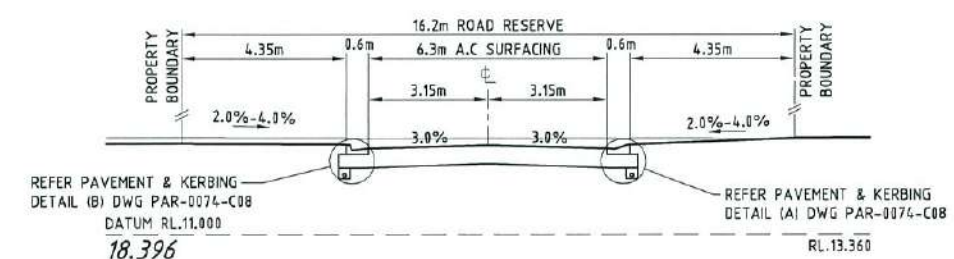
\\UDP-PS1\DATA\1000 DATA\PAR\074\ENGINEERING\DRAWINGS\PAR-0074-C09.DWG

PROVISIONAL PAVEMENT DESIGN
RIDGEMOUNT STREET CH.0.000 - CH.27.500

30mm ASPHALT SURFACING (DG10)
 125mm BASE COURSE (DMR TYPE 2.1)
 110mm SUB BASE COURSE (DMR TYPE 2.3 @ 1.5% CEMENT)
 150mm SUB GRADE REPLACEMENT (DMR TYPE 2.3 @ 3.0% CEMENT)



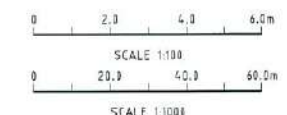
RIDGEMOUNT STREET LONGITUDINAL SECTION
 SCALE 1:100 VERTICAL, SCALE 1:1000 HORIZONTAL



TYPICAL SECTION
RIDGEMOUNT STREET CROSS SECTIONS
 SCALE 1:100

ROAD LONGITUDINAL SECTION NOTES

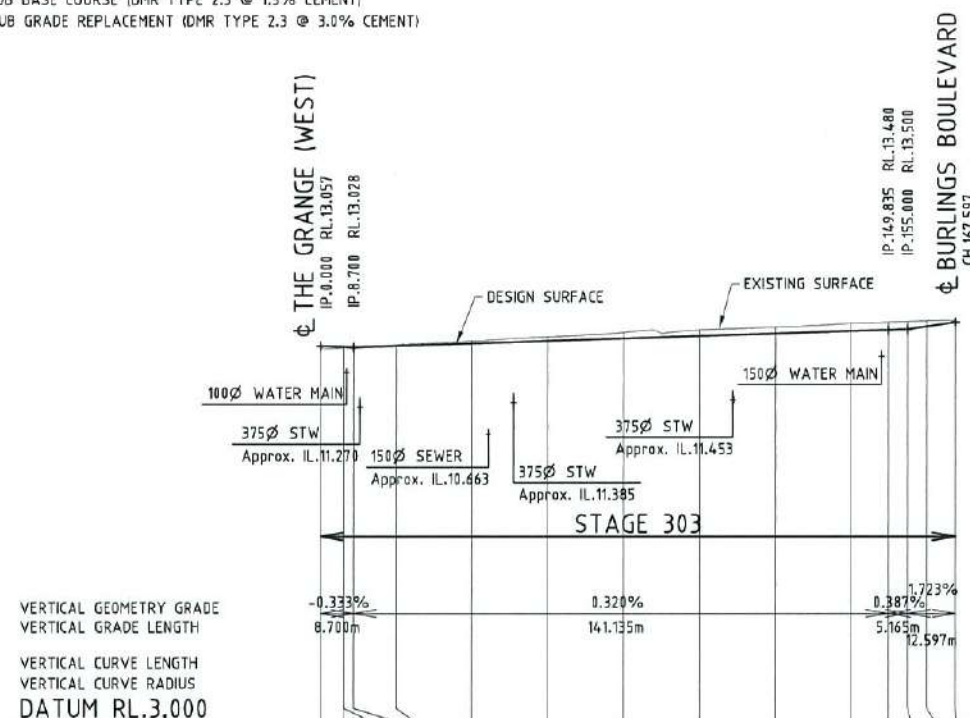
1. FOR SETOUT AND LEVEL INFORMATION REFER ROADWORKS DETAILS PLAN.



CONSTRUCTION ISSUE			REAL PROPERTY DESCRIPTION: LOT 5000 ON SP280686	<p> DALGETY PLACE 84 DENHAM STREET PO BOX 1110 TOWNSVILLE QLD 4810 Phone: (07) 4772 0666 Fax: (07) 4772 0586 Email: main@udpgroup.com.au Web: www.udpgroup.com.au </p>	PARKSIDE DEVELOPMENT PTY LTD GREATER ASCOT PRECINCT 3 - STAGE 303 GREATER ASCOT AVENUE, SHAW RIDGEMOUNT STREET LONGITUDINAL & CROSS SECTIONS	
	This drawing is produced and remains the property of UDP Group Pty Ltd and related entities. UDP Group Pty Ltd and related entities shall not accept any responsibility or liability to any third party as a result of the content contained on this drawing. Figured dimensions must be used in preference to scaled dimensions. All dimensions to be verified before commencing any work.	DRAWN: J.THORSEN	DATUM: AHD (DERIVED) PSM131673 RL.11.997 DALRYMPLE ROAD		DRAWING SIZE: A1 SCALE: AS SHOWN XREF: -	DRAWING No. PAR-0074-C10
REV. DATE REVISIONS A 27/04/16 ISSUED FOR CONSTRUCTION 1 01/04/16 ISSUED FOR OPERATIONAL WORKS APPROVAL			DESIGNED: N.FREEMAN			
			CHECKED: G.FYSH			
			PROJECT MANAGER: P.PETERSEN			
			PROJECT DIRECTOR: D.GIBSON RPEQ 13230			

PROVISIONAL PAVEMENT DESIGN
 FRIARY STREET CH.0.000 - CH.167.597

30mm ASPHALT SURFACING (DG10)
 125mm BASE COURSE (DMR TYPE 2.1)
 110mm SUB BASE COURSE (DMR TYPE 2.3 @ 1.5% CEMENT)
 150mm SUB GRADE REPLACEMENT (DMR TYPE 2.3 @ 3.0% CEMENT)

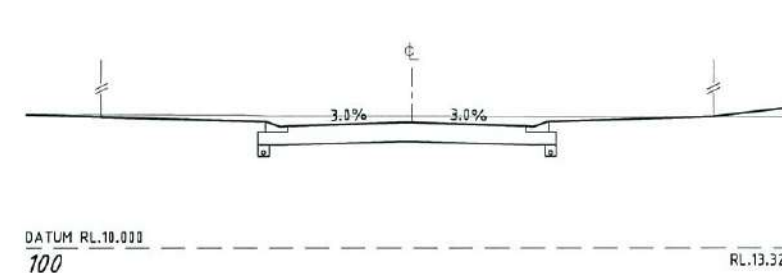
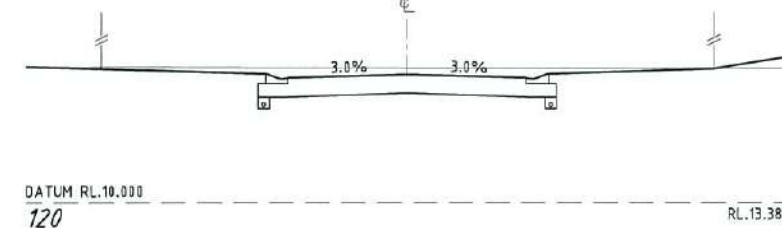
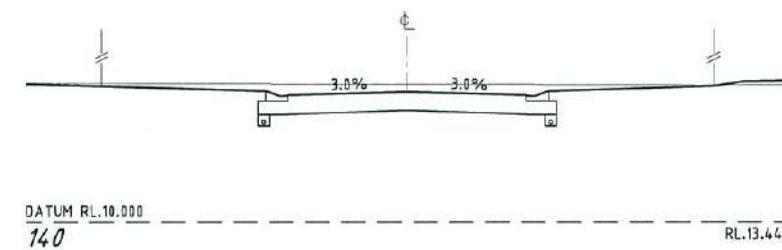
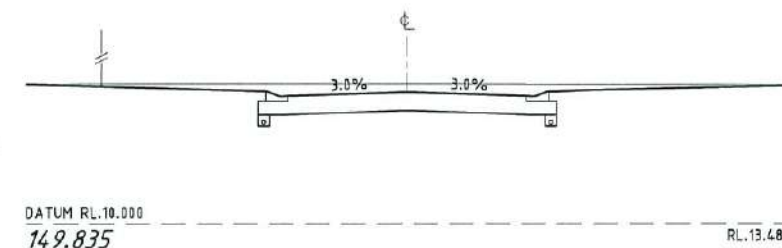
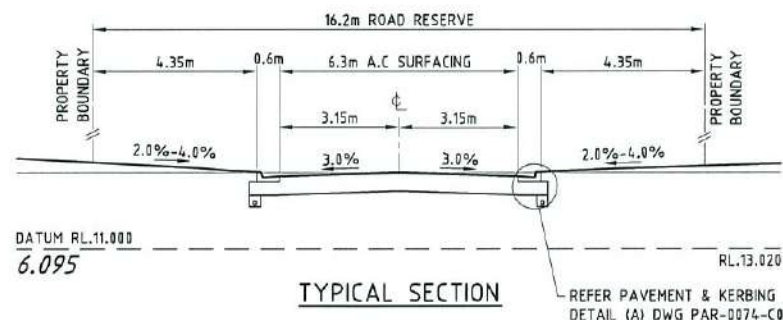
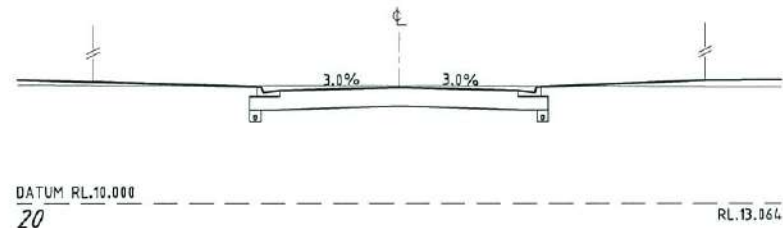
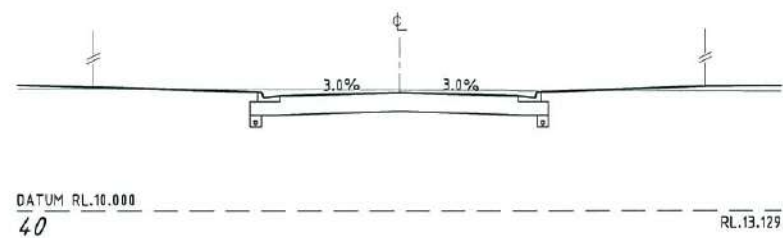
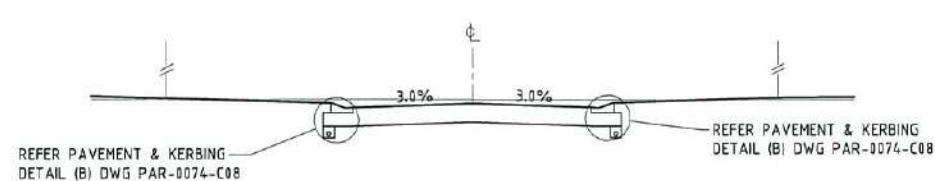
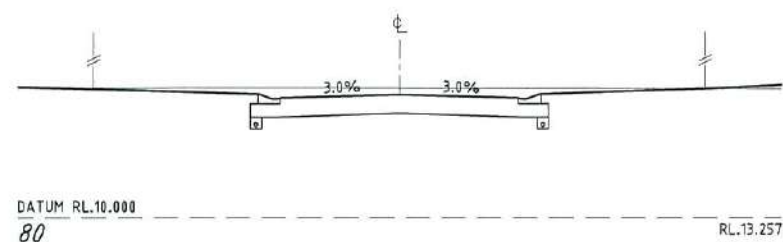


EARTHWORKS	CUT									FILL																						
	7	17	25	37	44	50	53	28	7	7	2	0	0	0	0	0																
LIP OF KERB LEVELS RHS	12.990	12.943	12.942	12.933	12.969	13.034	13.098	13.162	13.226	13.290	13.354	13.385	12.990	12.943	12.942	12.933	12.969	13.034	13.098	13.162	13.226	13.290	13.354	13.385								
LIP OF KERB LEVELS LHS	12.990	12.943	12.942	12.933	12.969	13.034	13.098	13.162	13.226	13.290	13.354	13.385	12.990	12.943	12.942	12.933	12.969	13.034	13.098	13.162	13.226	13.290	13.354	13.385								
EXISTING NATURAL SURFACE LEVEL	12.990	13.015	13.016	13.027	13.027	13.102	13.192	13.301	13.426	13.492	13.557	13.648	13.692	13.709	13.721	13.740	12.990	13.015	13.016	13.027	13.027	13.102	13.192	13.301	13.426	13.492	13.557	13.648	13.692	13.709	13.721	13.740
CUT / FILL DEPTH TO EXISTING	0.067	0.023	0.021	0.001	-0.038	-0.063	-0.109	-0.178	-0.172	-0.173	-0.200	-0.212	-0.209	-0.155	-0.043	0.067	0.023	0.021	0.001	-0.038	-0.063	-0.109	-0.178	-0.172	-0.173	-0.200	-0.212	-0.209	-0.155	-0.043		
CONTROL LINE DESIGN LEVEL	13.057	13.038	13.037	13.028	13.064	13.129	13.193	13.257	13.321	13.385	13.449	13.480	13.500	13.566	13.697	13.057	13.038	13.037	13.028	13.064	13.129	13.193	13.257	13.321	13.385	13.449	13.480	13.500	13.566	13.697		
CONTROL LINE CHAINAGE	0.000	5.907	6.095	6.700	20	40	60	80	100	120	140	149.835	155.000	160	167.597	0.000	5.907	6.095	6.700	20	40	60	80	100	120	140	149.835	155.000	160	167.597		
HORIZONTAL GEOMETRY DATA																																
SPEED	DESIGN	50km/hr (EXCLUDING INTERSECTIONS)																														
	REGULATORY	50km/hr																														

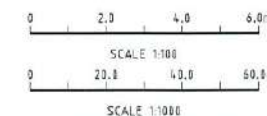
FRIARY STREET LONGITUDINAL SECTION
 SCALE 1:100 VERTICAL, SCALE 1:1000 HORIZONTAL

ROAD LONGITUDINAL SECTION NOTES

1. FOR SETOUT AND LEVEL INFORMATION REFER ROADWORKS DETAILS PLAN.



FRIARY STREET CROSS SECTIONS
 SCALE 1:100



CONSTRUCTION ISSUE

REV.	DATE	REVISIONS
A	27/04/16	ISSUED FOR CONSTRUCTION
1	01/04/16	ISSUED FOR OPERATIONAL WORKS APPROVAL



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REAL PROPERTY DESCRIPTION:

LOT 5000 ON SP280606

DRAWN: J. THORSEN

DESIGNED: N. FREEMAN

CHECKED: G. FYSH

PROJECT MANAGER: P. PETERSEN

DATUM: AHD (DERIVED)

PSM131673

RL. 11.997

DALRYMPLE ROAD

PROJECT DIRECTOR: D. GIBSON RPEQ 13230



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Phone: (07) 4772 0666
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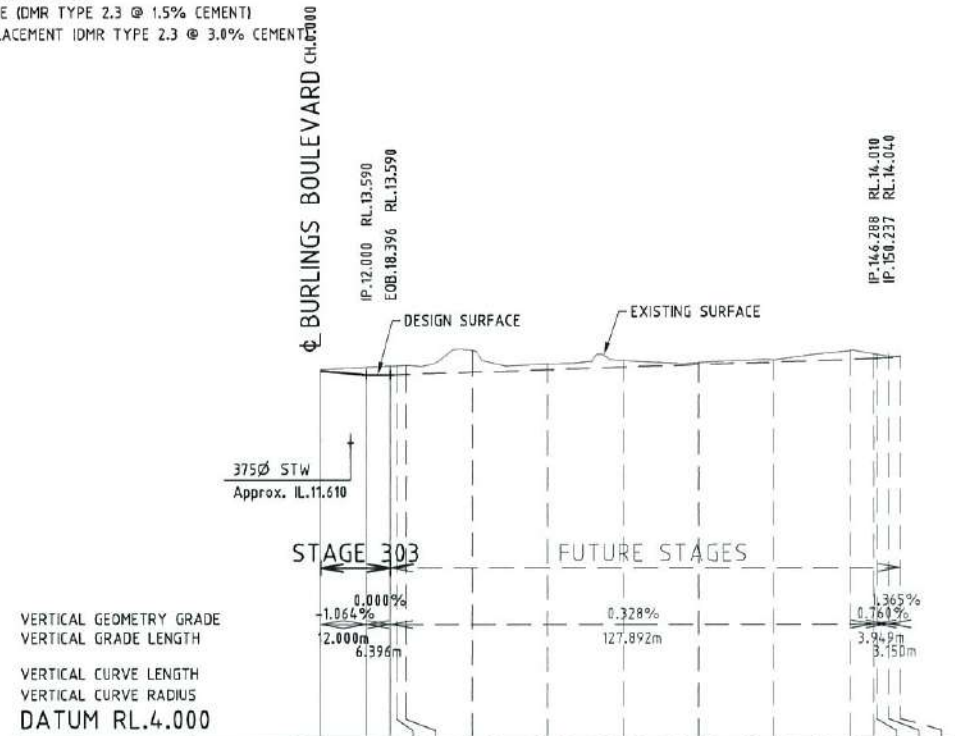
PARKSIDE DEVELOPMENT PTY LTD

GREATER ASCOT PRECINCT 3 - STAGE 303
 GREATER ASCOT AVENUE, SHAW
 FRIARY STREET LONGITUDINAL & CROSS SECTIONS

DRAWING SIZE	SCALE	AS SHOWN	DRAWING No.	REV
A1	XREF	-	PAR-0074-C11	A

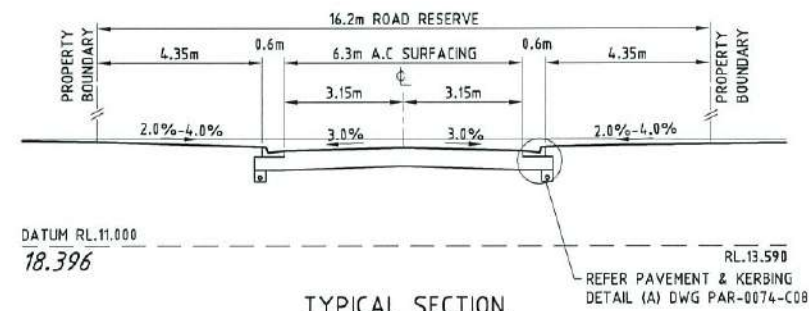
PROVISIONAL PAVEMENT DESIGN
WALTON STREET CH.0.000 - CH.18.396

30mm ASPHALT SURFACING (DG10)
 125mm BASE COURSE (DMR TYPE 2.1)
 110mm SUB BASE COURSE (DMR TYPE 2.3 @ 1.5% CEMENT)
 150mm SUB GRADE REPLACEMENT (DMR TYPE 2.3 @ 3.0% CEMENT)



EARTHWORKS	CUT		FILL		4	98	63	49	29	19	45	17
LIP OF KERB LEVELS RHS	REFER	NOTE 1	13.495	13.501	13.509	13.566	13.632	13.698	13.763	13.829	13.895	13.916
LIP OF KERB LEVELS LHS	13.495	13.501	13.509	13.566	13.632	13.698	13.763	13.829	13.895	13.916	13.916	13.916
EXISTING NATURAL SURFACE LEVEL	13.710	13.791	13.871	13.878	13.840	14.227	13.876	13.969	13.908	13.988	14.275	14.133
CUT / FILL DEPTH TO EXISTING	-0.043	-0.281	-0.231	-0.233	-0.237	-0.566	-0.149	-0.177	-0.050	-0.065	-0.236	-0.120
CONTROL LINE DESIGN LEVEL	13.698	13.590	13.590	13.603	13.661	13.777	13.777	13.792	13.858	13.924	13.989	14.010
CONTROL LINE CHAINAGE	0.000	12.000	18.396	20.000	22.500	4.0	6.0	8.0	10.0	12.0	14.0	14.6.288
HORIZONTAL GEOMETRY DATA												
SPEED	DESIGN	50km/hr (EXCLUDING INTERSECTIONS)										
	REGULATORY	50km/hr										

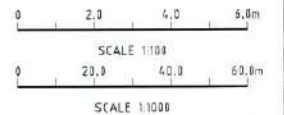
WALTON STREET LONGITUDINAL SECTION
 SCALE 1:100 VERTICAL, SCALE 1:1000 HORIZONTAL



WALTON STREET CROSS SECTIONS
 SCALE 1:100

ROAD LONGITUDINAL SECTION NOTES

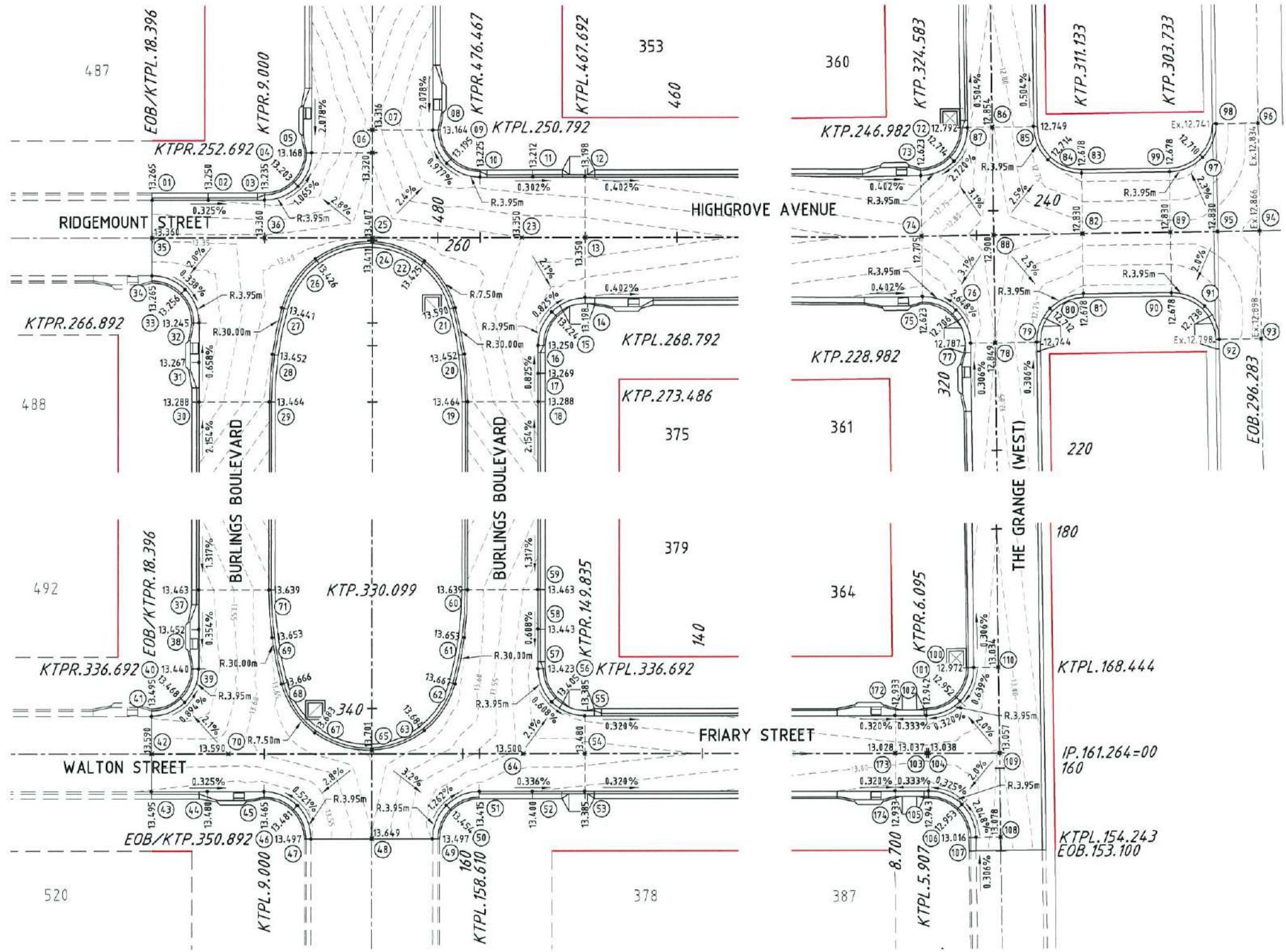
1. FOR SETOUT AND LEVEL INFORMATION REFER ROADWORKS DETAILS PLAN.



CONSTRUCTION ISSUE			REAL PROPERTY DESCRIPTION: LOT 5000 ON SP280606		<p>UDP Excellence Through Partnerships</p>	DALGETY PLACE 84 DENHAM STREET PO BOX 1110 TOWNSVILLE QLD 4810		PARKSIDE DEVELOPMENT PTY LTD GREATER ASCOT PRECINCT 3 - STAGE 303 GREATER ASCOT AVENUE, SHAW WALTON STREET LONGITUDINAL & CROSS SECTIONS		
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REV.	DATE	REVISIONS
A	27/04/16	ISSUED FOR CONSTRUCTION
1	01/04/16	ISSUED FOR OPERATIONAL WORKS APPROVAL

\\UDP-FS\DATA\JOB DATA\PAR\374\ENGINEERING\DRAWINGS\PAR-0074-C12.DWG



ROADWORKS DETAILS LEGEND

- 6.35 --- DESIGN SURFACE CONTOUR
- ==== LAYBACK KERB & CHANNEL (TYPE L1)
- ==== BARRIER KERB & CHANNEL (TYPE B1)
- ==== MEDIAN KERB (TYPE SMI)
- ==== FLUSH KERB. REFER DRAWING PAR-0074-C08 FOR DETAILS

ROADWORKS DETAILS NOTES

1. ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
2. ALL RADII, SETOUT AND LEVEL INFORMATION IS TO LIP OF KERB UNLESS NOTED OTHERWISE.

SETOUT POINT DETAILS

POINT	EASTING	NORTHING	POINT	EASTING	NORTHING
01	68525.836	89346.337	57	68511.842	89261.188
02	68529.852	89343.899	58	68513.553	89264.006
03	68533.869	89341.461	59	68515.264	89266.824
04	68536.857	89341.001	60	68510.263	89269.860
05	68539.295	89342.788	61	68507.981	89266.608
06	68543.612	89340.168	62	68505.290	89263.686
07	68544.598	89341.792	63	68501.080	89261.683
08	68548.915	89339.172	64	68507.120	89255.749
09	68548.454	89336.184	65	68496.499	89262.554
10	68550.242	89333.745	67	68493.194	89266.249
11	68553.992	89331.469	68	68492.915	89271.198
12	68557.743	89329.192	69	68494.265	89274.934
13	68555.122	89324.875	70	68486.082	89268.519
14	68552.528	89320.601	71	68496.097	89278.459
15	68549.514	89321.019	72	68678.944	89248.398
16	68547.076	89319.231	73	68675.950	89248.818
17	68545.858	89317.225	74	68673.387	89244.467
18	68544.640	89315.219	75	68678.824	89240.116
19	68539.639	89318.254	76	68672.643	89237.702
20	68541.471	89321.779	77	68672.222	89234.708
21	68542.821	89325.516	78	68673.989	89233.667
22	68542.656	89330.175	79	68677.004	89231.891
23	68550.585	89327.629	80	68679.419	89233.710
24	68539.769	89333.837	81	68682.448	89233.327
25	68539.928	89334.099	82	68684.976	89237.641
26	68534.966	89335.064	83	68687.539	89241.992
27	68530.447	89333.027	84	68685.719	89244.406
28	68527.755	89330.105	85	68686.140	89247.400
29	68525.474	89326.853	86	68683.124	89249.177
30	68520.473	89329.889	87	68681.358	89250.217
31	68522.184	89332.787	88	68678.557	89241.422
32	68523.894	89335.525	89	68691.352	89233.885
33	68524.355	89338.513	90	68688.807	89229.523
34	68522.567	89340.952	91	68690.608	89227.119
35	68524.202	89343.644	92	68690.187	89224.126
36	68532.234	89338.769	93	68693.203	89222.349
37	68491.097	89281.494	94	68697.771	89230.104
38	68489.386	89278.676	95	68694.755	89231.880
39	68487.675	89275.858	96	68702.339	89237.859
40	68485.237	89274.070	97	68696.909	89237.816
41	68482.249	89274.531	98	68699.323	89239.635
42	68480.614	89271.838	99	68693.915	89238.236
43	68478.980	89269.145	100	68641.497	89182.547
44	68482.996	89266.708	101	68639.057	89180.721
45	68487.012	89264.270	102	68636.044	89181.175
46	68488.799	89261.831	103	68634.410	89178.482
47	68488.339	89258.843	104	68634.570	89178.385
48	68492.656	89256.223	105	68632.936	89175.692
49	68496.973	89253.603	106	68634.717	89173.279
50	68499.411	89255.390	107	68634.290	89170.311
51	68502.399	89254.930	108	68636.056	89169.270
52	68506.150	89252.653	109	68639.619	89175.320
53	68519.901	89250.376	110	68643.264	89181.506
54	68511.535	89253.069	172	68633.817	89182.526
55	68513.169	89255.762	173	68632.184	89179.833
56	68511.382	89258.280	174	68630.549	89177.141



CONSTRUCTION ISSUE

27/04/16 ISSUED FOR CONSTRUCTION
 01/04/16 ISSUED FOR OPERATIONAL WORKS APPROVAL

REV.	DATE	REVISIONS

ISO 9001

REAL PROPERTY DESCRIPTION:
 LOT 5000 ON SP280606

DRAWN: J. THORSEN
DESIGNED: N. FREEMAN
CHECKED: G. FYSH
PROJECT MANAGER: P. PETERSEN

DATUM: AHD (DERIVED)
 PSM131673
 RL.11.997
 DALRYMPLE ROAD

PROJECT DIRECTOR: D. GIBSON RPEd 13230

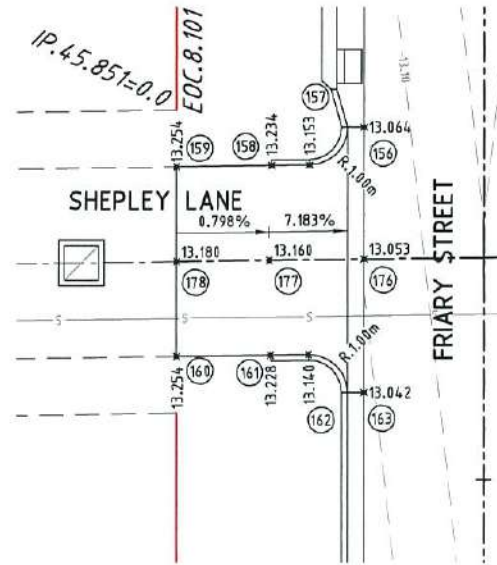
UDP
 Excellence Through Partnerships

DALGETY PLACE
 84 DENHAM STREET
 PO BOX 1110
 TOWNSVILLE QLD 4810

Phone: (07) 4772 0666
 Fax: (07) 4772 0566
 Email: main@udpgroup.com.au
 Web: www.udpgroup.com.au

PARKSIDE DEVELOPMENT PTY LTD
 GREATER ASCOT PRECINCT 3 - STAGE 303
 GREATER ASCOT AVENUE, SHAW
 ROADWORKS DETAILS PLAN - SHEET 1 OF 2

DRAWING SIZE	SCALE	DRAWING No.	REV
A1	1:200	PAR-0074-C13	A



SETOUT POINT DETAILS

POINT	EASTING	NORTHING	POINT	EASTING	NORTHING
111	68599.012	89203.654	144	68636.195	89254.919
112	68602.021	89201.828	145	68638.349	89253.650
113	68604.996	89200.021	146	68640.470	89252.325
114	68606.626	89204.386	147	68638.279	89258.456
115	68604.887	89201.768	148	68640.433	89257.187
116	68601.134	89205.248	149	68642.553	89255.861
117	68605.395	89202.630	150	68638.586	89258.978
118	68602.396	89207.390	151	68639.094	89259.840
119	68604.550	89206.121	152	68643.061	89256.723
120	68606.670	89204.796	153	68639.084	89261.521
121	68603.648	89209.516	154	68641.817	89259.536
122	68605.802	89208.247	155	68644.774	89257.389
123	68607.923	89206.922	156	68595.847	89198.205
124	68606.956	89215.131	157	68595.956	89196.458
125	68609.110	89213.862	158	68595.449	89195.597
126	68611.230	89212.537	159	68594.173	89193.431
127	68610.263	89220.747	160	68598.448	89190.836
128	68612.384	89219.421	161	68599.710	89192.979
129	68614.538	89218.152	162	68610.217	89193.841
130	68618.813	89215.558	163	68611.831	89194.573
131	68613.496	89226.234	164	68534.883	89235.211
132	68617.782	89223.709	165	68534.985	89233.453
133	68622.112	89221.159	166	68534.467	89232.598
134	68616.862	89231.949	167	68533.169	89230.461
135	68621.137	89229.354	168	68537.443	89227.867
136	68623.291	89228.086	169	68538.741	89230.004
137	68625.411	89226.760	170	68539.260	89230.859
138	68628.032	89241.060	171	68540.867	89231.579
139	68630.186	89239.791	175	68603.288	89203.979
140	68632.386	89238.465	176	68598.823	89196.399
141	68634.927	89252.765	177	68597.556	89194.248
142	68637.081	89251.496	178	68596.310	89192.134
143	68639.201	89250.171			

CONCRETE PAVEMENT DESIGN
DAWNAY/SHEPLEY LANE

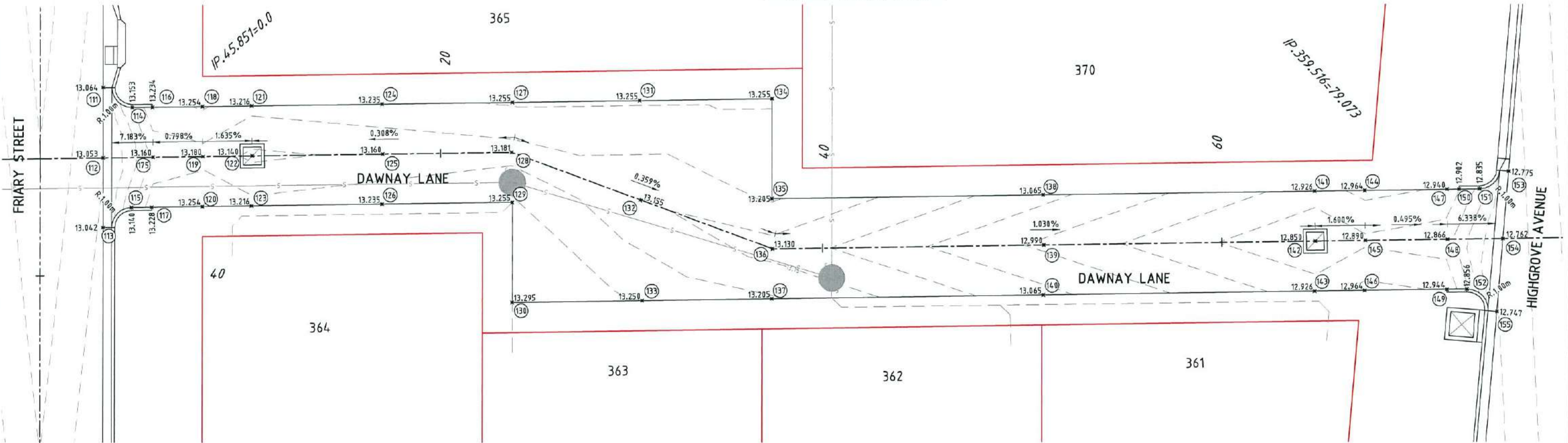
170mm THICK N32 CONCRETE, SL82 MESH 50mm TOP COVER
150mm SUB BASE COURSE (DMR TYPE 2.3)

ROADWORKS DETAILS LEGEND

- 0.35--- DESIGN SURFACE CONTOUR
- ==== LAYBACK KERB & CHANNEL (TYPE L1)
- ==== BARRIER KERB & CHANNEL (TYPE B1)

ROADWORKS DETAILS NOTES

1. ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
2. ALL RADII, SETOUT AND LEVEL INFORMATION IS TO LIP OF KERB UNLESS NOTED OTHERWISE.



ROADWORKS DETAILS
SCALE 1:100

0 2.0 4.0 6.0m
SCALE 1:100

CONSTRUCTION ISSUE

REV.	DATE	REVISIONS
A	27/04/16	ISSUED FOR CONSTRUCTION
1	01/04/16	ISSUED FOR OPERATIONAL WORKS APPROVAL

\\UDP-PS\DATA\JOB DATA\PAR\74-ENGINEER\CD\DRAWINGS\PAR-0074-C14.DWG

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INTERNATIONAL ISO 9001

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REAL PROPERTY DESCRIPTION:
LOT 5000 ON SP280606

DESIGNED: N.FREEMAN
CHECKED: G.FYSH
PROJECT MANAGER: P.PETERSEN

DATUM: AHD (DERIVED)
PSM131673
RL.11.997
DALRYMPLE ROAD

PROJECT DIRECTOR: D.GIBSON RPEQ 13230

UDP
Excellence Through Partnerships

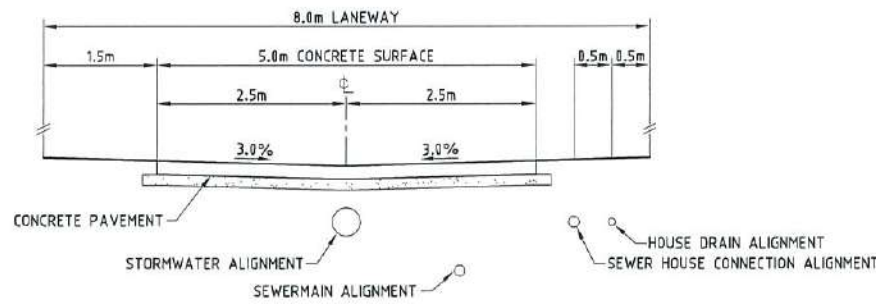
DALGETY PLACE
84 DENHAM STREET
PO BOX 1110
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Fax: (07) 4772 0586
Email: main@udpgroup.com.au
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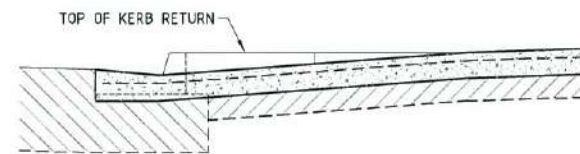
PARKSIDE DEVELOPMENT PTY LTD
GREATER ASCOT PRECINCT 3 - STAGE 303
GREATER ASCOT AVENUE, SHAW
ROADWORKS DETAILS PLAN - SHEET 2 OF 2

DRAWING SIZE	SCALE	DRAWING No.	REV
A1	1:100	PAR-0074-C14	A

XREF PAR-0074-XR-DESIGN

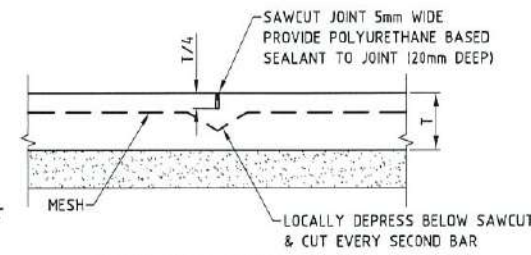


SECTION A
TYPICAL CONCRETE LANEWAY SECTION
SCALE 1:50

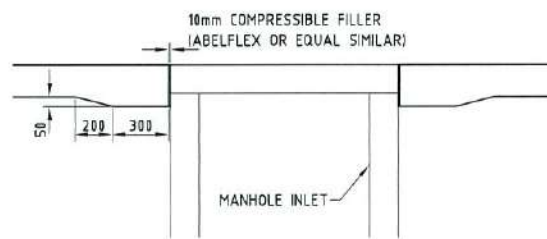


SECTION B
TYPICAL LANEWAY CROSSOVER DETAIL
SCALE 1:20

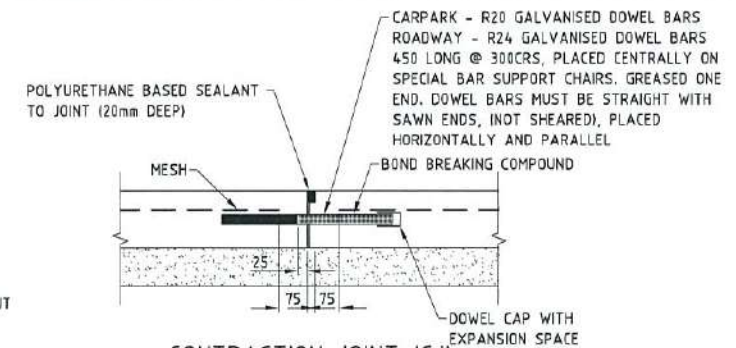
NOTE: REFER COUNCIL STANDARD DRAWING SD-032 FOR CONSTRUCTION DETAILS (STANDARD METHOD C)



SAW CUT JOINT (SJ)
SCALE 1:10
NOTE: MAXIMUM JOINT SPACING 6.0m.
T = SLAB THICKNESS



SLAB THICKENING TO MANHOLES/INLETS
SCALE 1:20



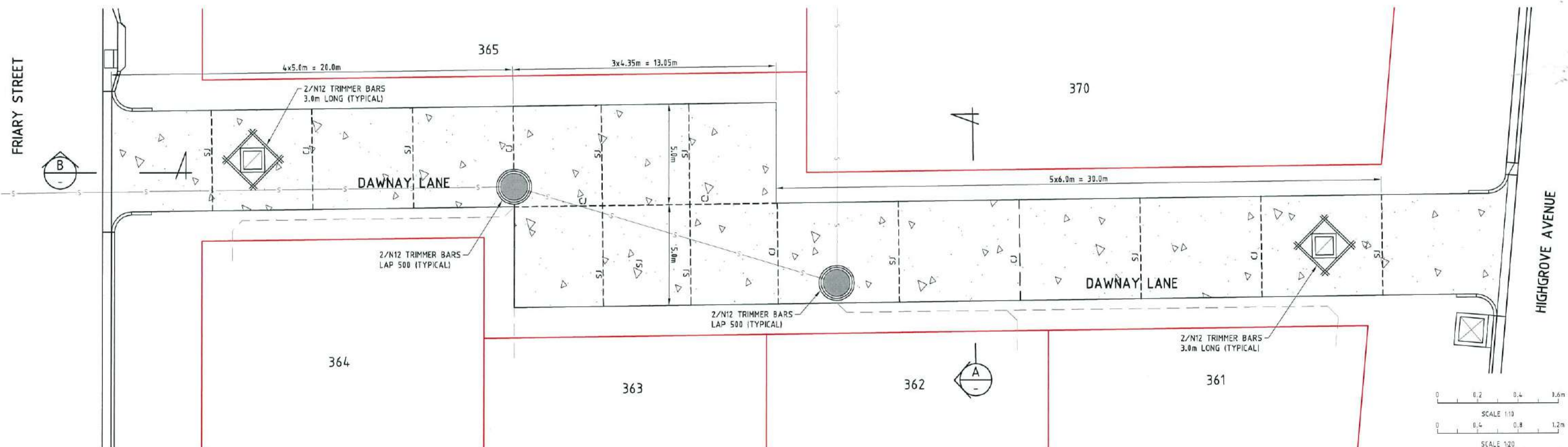
CONTRACTION JOINT (CJ)
SCALE 1:10
NOTE: MAXIMUM JOINT SPACING 15.0m

ROADWORKS NOTES

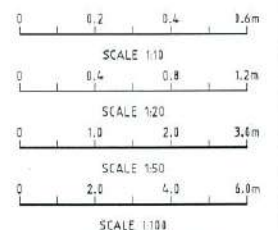
1. ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
2. FOR ROAD GRADING, LEVELS AND TYPICAL SECTIONS, REFER ROAD LONGITUDINAL/CROSS SECTION AND ROADWORKS DETAILS DRAWINGS.
3. FOR SUBSOIL DRAIN DETAILS, REFER TYPICAL SUBSOIL DRAIN CLEANOUT POINT DETAIL AND PAVEMENT & KERBING DETAIL ON DRAWING PAR-074-C14.
4. ALL SUBSOIL DRAINS TO BE GRADED AT MINIMUM 0.5% FROM HIGH POINT TO OUTLET, UNLESS NOTED OTHERWISE.
5. SUBSOIL DRAIN TO BE REVERSE GRADED AT MINIMUM 0.5% TO ENSURE POSITIVE GRADE.

ROADWORKS LEGEND

- CONCRETE PAVEMENT
REFER PAR-074-C14 FOR DETAILS



CONCRETE JOINT DETAILS
SCALE 1:100



CONSTRUCTION ISSUE	
REV.	DATE
A	27/04/16 ISSUED FOR CONSTRUCTION
1	01/04/16 ISSUED FOR OPERATIONAL WORKS APPROVAL

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ISO 9001

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REAL PROPERTY DESCRIPTION: LOT 5000 ON SP280606	
DRAWN: J.THORSEN	DATUM: AHD (DERIVED)
DESIGNED: N.FREEMAN	PSM131673 RL11.997 DALRYMPLE ROAD
CHECKED: G.FYSH	
PROJECT MANAGER: P.PETERSEN	PROJECT DIRECTOR: D.GIBSON RPEQ 13230

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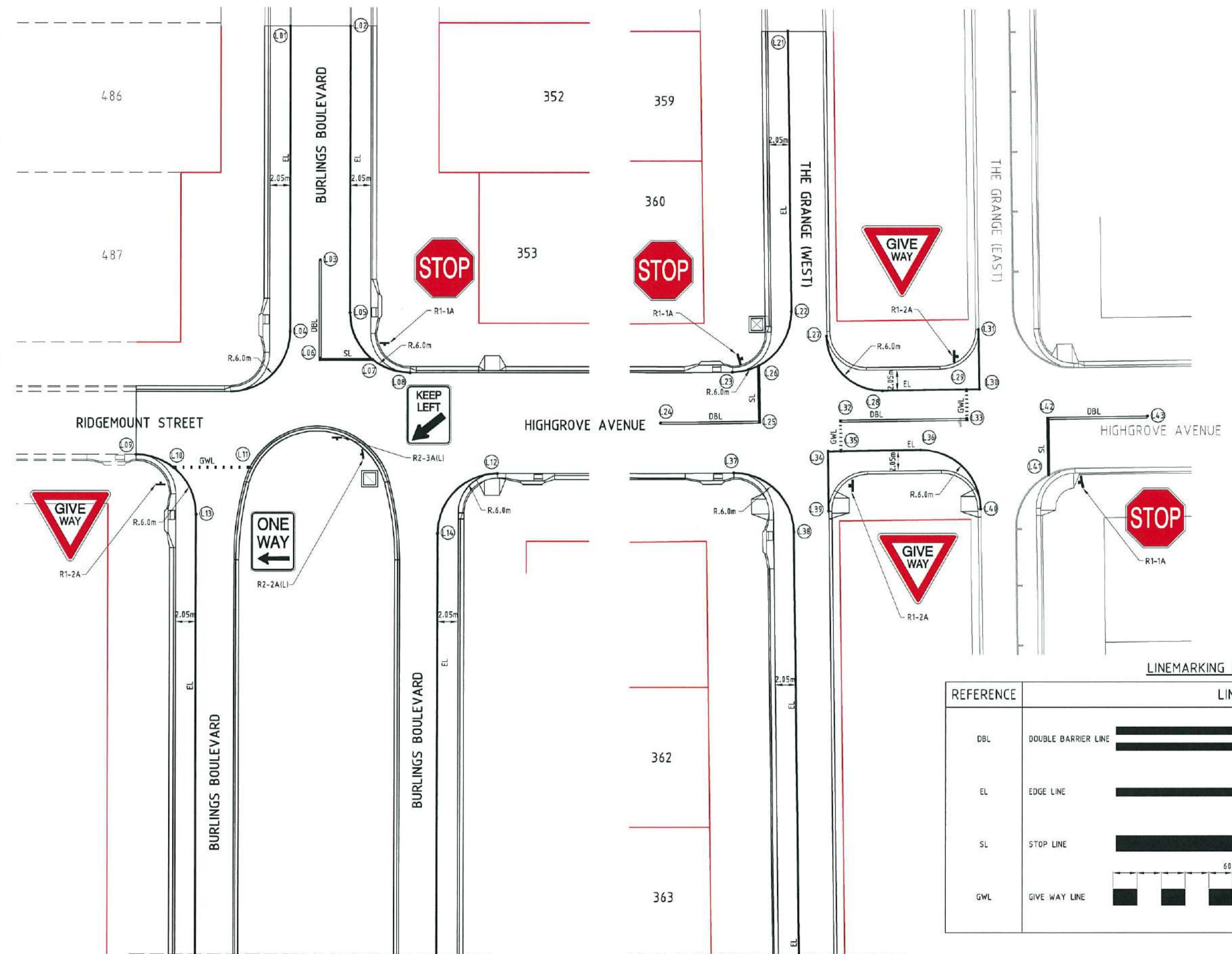
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PARKSIDE DEVELOPMENT PTY LTD			
GREATER ASCOT PRECINCT 3 - STAGE 303 GREATER ASCOT AVENUE, SHAW CONCRETE DETAILS PLAN			
DRAWING SIZE	SCALE	DRAWING No.	REV
A1	AS SHOWN	PAR-0074-C15	A
XREF	PAR-0074-XR-DESIGN		





SETOUT POINT DETAILS

POINT	EASTING	NORTHING
L01	68558.011	89369.671
L02	68563.140	89366.558
L03	68548.412	89348.075
L04	68542.111	89343.477
L05	68548.226	89341.988
L06	68543.303	89339.620
L07	68547.728	89336.792
L08	68550.242	89333.745
L09	68522.567	89340.952
L10	68525.081	89337.905
L11	68531.617	89333.938
L12	68552.502	89320.558
L13	68524.583	89332.709
L14	68544.259	89318.543
L21	68698.434	89275.167
L22	68684.165	89250.943
L23	68675.950	89248.818
L24	68667.108	89248.221
L25	68675.670	89243.122
L26	68678.546	89248.005
L27	68685.912	89247.013
L28	68687.877	89239.414
L29	68695.158	89235.125
L30	68696.278	89234.465
L31	68699.323	89239.635
L32	68682.692	89238.986
L33	68693.686	89232.626
L34	68680.050	89237.661
L35	68681.170	89236.401
L36	68688.663	89232.341
L37	68670.824	89240.116
L38	68672.948	89231.901
L39	68677.004	89231.891
L40	68690.187	89224.126
L41	68697.781	89223.521
L42	68700.657	89228.404
L43	68709.324	89223.414



- LINEMARKING NOTES**
1. ALL LINEMARKING, SIGNAGE AND PLACEMENT OF RRPMS TO BE IN ACCORDANCE WITH M.U.T.C.D.
 2. ALL LINEMARKING IS TO BE WHITE PAINT UNLESS NOTED OTHERWISE.
 3. ALL PRAM CROSSINGS ARE TO HAVE TACTILE WARNING TILES INSTALLED.


LINEMARKING LEGEND

REFERENCE	LINE TYPE
DBL	DOUBLE BARRIER LINE 
EL	EDGE LINE 
SL	STOP LINE 
GWL	GIVE WAY LINE 



CONSTRUCTION ISSUE

REV.	DATE	REVISIONS
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1	01/04/16	ISSUED FOR OPERATIONAL WORKS APPROVAL

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REAL PROPERTY DESCRIPTION:
 LOT 5000 ON SP280606

DRAWN: J.THORSEN
DESIGNED: N.FREEMAN
CHECKED: G.FYSH
PROJECT MANAGER: P.PETERSEN

DATUM: AHD (DERIVED)
 PSM131673
 RL.11.997
 DALRYMPLE ROAD

PROJECT DIRECTOR:
 D.GIBSON RPEQ 13230

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PARKSIDE DEVELOPMENT PTY LTD
 GREATER ASCOT PRECINCT 3 - STAGE 303
 GREATER ASCOT AVENUE, SHAW
 ROAD LINEMARKING DETAILS PLAN - SHEET 1 OF 2

DRAWING No. **PAR-0074-C16**

SCALE: 1:200
 XREF: PAR-0074-XR-DESIGN

REV **A**

LINEMARKING LEGEND

REFERENCE	LINE TYPE
DBL	DOUBLE BARRIER LINE 
EL	EDGE LINE 
SL	STOP LINE 
GWL	GIVE WAY LINE 

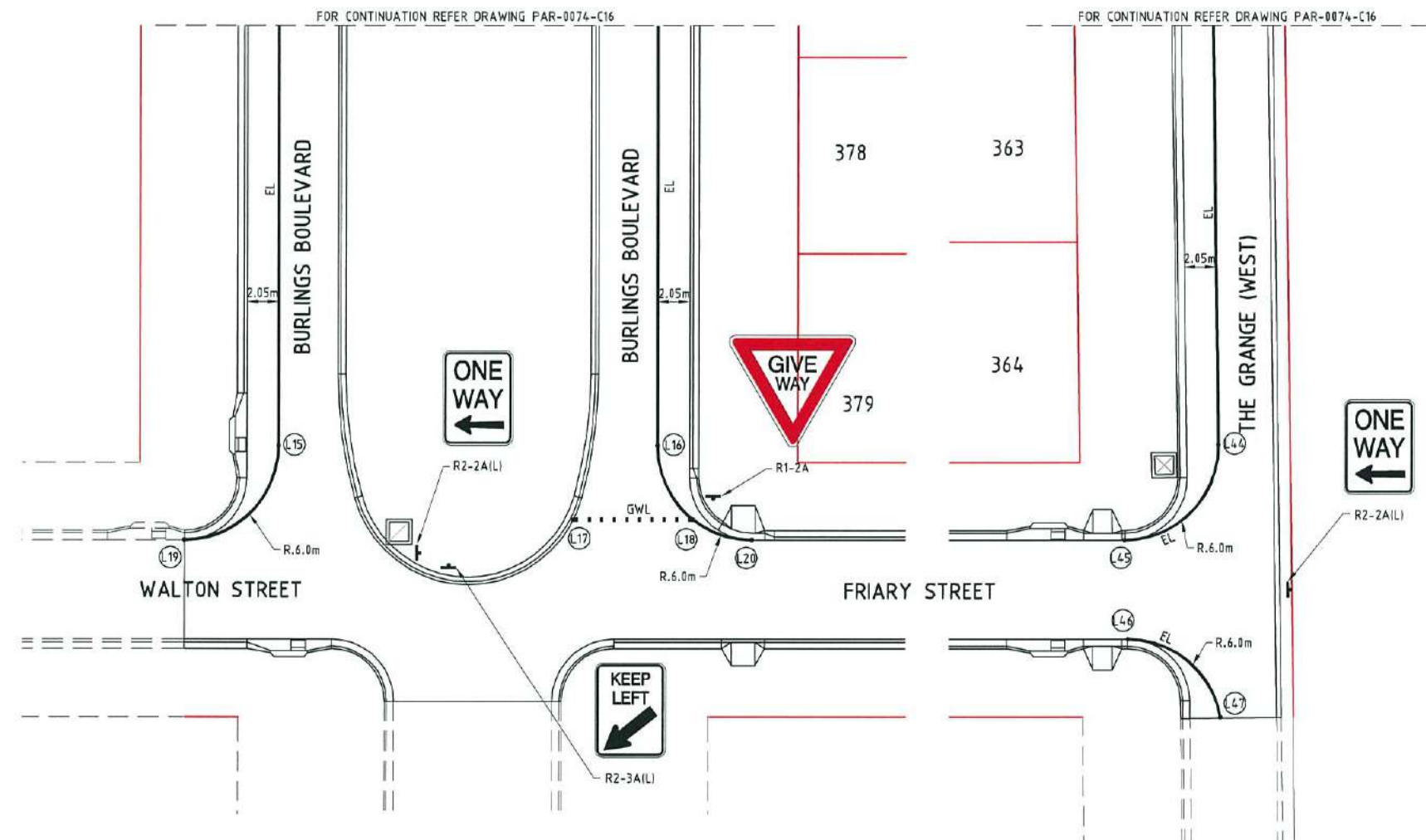
LINEMARKING NOTES

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2. ALL LINEMARKING IS TO BE WHITE PAINT UNLESS NOTED OTHERWISE.
3. ALL PRAM CROSSINGS ARE TO HAVE TACTILE WARNING TILES INSTALLED.



SETOUT POINT DETAILS

POINT	EASTING	NORTHING
L15	68490.491	89276.546
L16	68511.154	89264.804
L17	68504.128	89262.776
L18	68518.656	89258.808
L19	68482.249	89274.531
L20	68513.169	89255.762
L44	68644.304	89183.273
L45	68636.044	89181.175
L46	68632.959	89175.678
L47	68635.440	89168.381



CONSTRUCTION ISSUE



REAL PROPERTY DESCRIPTION:
 LOT 5000 ON SP288606

DRAWN: J.THORSEN
 DESIGNED: N.FREEMAN
 CHECKED: G.FYSH
 PROJECT MANAGER: P.PETERSEN
 DATUM: AHD (DERIVED)
 PSM131673
 RL.11.997
 DALRYMPLE ROAD
 PROJECT DIRECTOR: D.GIBSON RPEQ 13230



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PARKSIDE DEVELOPMENT PTY LTD

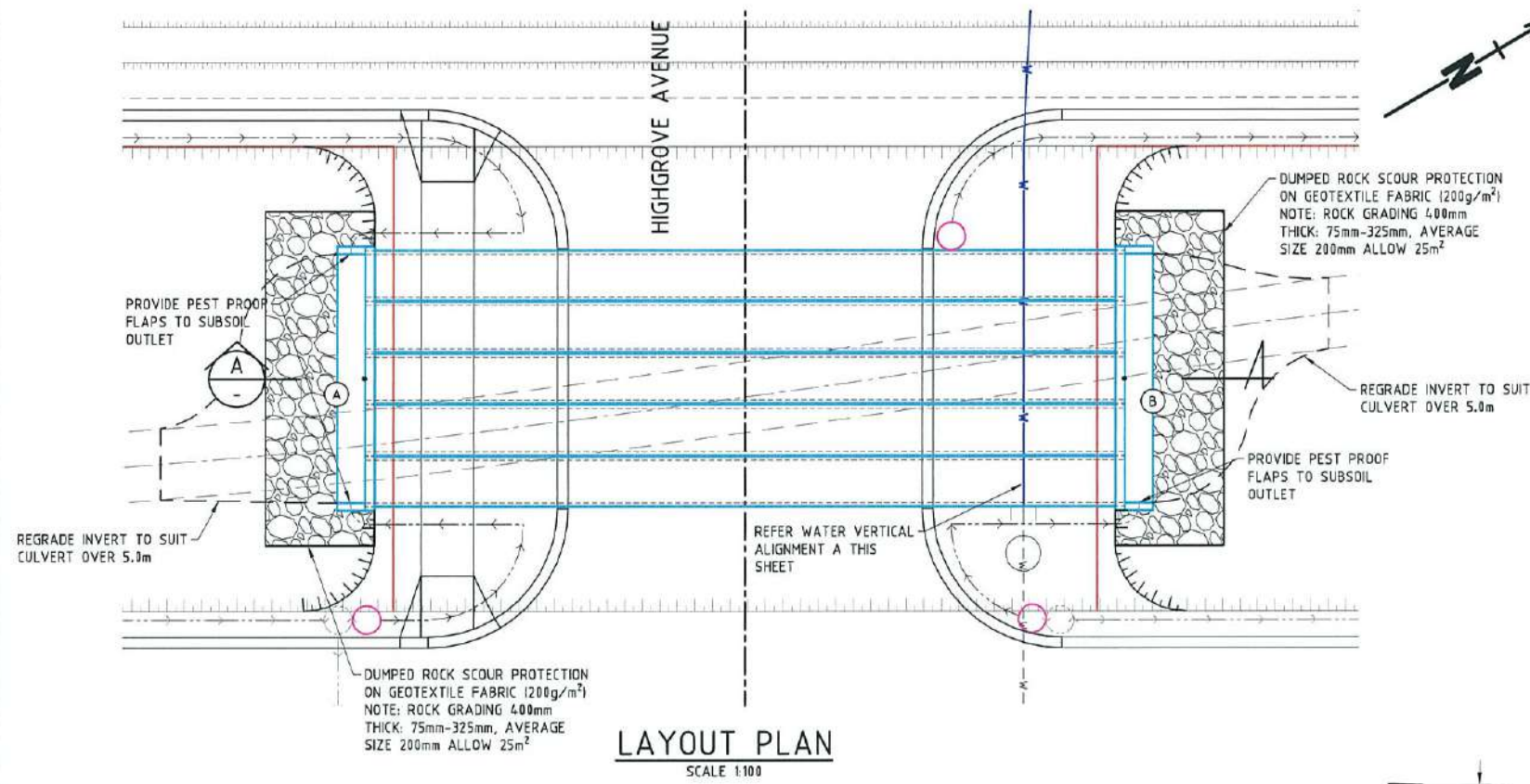
GREATER ASCOT PRECINCT 3 - STAGE 303
 GREATER ASCOT AVENUE, SHAW
 ROAD LINEMARKING DETAILS PLAN - SHEET 2 OF 2

DRAWING SIZE	SCALE	DRAWING No.	REV
A1	1:200	PAR-0074-C17	A

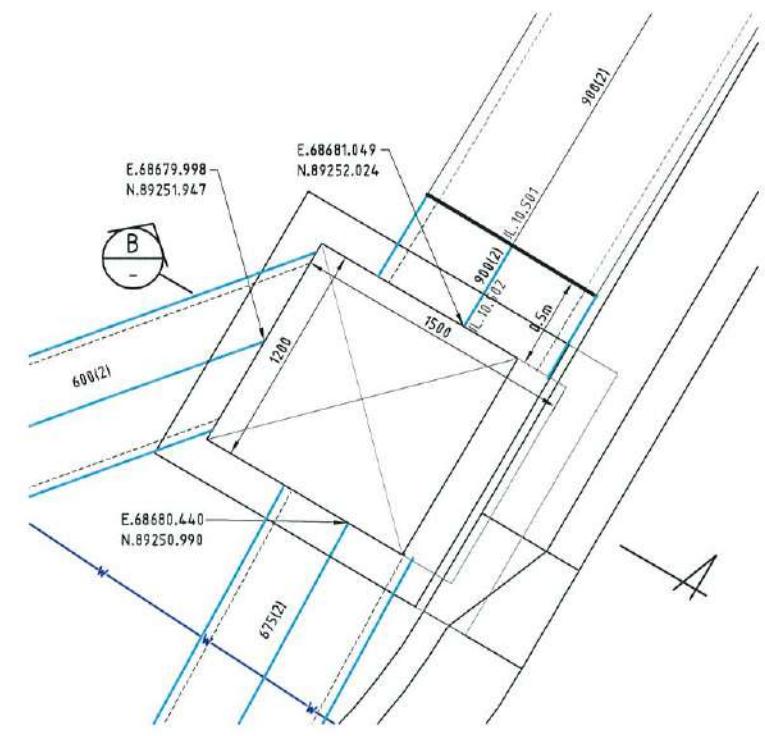
XREF PAR-0074-XR-DESIGN

REV.	DATE	REVISIONS
A	27/04/16	ISSUED FOR CONSTRUCTION
1	31/04/16	ISSUED FOR OPERATIONAL WORKS APPROVAL

\\UDP-FS-DATA\JOB DATA\PAR\174\ENGINEERING\DRAWINGS\PAR-0074-C17.DWG



LAYOUT PLAN
SCALE 1:100



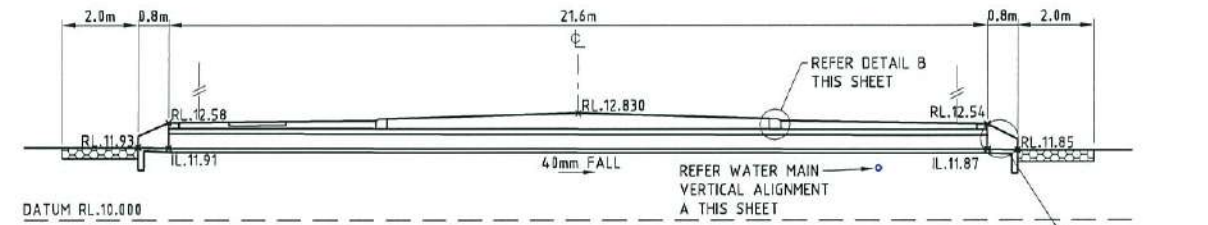
MANHOLE 14/6 LAYOUT (1200x1500)
SCALE 1:20

SETOUT POINT DETAILS

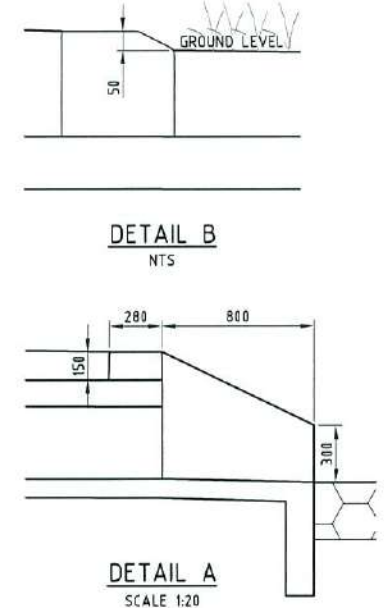
POINT	EASTING	NORTHING
A	13084.1961	176417.680
B	130852.923	176436.291

NOTES

- FOR CULVERT CONSTRUCTION DETAILS, REFER TO DMR STANDARD DRAWINGS 1303, 1316, 1318 AND 1359.
- ALL WEEP HOLES TO BE FITTED WITH DRAINAGE FLAPS TO PREVENT BACKFLOW

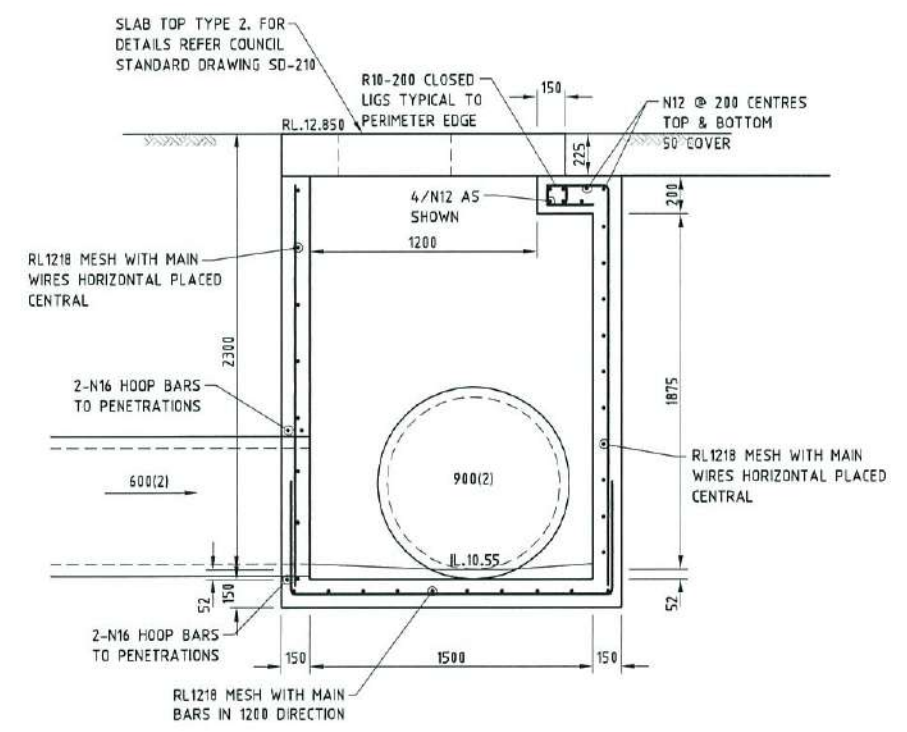


HIGHGROVE AVENUE CULVERT - 5/1200x375 RCBC 21.6m
SECTION A
SCALE 1:100

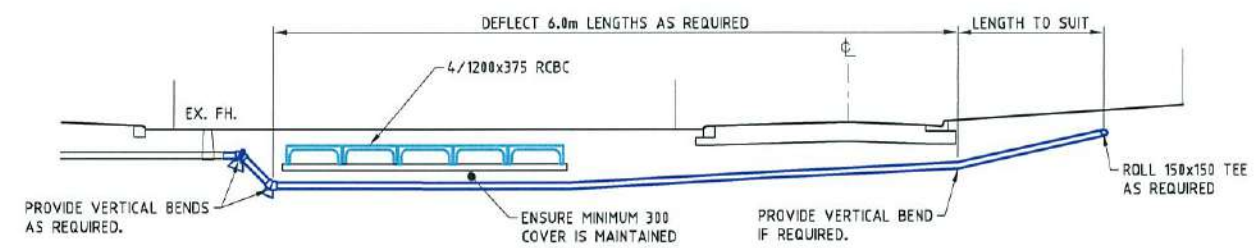


DETAIL B
NTS

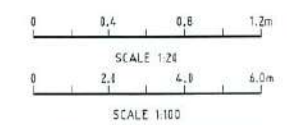
DETAIL A
SCALE 1:20



SECTION B
SCALE 1:20



WATER VERTICAL ALIGNMENT DETAIL A
SCALE 1:100



CONSTRUCTION ISSUE



REAL PROPERTY DESCRIPTION:
LOT 5000 ON SP280606
DRAWN: J.THORSEN
DESIGNED: N.FREEMAN
CHECKED: G.FYSH
PROJECT MANAGER: P.PETERSEN
DATUM: AHD (DERIVED)
PSM131673
RL.11.997
DALRYMPLE ROAD
PROJECT DIRECTOR: D.GIBSON RPEQ 13230

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PARKSIDE DEVELOPMENT PTY LTD
GREATER ASCOT PRECINCT 3 - STAGE 303
GREATER ASCOT AVENUE, SHAW
STORMWATER CULVERT DETAILS PLAN
DRAWING No. PAR-0074-C18
SCALE AS SHOWN
XREF PAR-0074-XR-DESIGN
REV A

REV.	DATE	REVISIONS
A	27/04/16	ISSUED FOR CONSTRUCTION
1	01/04/16	ISSUED FOR OPERATIONAL WORKS APPROVAL

\\UDP-FS02\AN\JOB DATA\PAR\ENR\ENGINEERING\DRAWINGS\PAR-3074-C18.DWG

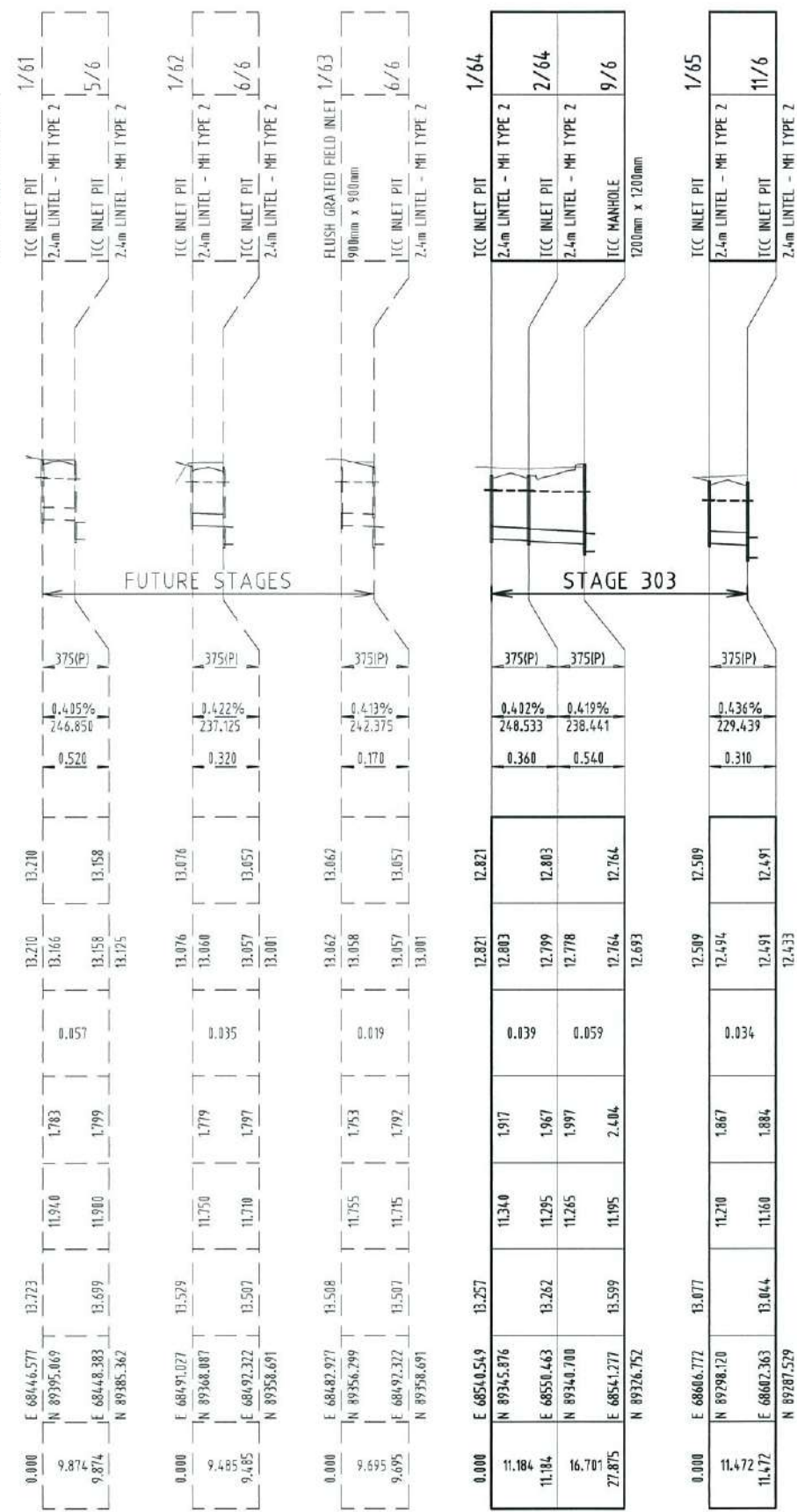
STRUCTURE NAME
STRUCTURE DESCRIPTION

STORMWATER NOTES

- ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
- STRUCTURE SETOUT IS TO CENTRE OF MANHOLE OR CENTRE OF STANDARD KERB INLET CHAMBER.
- FOR STORMWATER ALIGNMENT, REFER TO STORMWATER LAYOUT DRAWING.
- ALL RCP DRAINAGE PIPES TO BE RUBBER RING JOINTED, UNLESS NOTED OTHERWISE.
- ALL POLYPROPYLENE DRAINAGE PIPES SHALL BE IN ACCORDANCE WITH ASS065.
- REFER DETAILS ON DRAWING PAR-0074-C21 FOR TYPICAL SUBSURFACE DRAINAGE TO STORMWATER MANHOLES & KERB INLET TRANSITION.
- PIPE CLASS: (2) - RCP CLASS 2
(P) - POLYPROPYLENE

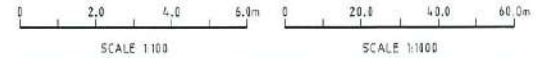
PIPE SIZE (mm) (Class)	375(P)	375(P)	375(P)	375(P)	525(P)	525(P)	525(P)	525(P)	525(P)	600(I)	600(I)	600(I)	600(I)	600(I)
PIPE GRADE %	0.406%	0.406%	0.443%	0.401%	0.224%	0.227%	0.233%	0.194%	0.184%	0.170%	0.142%	0.155%	0.134%	0.170%
PIPE SLOPE 1 in X	246.538	246.369	225.835	249.311	446.957	440.554	428.324	515.951	544.154	588.440	704.535	643.710	743.964	589.086
FULL PIPE FLOW VELOCITY (m/s)	0.420	0.810	0.980	0.980	0.351	1.161	1.110	1.230	1.450	1.190	1.370	1.380	1.510	1.620
PART FULL FLOW VELOCITY (m/s)														

WATER LEVEL IN STRUCTURE	13.521	13.475	13.486	13.351	13.158	13.057	12.949	12.871	12.764	12.675	12.491	12.268	12.173	11.753															
HYDRAULIC GRADE LEVEL	13.521	13.475	13.467	13.420	13.406	13.355	13.339	13.281	13.158	13.125	13.057	12.991	12.944	11.753															
PIPE FLOW (Cumecs)	0.046	0.088	0.107	0.107	0.182	0.249	0.249	0.276	0.326	0.348	0.400	0.403	0.441	0.475															
DEPTH TO INVERT	1.829	1.867	1.897	1.929	1.959	2.040	2.070	2.289	2.329	2.599	2.629	2.844	2.874	2.300															
INVERT LEVEL OF DRAIN	12.190	11.980	11.950	11.970	11.890	11.685	11.635	11.040	10.970	10.940	10.815	10.680	10.635	10.550															
DESIGN SURFACE LEVEL	14.019	13.847	13.849	13.905	13.699	13.507	13.439	13.369	13.599	13.270	13.044	12.854	12.744	12.650															
STRUCTURE SETOUT	E 68373.295 N 89364.578	E 68371.900 N 89410.131	E 68404.852 N 89406.835	E 68405.452 N 89407.684	E 68448.383 N 89385.362	E 68492.322 N 89358.691	E 68520.916 N 89341.334	E 68522.346 N 89333.997	E 68541.277 N 89326.752	E 68555.723 N 89317.983	E 68602.363 N 89287.529	E 68644.452 N 89255.583	E 68669.168 N 89240.477	E 68674.832 N 89250.092															
RUNNING CHAINAGE	0.000	51.773	57.773	73.91	59.864	5.646	64.810	44.876	109.686	51.400	161.086	26.433	187.519	74.75	200.369	20.269	221.007	16.900	237.332	55.702	293.234	52.840	346.074	28.967	375.041	11.159	386.200	5.891	392.091



Q2 STORMWATER LONGITUDINAL SECTIONS

SCALE 1:100 VERTICAL; 1:1000 HORIZONTAL



CONSTRUCTION ISSUE



REAL PROPERTY DESCRIPTION:
LOT 5000 ON SP280606
DRAWN: J.THORSEN
DESIGNED: N.FREEMAN
CHECKED: G.FYSH
PROJECT MANAGER: P.PETERSEN
DATUM: AHD (DERIVED)
PSM131673
RL.11.997
DALRYMPLE ROAD
PROJECT DIRECTOR: D.GIBSON RPEQ 13230



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PARKSIDE DEVELOPMENT PTY LTD			
GREATER ASCOT PRECINCT 3 - STAGE 303			
GREATER ASCOT AVENUE, SHAW			
Q2 STORMWATER LONGITUDINAL SECTION - SHEET 1 OF 3			
DRAWING SIZE	SCALE	AS SHOWN	DRAWING No.
A1	XREF	-	PAR-0074-C19
REV			A

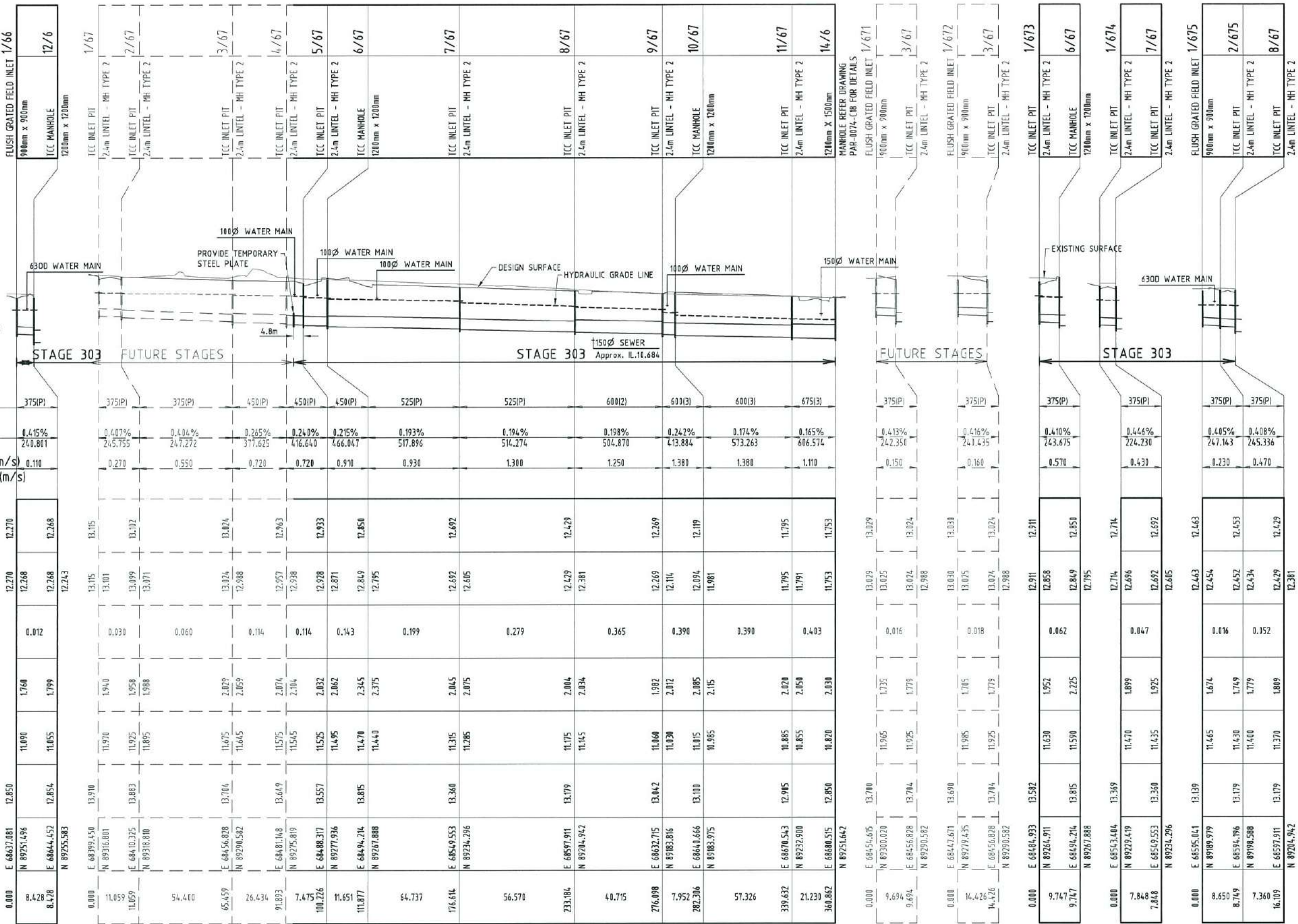
\\udp-ps-datan\job_data\par\074\ENGINEERING\DRAWINGS\PAR-0074-C19.DWG

STRUCTURE NAME	
STRUCTURE DESCRIPTION	

STORMWATER NOTES

- ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
- STRUCTURE SETOUT IS TO CENTRE OF MANHOLE OR CENTRE OF STANDARD KERB INLET CHAMBER.
- FOR STORMWATER ALIGNMENT, REFER TO STORMWATER LAYOUT DRAWING.
- ALL RCP DRAINAGE PIPES TO BE FLUSH JOINTED WITH EXTERNAL RUBBER BAND, UNLESS NOTED OTHERWISE.
- ALL POLYPROPYLENE DRAINAGE PIPES SHALL BE IN ACCORDANCE WITH A55065.
- REFER DETAILS ON DRAWING PAR-0074-C21 FOR TYPICAL SUBSURFACE DRAINAGE TO STORMWATER MANHOLES & KERB INLET TRANSITION.
- PIPE CLASS: (2) - RCP CLASS 2
(3) - RCP CLASS 3
(P) - POLYPROPYLENE

PIPE SIZEmm (Class)	375(P)
PIPE GRADE %	0.415%
PIPE SLOPE 1 in X	240.801
FULL PIPE FLOW VELOCITY (m/s)	0.110
PART FULL FLOW VELOCITY (m/s) DATUM RL.3.000	
WATER LEVEL IN STRUCTURE	12.270
HYDRAULIC GRADE LEVEL	12.270
PIPE FLOW (Cumecs)	0.012
DEPTH TO INVERT	1.760
INVERT LEVEL OF DRAIN	11.090
DESIGN SURFACE LEVEL	12.850
STRUCTURE SETOUT	E 68637.081
RUNNING CHAINAGE	0.000



Q2 STORMWATER LONGITUDINAL SECTIONS
SCALE 1:100 VERTICAL; 1:1000 HORIZONTAL

CONSTRUCTION ISSUE

REV.	DATE	REVISIONS
A	27/04/16	ISSUED FOR CONSTRUCTION
1	01/04/16	ISSUED FOR OPERATIONAL WORKS APPROVAL

JAS-ANZ
G
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REAL PROPERTY DESCRIPTION:
LOT 5000 ON SP280606

DRAWN: J.THORSEN
DESIGNED: N.FREEMAN
CHECKED: G.FYSH
PROJECT MANAGER: P.PETERSEN

DATUM: AHD (DERIVED)
PSM131673
RL.11.997
DALRYMPLE ROAD

PROJECT DIRECTOR:
D.GIBSON RPEQ 13230

UDP
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DALGETY PLACE
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PO BOX 1110
TOWNSVILLE QLD 4810

Phone: (07) 4772 0666
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PARKSIDE DEVELOPMENT PTY LTD
GREATER ASCOT PRECINCT 3 - STAGE 303
GREATER ASCOT AVENUE, SHAW
Q2 STORMWATER LONGITUDINAL SECTION - SHEET 2 OF 3

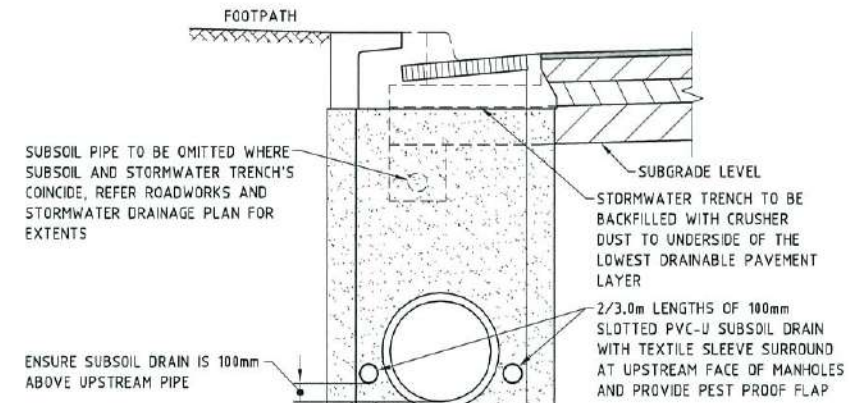
DRAWING SIZE	SCALE	AS SHOWN	DRAWING No.	REV
A1	XREF	-	PAR-0074-C20	A

\\UDP-FS02\DATA\JOB DATA\PAR-0074-ENGINEERING\DRAWINGS\PAR-0074-C20.DWG

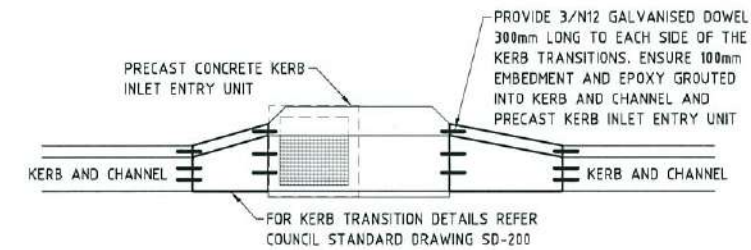
STORMWATER NOTES

1. ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
2. STRUCTURE SETOUT IS TO CENTRE OF MANHOLE OR CENTRE OF STANDARD KERB INLET CHAMBER.
3. FOR STORMWATER ALIGNMENT, REFER TO STORMWATER LAYOUT DRAWING.
4. ALL RCP ALL RCP DRAINAGE PIPES TO BE RUBBER RING JOINTED, UNLESS NOTED OTHERWISE.
5. ALL POLYPROPYLENE DRAINAGE PIPES SHALL BE IN ACCORDANCE WITH AS5065.
6. REFER DETAILS ON THIS SHEET FOR TYPICAL SUBSURFACE DRAINAGE TO STORMWATER MANHOLES & KERB INLET TRANSITION.
7. PIPE CLASS: (P) - POLYPROPYLENE

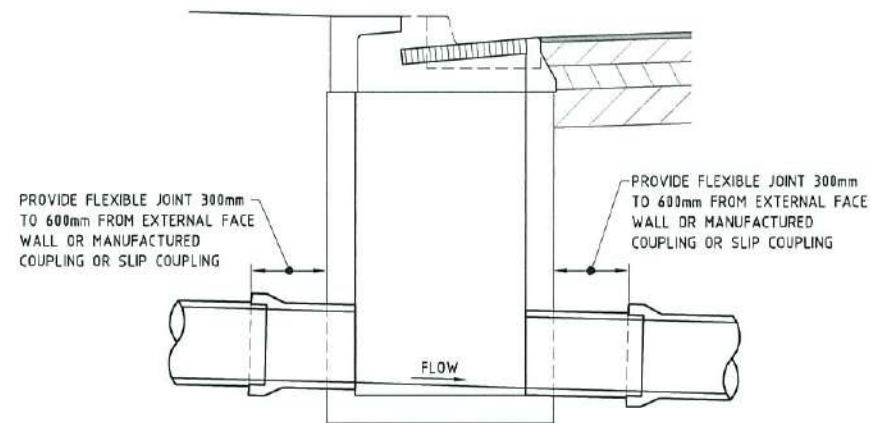
STRUCTURE NAME	1/676		1/677	
STRUCTURE DESCRIPTION	FLUSH GRATED FIELD INLET 900mm x 900mm TCC INLET PIT 2.4m LINTEL - MH TYPE 2		TCC INLET PIT 2.4m LINTEL - MH TYPE 2 TCC INLET PIT 2.4m LINTEL - MH TYPE 2	
PIPE SIZEmm (Class)	375(P)		375(P)	
PIPE GRADE %	0.489%		0.486%	
PIPE SLOPE 1 in X	244.430		246.136	
FULL PIPE FLOW VELOCITY (m/s)	0.130		0.240	
PART FULL FLOW VELOCITY (m/s)				
DATUM RL.2.000				
WATER LEVEL IN STRUCTURE	12.433	12.479	12.283	12.269
HYDRAULIC GRADE LEVEL	12.433	12.479	12.283	12.269
PIPE FLOW (Cumecs)	0.014		0.026	
DEPTH TO INVERT	1.735	1.809	1.755	1.787
INVERT LEVEL OF DRAIN	11.405	11.370	11.285	11.255
DESIGN SURFACE LEVEL	13.140	13.179	13.040	13.042
STRUCTURE SETOUT	E 68645.802 N 89706.247	E 68597.911 N 89204.942	E 68628.898 N 89171.523	E 68632.715 N 89183.816
RUNNING CHAINAGE	0.000 8.555	8.555	0.000 7.384	7.384
LINE	676		677	



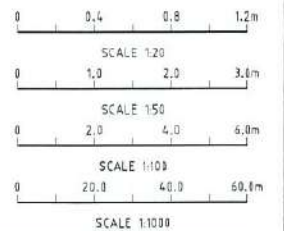
TYPICAL SUBSURFACE DRAIN - STORMWATER MANHOLES
SCALE 1:20



KERB INLET TRANSITION DETAIL
SCALE 1:50

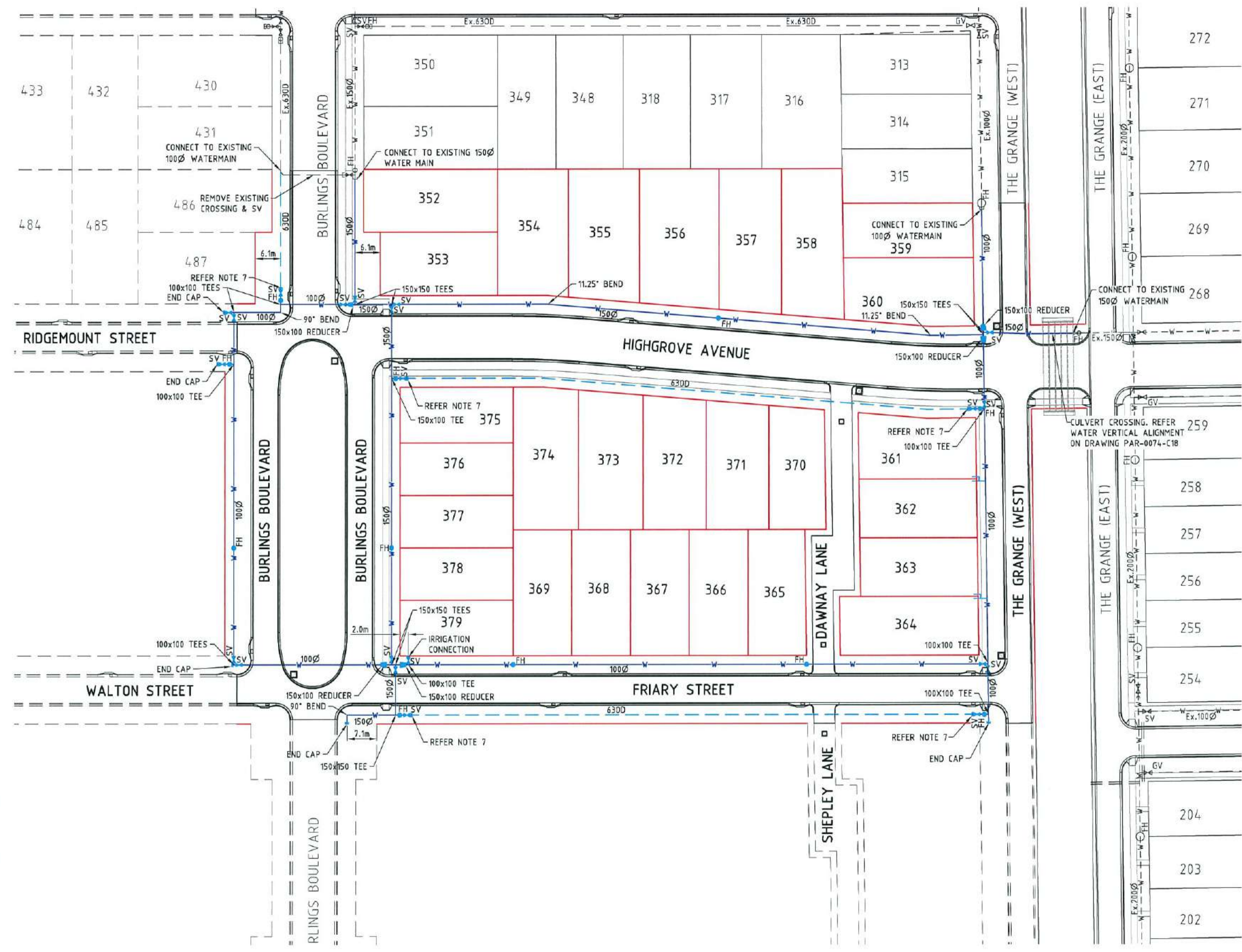


RRJ STORMWATER PIPES - MANHOLE CONNECTION DETAIL
SCALE 1:20



Q2 STORMWATER LONGITUDINAL SECTIONS
SCALE 1:100 VERTICAL; 1:1000 HORIZONTAL

<p>CONSTRUCTION ISSUE</p>			<p>REAL PROPERTY DESCRIPTION: LOT 5000 ON SP280606</p>		<p>DALGETY PLACE 84 DENHAM STREET PO BOX 1110 TOWNSVILLE QLD 4810</p> <p>Phone: (07) 4772 0666 Fax: (07) 4772 0566 Email: main@udpgroup.com.au Web: www.udpgroup.com.au</p>	<p>PARKSIDE DEVELOPMENT PTY LTD GREATER ASCOT PRECINCT 3 - STAGE 303 GREATER ASCOT AVENUE, SHAW Q2 STORMWATER LONGITUDINAL SECTION - SHEET 3 OF 3</p>	
			<p>DRAWN: J.THORSEN DESIGNED: N.FREEMAN CHECKED: G.FYSH PROJECT MANAGER: P.PETERSEN</p>	<p>DATUM: AHD (DERIVED) PSM131673 RL.11.997 DALRYMPLE ROAD</p>		<p>DRAWING No. PAR-0074-C21</p>	<p>REV A</p>
<p>1 01/04/16 ISSUED FOR OPERATIONAL WORKS APPROVAL</p>		<p>This drawing is produced and remains the property of UDP Group Pty Ltd and related entities. UDP Group Pty Ltd and related entities shall not accept any responsibility or liability to any third party as a result of the content contained on this drawing. Figure dimensions must be used in preference to scaled dimensions. All dimensions to be verified before commencing any work.</p>		<p>PROJECT DIRECTOR: D.GIBSON RPEQ 13230</p>		<p>DRAWING SIZE: A1 SCALE: XREF</p>	



WATER LEGEND

- 100Ø PROPOSED WATER MAIN AND DIAMETER
- 6300 PROPOSED POLYETHYLENE WATER MAIN AND DIAMETER
- PROPOSED FIRE HYDRANT, VALVE AND REDUCER
- PROPOSED DOUBLE HOUSE CONNECTION AND SINGLE CONNECTION FOR FUTURE IRRIGATION BY LANDSCAPE CONTRACTOR
- EXISTING WATER MAIN, VALVE AND HYDRANT

WATER NOTES

1. ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND PROJECT SPECIFICATION.
2. ALL WATER MAINS ARE TO BE LOCATED ON A 2.1m ALIGNMENT OFFSET FROM PROPERTY BOUNDARIES, UNLESS NOTED OTHERWISE.
3. ALL UPVC MAINS ARE TO BE CLASS PN16 SERIES 2 COMPATIBLE TO AS 1477 RUBBER RING JOINTED, WITH SOCKETED DICL FITTINGS UNLESS NOTED OTHERWISE.
4. ALL 6300 MAINS TO BE POLYETHYLENE CLASS PN16 TO AS 4130.
5. ALL TRENCHES UNDER ROAD PAVEMENT (INCLUDING FUTURE) TO BE BACKFILLED WITH CRUSHER DUST TO SUBGRADE LEVEL. REFER PROJECT SPECIFICATION FOR COMPACTION AND COMPLIANCE TESTING REQUIREMENTS.
6. CONNECTION TO EXISTING WATER MAINS TO BE CARRIED OUT BY COUNCIL AT THE CONTRACTORS EXPENSE.
7. REFER TCC STANDARD DRAWING SD-315 FOR PVC TO PE SERVICE MAIN CONNECTION DETAIL.
8. FOR WATER HOUSE CONNECTIONS REFER TO COUNCIL STANDARD DRAWING SD-305.

EXISTING SERVICES

ALL EXISTING SERVICES ARE TO BE LOCATED BY THE CONTRACTOR THROUGH CONTACTING THE RELEVANT SERVICE AUTHORITY PRIOR TO THE COMMENCEMENT OF ANY WORK



CONSTRUCTION ISSUE	
REV.	DATE
A	27/04/16 ISSUED FOR CONSTRUCTION
1	01/04/16 ISSUED FOR OPERATIONAL WORKS APPROVAL

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 LOT 5000 ON SP280606

DRAWN: J.THORSEN
DESIGNED: N.FREEMAN
CHECKED: G.FYSH
PROJECT MANAGER: P.PETERSEN

DATUM: AHD (DERIVED)
 PSM131673
 RL.11.997
 DALRYMPLE ROAD

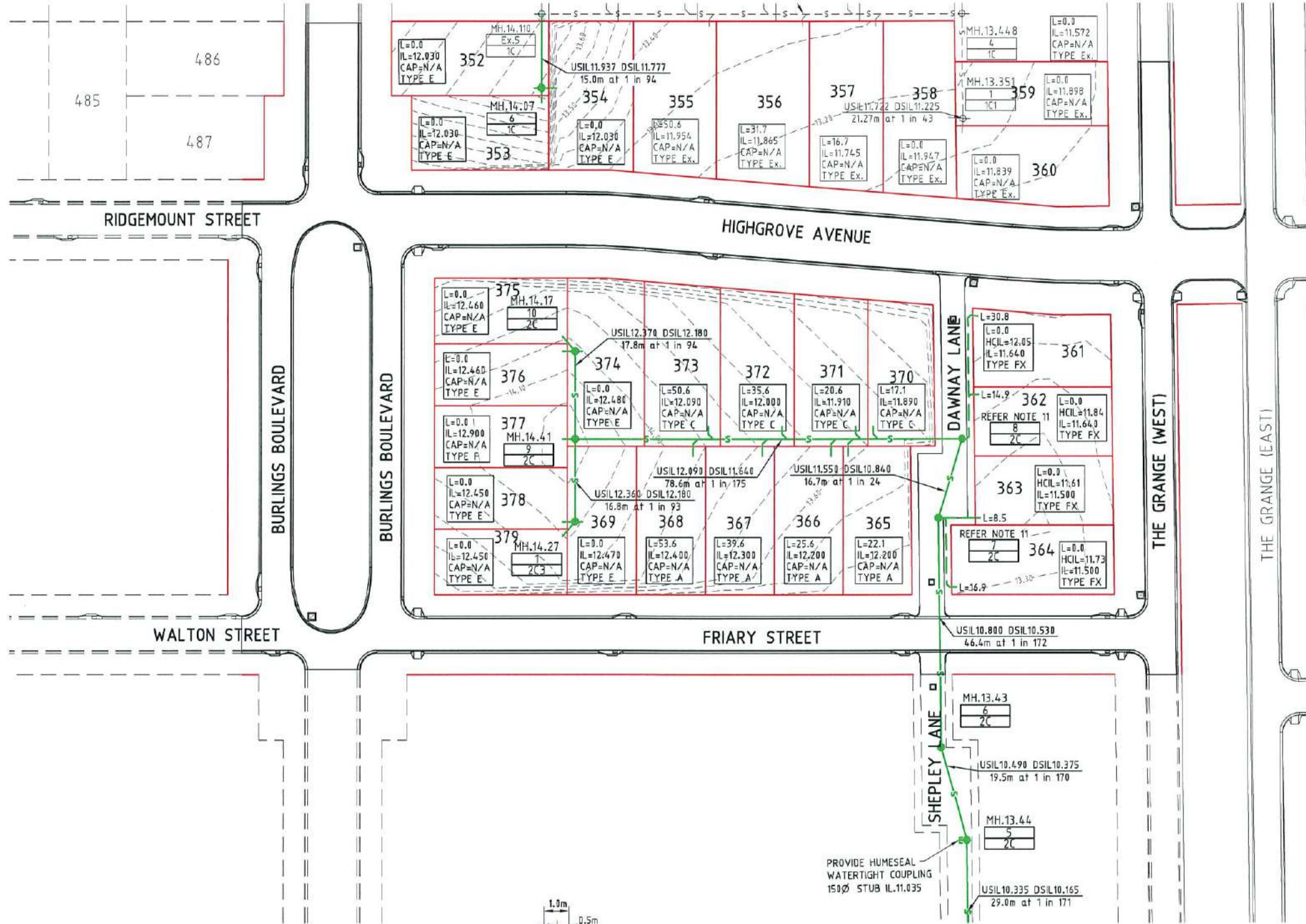
PROJECT DIRECTOR: D.GIBSON RPEQ 13230

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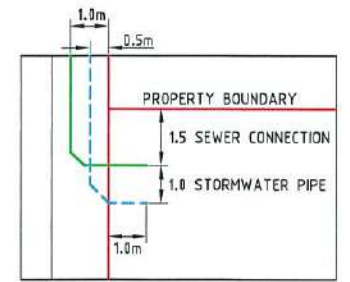
PARKSIDE DEVELOPMENT PTY LTD			
GREATER ASCOT PRECINCT 3 - STAGE 303			
GREATER ASCOT AVENUE, SHAW			
WATER RETICULATION PLAN			
DRAWING SIZE	SCALE	DRAWING No.	REV
A1	1:500	PAR-0074-C22	A
XREF	PAR-0074-XR-DESIGN		



SEWER LEGEND

- 6.75 --- DESIGN SURFACE CONTOURS
- s --- PROPOSED SEWER MAIN AND MANHOLE (MH)
- s --- PROPOSED SEWER MAIN AND MAINTENANCE SHAFT (MS)
- s --- PROPOSED SEWER HOUSE DRAIN
- s --- EXISTING SEWER MAIN AND MANHOLE
- MH.6.57
ML04f
MANHOLE TYPE, TOP OF MANHOLE MANHOLE NUMBER LINE NUMBER
- L=3.0
IL=5.160
CAP=6.30
TYPE D
HOUSE CONNECTION (X&Y DIMENSIONS AS PER RELEVANT COUNCIL STANDARD DRAWING U.N.O.)
- Distance from downstream manhole invert level of house connection point level of cap for 'TYPE D' connection house connection type
- TYPE A - ACROSS BOUNDARY 'SLOPE DROP'
- TYPE B - ACROSS BOUNDARY 'JUMP UP'
- TYPE C - WITHIN LOT 'DIRECT CONNECTION'
- TYPE D - WITHIN LOT 'JUMP UP'
- TYPE E - MANHOLE 'DIRECT CONNECTION'
- TYPE F - MANHOLE 'INTERNAL DROP'
- TYPE FX - MANHOLE 'JUMP UP' EXTENDED (LANES)
- TYPE G - MAINTENANCE SHAFT CONNECTION
- TYPE EX - EXISTING HOUSE CONNECTION

- ### SEWER NOTES:
- ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND PROJECT SPECIFICATION
 - ALL SEWERAGE MAINS TO BE LOCATED ON 1.5m ALIGNMENT OFFSET FROM THE PROPERTY BOUNDARIES, UNLESS NOTED OTHERWISE.
 - ALL SEWERAGE MAINS TO BE DN150, UNLESS NOTED OTHERWISE.
 - ALL DN150 AND DN225 SEWERAGE MAINS TO BE uPVC DWV S8B, UNLESS NOTED OTHERWISE.
 - ALL DN100 HOUSE DRAINS TO BE uPVC DWV S810, UNLESS NOTED OTHERWISE. (MAXIMUM LENGTH 10.0m)
 - ALL TRENCHES UNDER ROAD PAVEMENT (INCLUDING FUTURE) TO BE BACKFILLED WITH CRUSHER DUST TO SUBGRADE LEVEL. REFER PROJECT SPECIFICATION FOR COMPACTION AND COMPLIANCE TESTING REQUIREMENTS.
 - CONNECTION/ALTERATIONS TO EXISTING SEWERAGE INFRASTRUCTURE TO BE CARRIED OUT BY COUNCIL AT THE CONTRACTORS EXPENSE.
 - ALL MANHOLE INTERNAL DROP 'CORES' ARE NOT TO BE LOCATED WITHIN 150mm OF PRECAST WALL JOINTS. IF CLASH OCCURS SUPERINTENDENT TO PROVIDE FURTHER INSTRUCTIONS PRIOR TO MANHOLE BEING 'CORED'.
 - ALL HOUSE DRAINS OVER 10m IN LENGTH TO BE DN150.
 - EXTENDED HOUSE DRAINS IN LANES TO BE LOCATED ON 1.0m ALIGNMENT OFFSET FROM PROPERTY BOUNDARIES UNO.
 - LANEWAY MANHOLE LIDS TO BE CONSTRUCTED FLUSH WITH CONCRETE LANEWAYS WITH TRAFFICABLE LIDS. CONTRACTOR TO VERIFY LEVELS ON SITE.
 - LANEWAY HOUSE CONNECTION LESS THAN 10.0m (100Ø) GRADE 1 ON 55 MORE THAN 10.0m (150Ø) GRADE 1 ON 75.



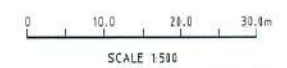
SEWER & STORMWATER TYPICAL SETOUT IN LANEWAY
NTS

PROVIDE HUMESAL WATERTIGHT COUPLING 150Ø STUB IL.11.035

MANHOLE SETOUT POINT DETAILS

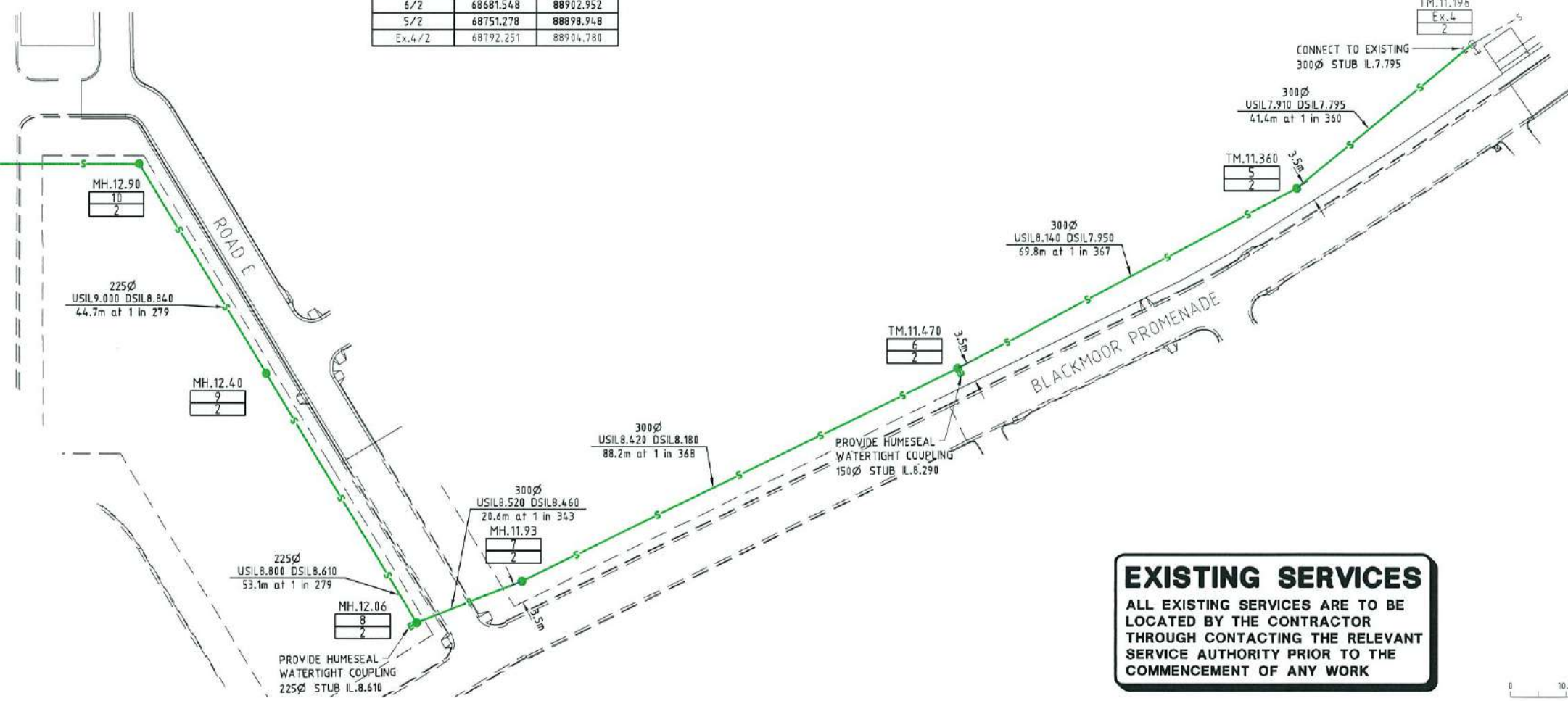
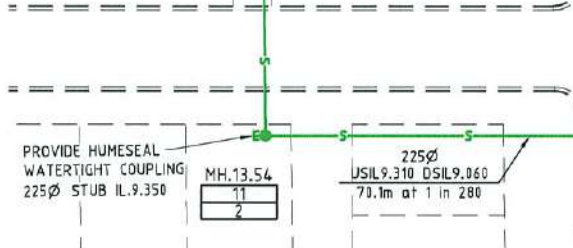
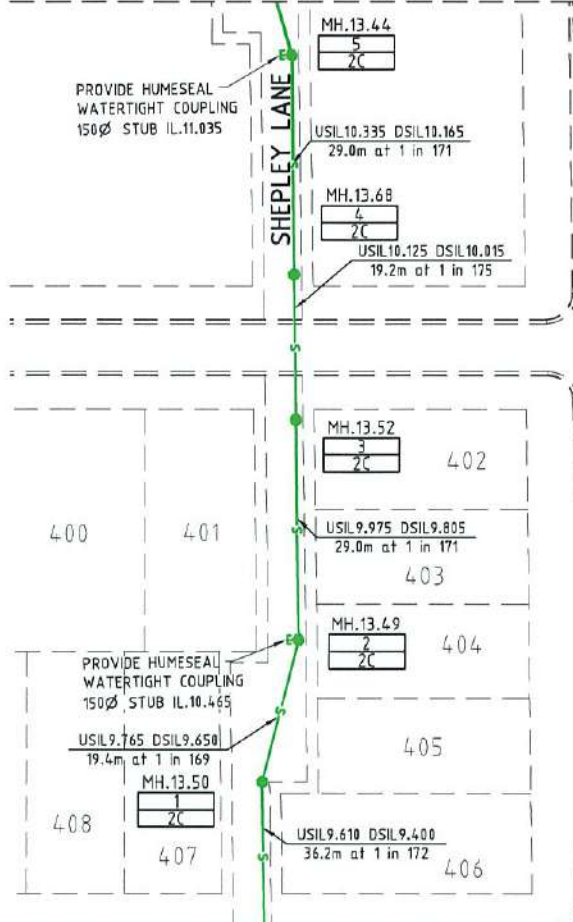
POINT	EASTING	NORTHING
Ex.5/1C	68597.716	89347.684
6/1C	68589.933	89334.862
10/2C	68568.093	89285.826
1/2C3	68558.191	89256.334
9/2C	68558.882	89270.653
8/2C	68626.079	89229.864
7/2C	68613.676	89218.660
6/2C	68590.166	89178.645
5/2C	68584.863	89159.893
4/2C	68570.143	89134.904

EXISTING SERVICES
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<h2>CONSTRUCTION ISSUE</h2>		REAL PROPERTY DESCRIPTION: LOT 5000 ON SP289606			DALGETY PLACE 84 DENHAM STREET PO BOX 1110 TOWNSVILLE QLD 4810 Phone: (07) 4772 0868 Fax: (07) 4772 0566 Email: main@udpgroup.com.au Web: www.udpgroup.com.au	PARKSIDE DEVELOPMENT PTY LTD GREATER ASCOT PRECINCT 3 - STAGE 303 GREATER ASCOT AVENUE, SHAW SEWERAGE RETICULATION PLAN - SHEET 1 OF 2	
		DRAWN: J.THORSEN DESIGNED: N.FREEMAN CHECKED: G.FYSH PROJECT MANAGER: P.PETERSEN	DATUM: AHD (DERIVED) PSM131673 RL.11.997 DALRYMPLE ROAD PROJECT DIRECTOR: D.GIBSON RPEQ 13230			DRAWING SIZE: A1 SCALE: XREF DRAWING No.: PAR-0074-C23	REV: B DATE: 05/04/17 REVISIONS: AMENDED SEWER LAYOUT FOR LOTS 369 & 374 TO 379

FOR CONTINUATION REFER DRAWING PAR-0074-C23



MANHOLE SETOUT POINT DETAILS

POINT	EASTING	NORTHING
7/2C	68613.676	89218.660
6/2C	68590.106	89178.645
5/2C	68584.863	89159.893
4/2C	68570.143	89134.904
3/2C	68560.398	89118.359
2/2C	68545.678	89093.370
1/2C	68531.879	89079.796
11/2	68513.486	89048.571
10/2	68573.368	89012.221
9/2	68573.368	88947.517
8/2	68573.368	88914.463
7/2	68593.668	88910.945
6/2	68681.548	88932.952
5/2	68751.278	88898.948
Ex.4/2	68792.251	88934.780

SEWER LEGEND

- 0.75 --- DESIGN SURFACE CONTOURS
- S --- PROPOSED SEWER MAIN AND MANHOLE (MH)
- O --- PROPOSED SEWER MAIN AND MAINTENANCE SHAFT (MS)
- S --- EXISTING SEWER MAIN AND MANHOLE
- MH.6.57
1
ML.04F
MANHOLE TYPE, TOP OF MANHOLE
MANHOLE NUMBER
LINE NUMBER
- L=3.0
IL=5.160
CAP=6.30
TYPE D
HOUSE CONNECTION (X&Y DIMENSIONS AS PER RELEVANT COUNCIL STANDARD DRAWING U.N.O.)
- S --- DISTANCE FROM DOWNSTREAM MANHOLE
INVERT LEVEL OF HOUSE CONNECTION POINT
LEVEL OF CAP FOR 'TYPE D' CONNECTION
HOUSE CONNECTION TYPE
TYPE A - ACROSS BOUNDARY 'SLOPE DROP'
TYPE B - ACROSS BOUNDARY 'JUMP UP'
TYPE C - WITHIN LOT 'DIRECT CONNECTION'
TYPE D - WITHIN LOT 'JUMP UP'
TYPE E - MANHOLE 'DIRECT CONNECTION'
TYPE F - MANHOLE 'INTERNAL DROP'
TYPE G - MAINTENANCE SHAFT CONNECTION
TYPE Ex. - EXISTING HOUSE CONNECTION

SEWER NOTES:

1. ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND PROJECT SPECIFICATION
2. ALL SEWERAGE MAINS TO BE LOCATED ON 1.5m ALIGNMENT OFFSET FROM THE PROPERTY BOUNDARIES, UNLESS NOTED OTHERWISE.
3. ALL SEWERAGE MAINS TO BE DN150, UNLESS NOTED OTHERWISE.
4. ALL DN150 AND DN225 SEWERAGE MAINS TO BE uPVC DWV S80, UNLESS NOTED OTHERWISE.
5. ALL DN100 HOUSE DRAINS TO BE uPVC DWV S810, UNLESS NOTED OTHERWISE. (MAXIMUM LENGTH 10.0m)
6. ALL TRENCHES UNDER ROAD PAVEMENT (INCLUDING FUTURE) TO BE BACKFILLED WITH CRUSHER DUST TO SUBGRADE LEVEL. REFER PROJECT SPECIFICATION FOR COMPACTION AND COMPLIANCE TESTING REQUIREMENTS.
7. CONNECTION/ALTERATIONS TO EXISTING SEWERAGE INFRASTRUCTURE TO BE CARRIED OUT BY COUNCIL AT THE CONTRACTORS EXPENSE.
8. ALL MANHOLE INTERNAL DROP 'CORES' ARE NOT TO BE LOCATED WITHIN 150mm OF PRECAST WALL JOINTS. IF CLASH OCCURS SUPERINTENDENT TO PROVIDE FURTHER INSTRUCTIONS PRIOR TO MANHOLE BEING 'CORED'.
9. ALL HOUSE DRAINS OVER 10m IN LENGTH TO BE DN150.
10. EXTENDED HOUSE DRAINS IN LANES TO BE LOCATED ON 1.0m ALIGNMENT OFFSET FROM PROPERTY BOUNDARIES UNO.
11. LANEWAY MANHOLE LIDS TO BE CONSTRUCTED FLUSH WITH CONCRETE LANEWAYS WITH TRAFFICABLE LIDS. CONTRACTOR TO VERIFY LEVELS ON SITE.
12. LANEWAY HOUSE CONNECTION LESS THAN 10.0m (1000) GRADE 1 ON 55 MORE THAN 10.0m (1500) GRADE 1 ON 75.



EXISTING SERVICES
ALL EXISTING SERVICES ARE TO BE LOCATED BY THE CONTRACTOR THROUGH CONTACTING THE RELEVANT SERVICE AUTHORITY PRIOR TO THE COMMENCEMENT OF ANY WORK



CONSTRUCTION ISSUE

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A	27/04/16	ISSUED FOR CONSTRUCTION
1	01/04/16	ISSUED FOR OPERATIONAL WORKS APPROVAL

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REAL PROPERTY DESCRIPTION:
LOT 5000 ON SP280606

DRAWN: J.THORSEN
 DESIGNED: N.FREEMAN
 CHECKED: G.FYSH
 PROJECT MANAGER: P.PETERSEN

DATUM: AHD (DERIVED)
 PSM131673
 RL.11.997
 DALRYMPLE ROAD

PROJECT DIRECTOR:
 D.GIBSON RPEQ 13230

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DALGETY PLACE
 84 DENHAM STREET
 PO BOX 1110
 TOWNSVILLE QLD 4810

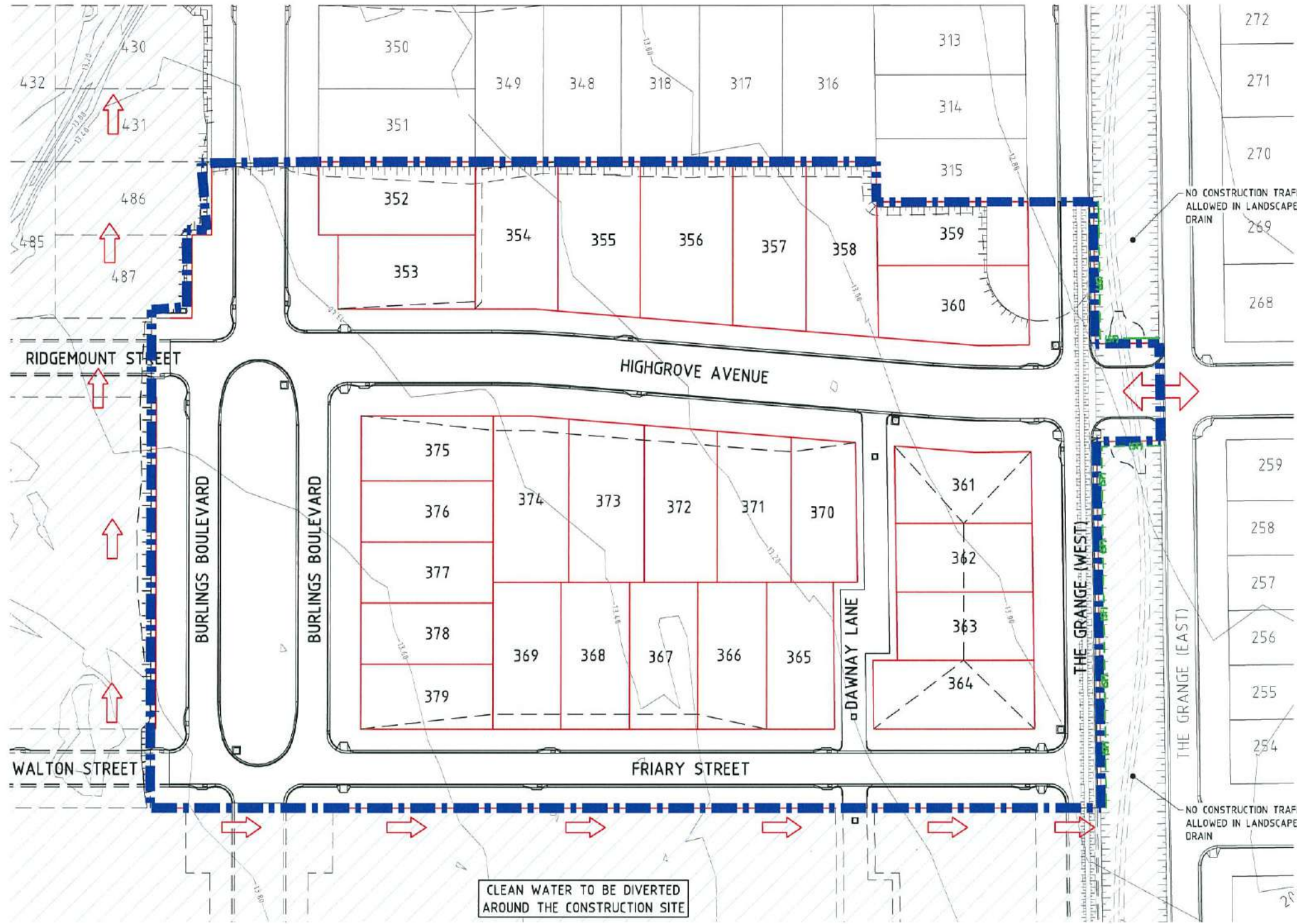
Phone: (07) 4772 0668
 Fax: (07) 4772 0668
 Email: main@udpgroup.com.au
 Web: www.udpgroup.com.au

PARKSIDE DEVELOPMENT PTY LTD
 GREATER ASCOT PRECINCT 3 - STAGE 304
 GREATER ASCOT AVENUE, SHAW
 SEWERAGE RETICULATION PLAN - SHEET 2 OF 2

DRAWING SIZE: A1
 SCALE: 1:500
 XREF: PAR-0074-XR-DESIGN

DRAWING No.: PAR-0074-C24
 REV: A

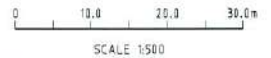
\\UDP\51204\1\JOB DATA\PAR\174\ENGINEERING\DRAWINGS\PAR-0074-C24.DWG



- LEGEND:**
- 0.75 EXISTING CONTOURS
 - EXTENT OF SITE
 - TOP OF BATTER LINE
 - TOE OF BATTER LINE
 - EXISTING VEGETATION TO REMAIN
 - ENTRY/EXIT
 - SFI SEDIMENT FENCE
 - DIVERSION MOUND

- SESC STRATEGY:**
CONSTRUCTION PHASE
1. REFER TO CONSTRUCTION SPECIFICATION FOR DETAILS DURING CONSTRUCTION.
 2. ALL MEASURES FOR EROSION AND SEDIMENTATION CONTROL SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION AND THE MAINTENANCE PERIOD.
 3. ALL STOCKPILES ARE TO HAVE SILT FENCES INSTALLED SO AS TO PREVENT SEDIMENT DISCHARGE.
 4. INSPECT ALL EXISTING SESC MEASURES & ENSURE THEY ARE FUNCTIONABLE. REPAIR OR REPLACE AS REQUIRED.
 5. INSTALL DIVERSION MOUND AS REQUIRED.
 6. INSTALL SEDIMENT FENCE AS REQUIRED.

EXISTING SERVICES
ALL EXISTING SERVICES ARE TO BE LOCATED BY THE CONTRACTOR THROUGH CONTACTING THE RELEVANT SERVICE AUTHORITY PRIOR TO THE COMMENCEMENT OF ANY WORK



CONSTRUCTION ISSUE	
REV.	DATE
A	27/04/16
1	01/04/16

JAS-ANZ **ISO 9001**

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PROJECT DIRECTOR: D.GIBSON RPEQ 13230

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Web: www.udpgroup.com.au

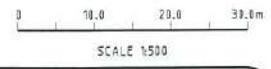
PARKSIDE DEVELOPMENT PTY LTD			
GREATER ASCOT PRECINCT 3 - STAGE 303			
GREATER ASCOT AVENUE, SHAW			
SESC STRATEGY - CONSTRUCTION PHASE			
DRAWING SIZE	SCALE	DRAWING No.	REV
A1	1:500	PAR-0074-C25	A
XREF	PAR-0074-XR-DESIGN		

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- LEGEND:**
- DESIGN SURFACE CONTOURS
 - FLOW ARROW
 - 1.0m WIDE TURF STRIP BEHIND KERB & CHANNEL. PROVIDE RETURNS AT 30.0m CENTRES
 - CUT AREA
 - FILL AREA
 - SEDIMENT FENCE (SF)
 - EXISTING VEGETATION TO REMAIN

- SESC STRATEGY:**
POST CONSTRUCTION PHASE
1. ALL MEASURES FOR EROSION AND SEDIMENTATION CONTROL SHALL BE INSTALLED AND MAINTAINED BY THE CONTRACTOR IN SUCH A MANNER SO AS NOT TO PRESENT A POTENTIAL HAZARD TO ANY PERSON OR PROPERTY.
 2. ALL MEASURES FOR EROSION AND SEDIMENTATION CONTROL SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION AND THE MAINTENANCE PERIOD.
 3. INSPECT ALL EXISTING ESC MEASURES & ENSURE THEY ARE FUNCTIONABLE. REPAIR OR REPLACE AS REQUIRED.
 4. INSTALL SEDIMENT TRAP TO INLET PITS.
 5. PLACE TURF BEHIND KERB AND CHANNEL AND AT THE TOP OF BATTERS.



CONSTRUCTION ISSUE	
REV.	DATE
A	27/04/16
1	01/04/16

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REAL PROPERTY DESCRIPTION:
LOT 5000 ON SP280606

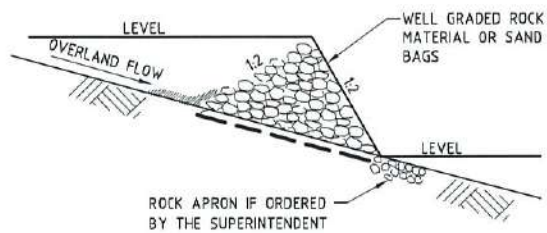
DRAWN: J.THORSEN	DATUM: AHD (DERIVED)
DESIGNED: N.FREEMAN	PSM131673
CHECKED: G.FYSH	RL.11.997
PROJECT MANAGER: P.PETERSEN	DALRYMPLE ROAD
	PROJECT DIRECTOR: D.GIBSON RPEQ 13230

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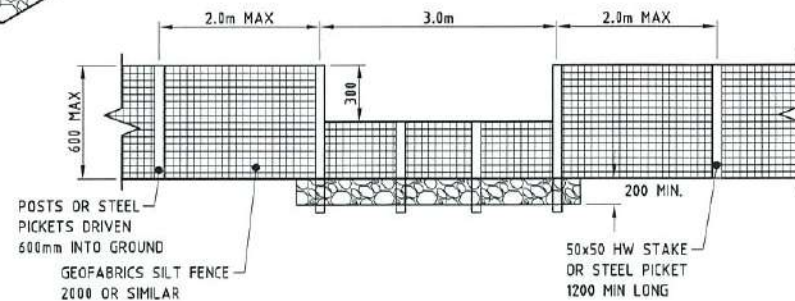
DALGETY PLACE
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Web: www.udpgroup.com.au

PARKSIDE DEVELOPMENT PTY LTD			
GREATER ASCOT PRECINCT 3 - STAGE 303			
GREATER ASCOT AVENUE, SHAW			
SESC STRATEGY - POST CONSTRUCTION PHASE			
DRAWING SIZE	SCALE	DRAWING No.	REV
A1	1:500	PAR-0074-C26	A

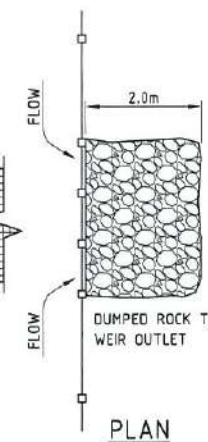


CHECK DAM
NTS

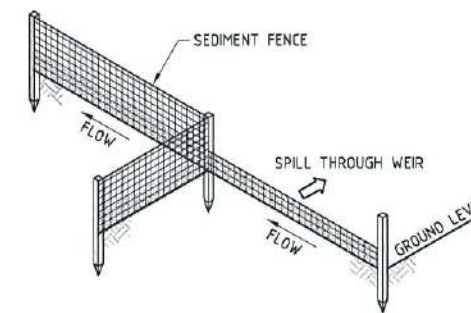


TYPICAL ELEVATION

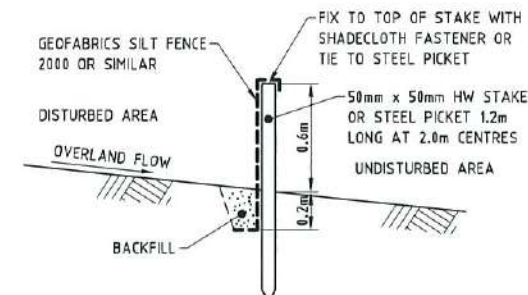
SPILL THROUGH WEIR
NTS



PLAN

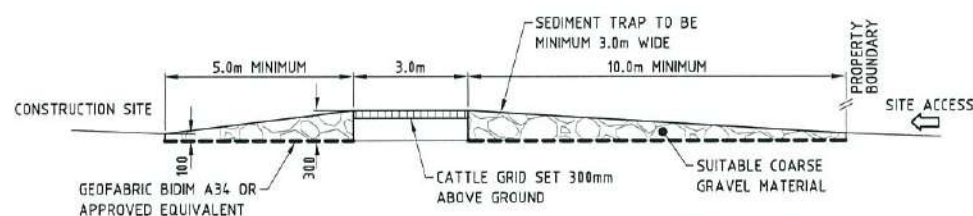


SEDIMENT FENCE RETURN



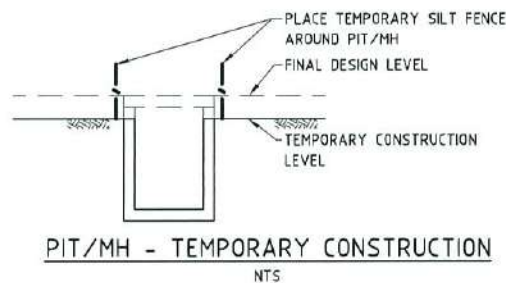
TYPICAL SECTION

SEDIMENT FENCE DETAIL
NTS



TEMPORARY CONSTRUCTION ENTRY/EXIT SEDIMENT TRAP

LOCATION TO BE DETERMINED ON SITE
ALTERNATE: 75mm ROCK RUMBLE PAD 20x3m
NTS



PIT/MH - TEMPORARY CONSTRUCTION
NTS

SEQUENCE OF ACTIONS TO BE UNDERTAKEN BY CONTRACTOR

1. NOTIFICATION	<ul style="list-style-type: none"> - THE SUPERINTENDENT IS TO BE GIVEN NOTIFICATION FOR EACH OF THE FOLLOWING POINTS: <ul style="list-style-type: none"> - AFTER THE AREA TO BE CLEARED HAS BEEN NOMINATED ON SITE. - ONCE THE LOCATION OF THE DIVERSION DRAINS HAVE BEEN DETERMINED ON SITE. - AFTER THE EROSION CONTROL OUTLET STRUCTURES HAVE BEEN INSTALLED.
2. SITE POSSESSION	<ul style="list-style-type: none"> - ERECTION OF BARRIER FENCING TO BUFFER AREAS AND DRAINAGE RESERVES AS DIRECTED BY SUPERINTENDENT. - INSTALLATION OF CONSTRUCTION EXIT. - CONSTRUCT TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SUCH AS SILT FENCING AND DIVERSION BANKS. - CONSTRUCT SEDIMENT BASIN TO DIMENSIONS NOMINATED BY SUPERINTENDENT, IF REQUIRED, INSTALL DIVERSION BANKS TO DIRECT WATER FROM DISTURBED AREAS TO BE BASIN.
3. CONSTRUCTION	<ul style="list-style-type: none"> - TOPSOIL TO BE STRIPPED AND STOCKPILED IN LOCATIONS AGREED WITH THE SUPERINTENDENT. A SEDIMENT FENCE IS TO BE CONSTRUCTED ON THE DOWNHILL SIDE OF THE STOCKPILE TO TRAP SEDIMENT. A DIVERSION DRAIN IS TO BE INSTALLED UPSTREAM OF THE STOCKPILE. - SEDIMENT CONTROL DEVICES REQUIRED TO BE REMOVED TO ALLOW CONSTRUCTION ACCESS ARE TO BE REINSTATED AT THE COMPLETION OF EACH WORKDAY. - MOVEMENT OF CONSTRUCTION EQUIPMENT SHALL BE LIMITED TO THE AREA OF WORK AND EXISTING ROADS. - DISTURBED AREAS ARE TO BE GRASSED FOLLOWING FINAL TRIMMING IN ACCORDANCE WITH THE DRAWINGS. AREAS ARE TO BE DISTURBED AND RESTORED PROGRESSIVELY. - TURF STRIPS (1000mm WIDE) SHALL BE LAID TO THE BASE OF ALL DOWNSTREAM EARTHWORKS BATTERS STEEPER THAN 1 IN 4. BATTERS SHALL BE TOPSOILED AND GRASS SEEDING IMMEDIATELY UPON COMPLETION OF EARTHWORKS. - KERB SEDIMENT TRAPS ARE TO BE PROVIDED AT EACH DRAINAGE PIT ADJACENT TO DISTURBED AREAS.
4. MAINTENANCE	<ul style="list-style-type: none"> - CHECK INTEGRITY OF EROSION AND SEDIMENT CONTROL DEVICES: DAILY DURING THE MONTHS OF NOVEMBER TO MARCH, AND FOLLOWING EACH RAINFALL EVENT, AND WEEKLY AT OTHER TIMES OF THE YEAR, AND PRIOR TO IMPENDING RAINFALL EVENTS.
5. GENERAL	<ul style="list-style-type: none"> - THE CONTRACTOR WILL BE RESPONSIBLE FOR THE MAINTENANCE OF EROSION AND SEDIMENT CONTROL DEVICES FROM THE POSSESSION OF THE SITE UNTIL THE SITE IS ACCEPTED BY THE LOCAL AUTHORITY "OFF MAINTENANCE" OR UNTIL STABILISATION HAS OCCURRED TO THE SATISFACTION OF THE SUPERINTENDENT. - ADDITIONAL CONTROL DEVICES MAY BE REQUIRED BY THE SUPERINTENDENT. - ALTERNATIVE DESIGNS ARE TO BE APPROVED BY THE SUPERINTENDENT PRIOR TO CONSTRUCTION.

DEVICE	CONSTRUCTION REQUIREMENTS	MAINTENANCE REQUIREMENTS
CONSTRUCTION EXITS - USED TO PREVENT THE TRACKING OF DEBRIS FROM TYRES OF VEHICLES ONTO PUBLIC ROAD.	1. REFER TO DETAIL ON THIS PLAN 2. SURFACE WATER FLOWING TO THE CONSTRUCTION EXIT SEDIMENT TRAP MUST BE PIPED UNDER THE TRAP OR A PERIMETER BANK SHOULD BE CONSTRUCTED TO DIRECT SURFACE FLOW AWAY FROM THE TRAP. 3. WASH-OFF TO BE DIRECTED TO A SEDIMENT TRAP OR BUFFER ZONE. 4. ONLY PROVIDE ONE CONSTRUCTION EXIT FOR THE SITE UNLESS SITE ACCESS OR TOPOGRAPHY REQUIRE MORE. 5. ENSURE THAT CONTAMINATED VEHICLES CANNOT BYPASS IT WHEN EXITING THE SITE.	1. REMOVAL OF SEDIMENT AND/OR ADDING EXTRA AGGREGATE. 2. REMOVE SEDIMENT TRANSPORTED ONTO ROADWAYS AND APPLY CORRECTIVE MEASURE TO ENSURE NO RE-OCCURENCE. 3. EXTEND THE LENGTH OF THE GRAVEL PAD IF EXCESSIVE SEDIMENT IS STILL BEING TRANSPORTED OFF THE SITE.
ROCK CHECK DAMS - USED TO INTERCEPT CONCENTRATED FLOW.	1. REFER TO DETAIL ON THIS PLAN 2. PROVIDE DOWNSTREAM OF ALL OUTLETS AND AT 50m MAX. ALONG OPEN CHANNELS AND AROUND FIELD INLETS. 3. SHOULD BE EMBEDDED AT LEAST 200mm INTO THE SOIL TO PREVENT WATER FUNNELING BENEATH THEM. 4. ACCESS WILL BE REQUIRED FOR MAINTENANCE.	1. EXCESSIVE SEDIMENT SHOULD BE REMOVED FROM UPSTREAM OF THE DAMS. 2. THE UPSTREAM GRAVEL FILTER LAYER SHOULD BE REESTABLISHED WHEN SEDIMENT BEGINS TO FLOW THROUGH THE STRUCTURE OR WHEN PERMEABILITY IS EXCESSIVELY REDUCED.
SEDIMENT BASINS - USED TO ALLOW PONDING AND SETTLEMENT OF SEDIMENT-LADEN RUN-OFF.	1. BASINS SHOULD BE FREE DRAINING WHEREVER POSSIBLE. 2. OVERLAND FLOW INLETS SHOULD BE STABILISED AND SHOULD NOT CAUSE EROSION DOWN THE BASIN EMBANKMENT. 3. SHOULD BE LOCATED ABOVE THE 5 yr ARI FLOOD LEVEL.	1. SEDIMENT BASINS AND OUTLET STRUCTURES SHOULD BE INSPECTED REGULARLY. 2. SCOURING AND DAMAGE TO THE INLET OR OUTLETS SHOULD BE REPAIRED AND EMBANKMENT VEGETATION MAINTAINED IN A VIGOROUS AND HEALTHY CONDITION. 3. ANY DAMAGE TO THE EMERGENCY SPILLWAY SHOULD PREFERABLY BE REPAIRED WITHIN 24 HOURS. 4. SEDIMENT SHOULD BE REMOVED WHEN THE STORAGE VOLUME IS ACHIEVED.
SEDIMENT FENCES - USED TO TEMPORARILY REDUCE THE VELOCITY OF CONTAMINATED SHEET FLOW AND TO INDUCE GRAVITATIONAL SETTLEMENT OF THE ENTRAINED SEDIMENT.	1. REFER TO DETAIL ON THIS PLAN 2. ALL SEDIMENT FENCES TO BE INSTALLED PARALLEL TO CONTOURS. 3. REGULAR TURN-BACKS AND A FIRM WIRE MESH BACKING ARE REQUIRED TO PREVENT THE FURTHER CONCENTRATION OF FLOW. 4. THE FENCE SHOULD BE SEGMENTED INTO A SERIES OF L SHAPED FENCES TO AVOID THE CONCENTRATION OF FLOW ALONG THE FENCE.	1. REGULAR INSPECTIONS AND MAINTENANCE ARE REQUIRED TO REPAIR DAMAGE CAUSED BY ON-SITE VEHICLES OR THE MOVEMENT OF STOCKPILE MATERIAL. 2. INSPECT AFTER EACH STORM EVENT THAT RESULTS IN RUN-OFF. 3. REMOVE EXCESSIVE SEDIMENT DEPOSITS. 4. INVESTIGATE THE SOURCE OF EXCESSIVE SEDIMENT AND APPLY REMEDIAL ACTIONS IMMEDIATELY. 5. IF THE FENCE IS REGULARLY DAMAGED, INSTALL A SECOND FENCE AT LEAST 1 METRE DOWNSLOPE OF THE EXISTING FENCE.
GULLY INLET PROTECTION - USED TO LIMIT SEDIMENT BUILD UP IN STORMWATER DRAINS.	1. REFER TO DETAIL ON THIS PLAN 2. PROVIDE AT GULLY PITS. 3. PONDING MUST BE ALLOWED TO OCCUR UPSLOPE OF THE TRAP IN ORDER FOR PARTICLE SETTLEMENT.	1. COVERS TO GULLY GRATES TO BE REMOVED ONCE THE FOOTPATH GRASS STRIKE IS SUFFICIENT. 2. REGULAR MAINTENANCE AND INSPECTION AFTER EACH RUN-OFF PRODUCING STORM EVENT. 3. BULK SEDIMENT SHOULD REGULARLY BE REMOVED, THE REMAINING SEDIMENT AND SILT SHOULD NOT BE ALLOWED TO WASH INTO THE STORMWATER DRAIN.
DIVERSION DRAIN/PERIMETER BANKS - USED TO DIVERT FLOW AROUND DISTURBED AREAS OR USED WITHIN DISTURBED AREAS TO DIRECT CONTAINMENT FLOW TO SEDIMENT TRAP.	1. REFER TO DETAIL ON THIS PLAN 2. CHANNELS MUST HAVE A STABLE OUTLET. 3. DRAINS AND BANKS SHOULD BE SEEDING AND MULCHED IF THEIR WORKING LIFE IS EXPECTED TO EXCEED 30 DAYS.	1. REGULARLY INSPECT BANKS AND REPAIR ANY SLUMPS, WHEEL TRACK DAMAGE OR LOSS OF FREEBOARD. 2. SEDIMENT SHOULD BE REMOVED TO AVOID PONDING.

CONSTRUCTION ISSUE	
REV.	DATE
1	01/04/16
2	27/04/16

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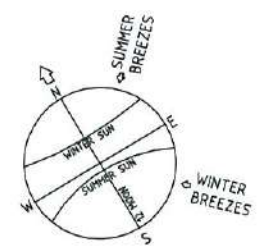
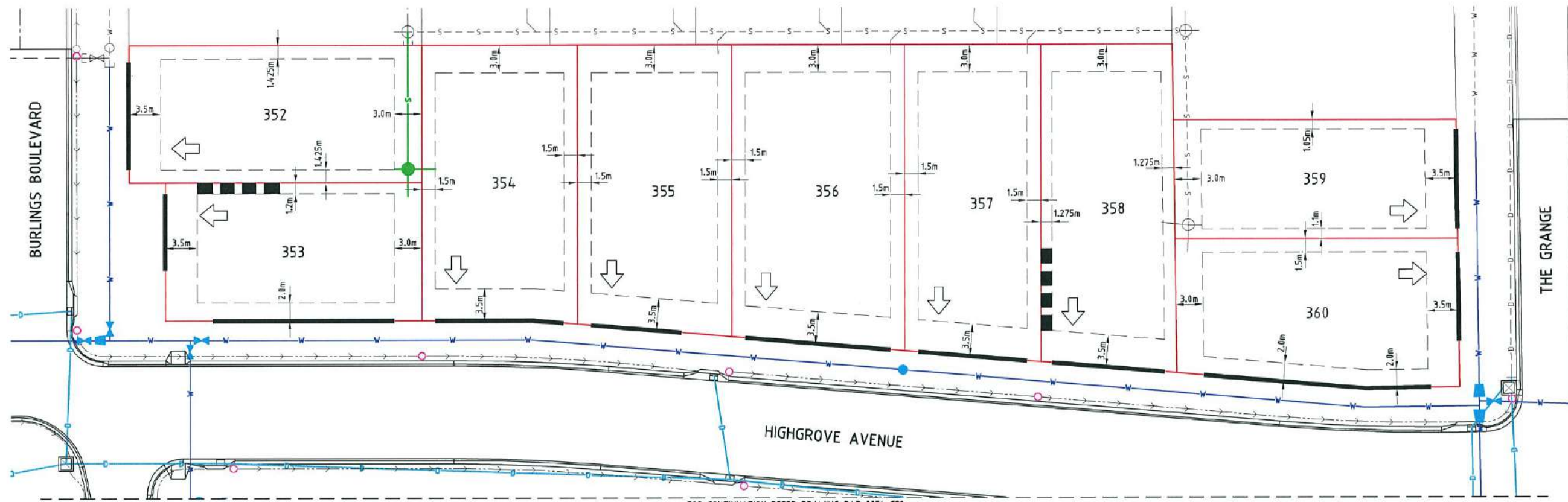
REAL PROPERTY DESCRIPTION: LOT 5000 ON SP280606	
DRAWN: J.THORSEN	DATUM: AHD (DERIVED)
DESIGNED: N.FREEMAN	PSM131673
CHECKED: G.FYSH	RL.11.997
PROJECT MANAGER: P.PETERSEN	DALRYMPLE ROAD
	PROJECT DIRECTOR: D.GIBSON RPEQ 13230

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PARKSIDE DEVELOPMENT PTY LTD			
GREATER ASCOT PRECINCT 3 - STAGE 303			
GREATER ASCOT AVENUE, SHAW			
SESC STRATEGY - DETAILS PLAN			
DRAWING SIZE	SCALE	AS SHOWN	DRAWING No.
A1	XREF	-	PAR-0074-C27
			REV A



FOR CONTINUATION REFER DRAWING PAR-0074-C29

LEGEND

- ALLOWABLE DRIVEWAY ACCESS
- POSSIBLE BUILT TO BOUNDARY WALL MAX 9m LONG AND APPLICABLE TO GARAGE OR CLASS 10A BUILDINGS ONLY WHICH SHALL CONFORM TO THE REQUIREMENTS OF THE QUEENSLAND DEVELOPMENT CODE
- SEWER MAIN & MANHOLE
- WATER MAIN, FIRE HYDRANT & SLUICE VALVE
- POLY WATER MAIN
- STORMWATER, INLET PIT & MANHOLE
- ROOFWATER HOUSE DRAIN
- SUBSOIL DRAIN & CLEANDOUT POINT
- PREFERRED DRIVEWAY LOCATION

BUILDING SETBACK ENVELOPES

- FOR BUILDING SETBACK ENVELOPES REFER THE LATEST BRAZIER AND MOTTI DRAWINGS 26700/000 & 008 FOR DETAILS
- DIMENSIONS SHOWN ARE ADAPTED FROM THE QUEENSLAND DEVELOPMENT CODE (11.03.10) PART MP 1.1 & 1.2. DIMENSIONS SHOWN SHALL APPLY TO CLASS 1 SINGLE STORY STRUCTURES, FOR CLASS 2 TWO STOREY STRUCTURES AND CLASS 10 STRUCTURES REFER TO THE CODE.
- "SETBACK" MEANS A LINE OR LINES PARALLEL TO ANY BOUNDARY OF A LOT BEYOND WHICH THE BUILDING OR OTHER STRUCTURE SHALL NOT ENCRoACH, AND MEASURED AS THE SHORTEST HORIZONTAL DISTANCE FROM THE OUTERMOST PROJECTION OF THE BUILDING OR OTHER STRUCTURE TO THE VERTICAL PROJECTION OF THE LOT BOUNDARY.
- THE BUILDING ENVELOPES ARE TO COMPLY WITH THE DESIGN CODE SHOWN ON THIS PLAN. GREATER SETBACKS MAY BE REQUIRED TO ACCOMMODATE THE ZONE OF INFLUENCE OF UNDERGROUND SERVICES AS STATED IN COUNCIL'S POLICY ON BUILDING OVER OR ADJACENT TO SEWERS.
- DIMENSIONS SHOWN ARE QDC GROUND DWELLING ONLY AND DO NOT ACCOUNT FOR BATTERS OR RETAINING WALLS. A SITE INSPECTION IS REQUIRED PRIOR TO COMMENCEMENT OF DESIGN. REFER DESIGN CODE FOR UPPER FLOOR AND GARAGE SETBACKS.

CORNER SIGHT LINES

- COMPLY WITH SIGHT LINES REQUIREMENT OF THE QUEENSLAND DEVELOPMENT CODE AT INTERSECTIONS OF ROADS, INTERSECTIONS OF LANES AND ROADS ARE EXEMPTED FROM THIS REQUIREMENT.
- THE QUEENSLAND DEVELOPMENT CODE TYPICALLY REQUIRES A 9.0m x 9.0m EXCLUSION ZONE BASED ON BOUNDARIES. FOR 4.5m FOOTPATHS THIS TRANSLATE TO AN 18.0m x 18.0m EXCLUSION ZONE FROM THE EDGE OF THE THROUGH TRAFFIC LANE. THE SIGHT LINE REQUIREMENTS SHOULD BE ASSESSED AS 18.0m x 18.0m FROM THE EDGE OF THE THROUGH LANE FOR SITUATIONS WHERE THE FOOTPATH IS GREATER THAN 4.5m OR WHERE THERE IS A PARKING LANE, CLIPPED LOT OR PARKLAND BETWEEN THE LOT AND ROAD.

DRIVEWAY ACCESS ENVELOPE

- FOR DRIVEWAY ACCESS ENVELOPE ALLOW 0.5m MINIMUM CLEARANCE TO ALL COUNCIL INFRASTRUCTURE, EXCEPT STORMWATER PITS WHICH REQUIRE 0.6m MINIMUM CLEARANCE AND SEWERAGE HOUSE CONNECTIONS WHICH REQUIRE 1.2m MINIMUM CLEARANCE.
- ALL DRIVEWAYS REQUIRE A PERMIT FROM COUNCIL PRIOR TO CONSTRUCTION.

ERGON SUBSTATIONS

- HABITABLE ROOMS REQUIRE A CLEARANCE OF 4m TO ERGON SUBSTATION SITES.

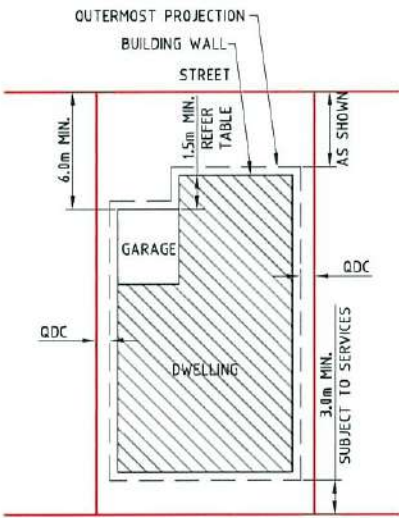
ACOUSTICAL REQUIREMENTS

- DWELLINGS SHALL COMPLY WITH THE PROVISIONS IN THE AECOM "GREATER ASCOT DEVELOPMENT - PRECINCT 3 AND 4 ROAD TRAFFIC, INDUSTRIAL & RECREATION NOISE IMPACT ASSESSMENT - REVISION 4 - 16 DECEMBER 2013" OR ANY APPROVED SUBSEQUENT REPORT.

GENERAL ITEMS

- ALL DIMENSIONS ARE IN METRES UNLESS NOTED OTHERWISE.
- DRIVEWAY SLOPES IN LANES TO BE 12.5% MAXIMUM.

LIGHT POLES & TELSTRA PITS HAVE NOT BEEN SHOWN

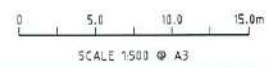


TYPICAL SETBACK REQUIREMENTS NTS

DESIGN CODE - ALL ALLOTMENTS

TYPE	HOUSE, FRONT LOADED	HOUSE, REAR LOADED (LANE ACCESSED LOTS)
LOT ACCESS	FRONT	REAR
LOT DEPTH (MIN)	25m (20m WHERE 15m WIDTH PROPOSED)	25m
LOT WIDTH (MIN)	12.5m	10.5m
SITE COVERAGE	50% MAX	MAY EXCEED 50% IN RESPONSE TO CODE REQUIREMENTS, BUT NO MORE THAN 65% SITE COVERAGE.
SETBACK FRONT GROUND (MIN)	3.5m	3.0m
SETBACK FRONT UPPER (MIN)	3.5m	4.5m
SETBACK FRONT GARAGE	6.0m FROM FRONT OF GARAGE WALL & 1.5m MIN FROM DWELLING. AN ALTERNATIVE TO 1.5m MIN FROM DWELLING MAY BE PERMITTED, SUBJECT TO PARKSIDE APPROVAL AT TIME OF COVENANT APPROVAL.	N/A
SETBACK PRINCIPAL SIDE GROUND (MIN)	QDC	QDC
SETBACK PRINCIPAL SIDE UPPER (MIN)	QDC	QDC
SETBACK ROAD/ROAD CORNER (MIN)	QDC	QDC
SETBACK PRINCIPLE REAR (MIN)	3.0m	3.0m
OUTBUILDING # (CARPORT/GARAGE) WIDTH (MAX FROM OUTSIDE WALL)	N/A	6.2m*
OUTBUILDING # (CARPORT/GARAGE) & RESIDENTIAL OVER OUTBUILDING SETBACK TO LANE	N/A	0-1.0m
OUTBUILDING # (CARPORT/GARAGE) & RESIDENTIAL OVER OUTBUILDING SIDE SETBACK OTHER THAN TO LANE (MIN)	QDC	QDC
OUTBUILDING (SHED) WIDTH (MAX)	LESSER OF 50% OF REAR BOUNDARY OR 9m	N/A
OUTBUILDING (SHED) DEPTH (MAX)	9m	N/A
OUTBUILDING (SHED) REAR SETBACK	0-1.0m	N/A
OUTBUILDING (SHED) SIDE SETBACK	ZERO IF LOT 12.5m WIDE. AS PER PRINCIPAL SETBACK IF LOT >12.5m WIDE	N/A
FLOOR HEIGHT PRINCIPAL (MIN)	400mm	400mm
MAXIMUM STOREYS	2 STOREYS	2 STOREYS
PRIVATE OPEN SPACE (MIN) (MAY BE COVERED)	4m x 4m	4m x 4m
PARKING (MIN)	TWO (2), ONE OF WHICH MUST BE COVERED	TWO (2), ONE OF WHICH MUST BE COVERED

*NOTE: OUTBUILDING (CARPORT/GARAGE) - THE BALANCE OF THE LOT BOUNDARY ADJACENT TO THE OUTBUILDINGS WHERE LOCATED ALONG A ROAD RESERVE INCLUDING LANES) MUST REMAIN OPEN WITH NO ADDITIONAL STRUCTURES PERMITTED ALONG THAT BOUNDARY (EXCLUDING BOUNDARY FENCING WHICH ALLOWS AIRFLOW THROUGH THE BARRIER).
 *NOTE: CLEARANCES TO SEWER LINES AND MANHOLES ARE REQUIRED IN ACCORDANCE WITH COUNCIL POLICY.



CONSTRUCTION ISSUE

REV.	DATE	REVISIONS
A	27/04/16	ISSUED FOR CONSTRUCTION
1	01/04/16	ISSUED FOR OPERATIONAL WORKS APPROVAL

\\UDP\FSY\DATA\JOB DATA\PAR\074\ENG\REF\REV\08\DRAWINGS\PAR-0074-C29.DWG

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REAL PROPERTY DESCRIPTION:
 LOT 5000 ON SP290606

DRAWN: J.THORSEN
 DESIGNED: N.FREEMAN
 CHECKED: G.FYSH
 PROJECT MANAGER: P.PETERSEN

DATUM: AHD (DERIVED)
 PSM131673
 RL.11.997
 DALRYMPLE ROAD

PROJECT DIRECTOR: D.GIBSON RPEQ 13230

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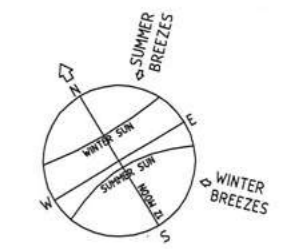
PARKSIDE DEVELOPMENT PTY LTD
 GREATER ASCOT PRECINCT 3 - STAGE 303
 GREATER ASCOT AVENUE, SHAW
 LOT CONSTRAINTS PLAN - SHEET 1 OF 3

DRAWING SIZE: A3
 SCALE: 1:500
 XREF: PAR-0074-XR-DESIGN

DRAWING No. PAR-0074-C28
 REV A

FOR CONTINUATION REFER DRAWING PAR-0074-C28

HIGHGROVE AVENUE



FOR CONTINUATION REFER DRAWING PAR-0074-C30

LEGEND

- ALLOWABLE DRIVEWAY ACCESS
- POSSIBLE BUILT TO BOUNDARY WALL MAX 9m LONG AND APPLICABLE TO GARAGE OR CLASS 10A BUILDINGS ONLY WHICH SHALL CONFORM TO THE REQUIREMENTS OF THE QUEENSLAND DEVELOPMENT CODE
- SEWER MAIN & MANHOLE
- WATER MAIN, FIRE HYDRANT & SLUICE VALVE
- POLY WATER MAIN
- STORMWATER, INLET PIT & MANHOLE
- ROOFWATER HOUSE DRAIN
- SUBSOIL DRAIN & CLEANOUT POINT
- PREFERRED DRIVEWAY LOCATION

BUILDING SETBACK ENVELOPES

- FOR BUILDING SETBACK ENVELOPES REFER THE LATEST BRAZIER AND MOTTI DRAWINGS 26700/080 & 088 FOR DETAILS
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- THE BUILDING ENVELOPES ARE TO COMPLY WITH THE DESIGN CODE SHOWN ON THIS PLAN. GREATER SETBACKS MAY BE REQUIRED TO ACCOMMODATE THE ZONE OF INFLUENCE OF UNDERGROUND SERVICES AS STATED IN COUNCIL'S POLICY ON BUILDING OVER OR ADJACENT TO SEWERS.
- DIMENSIONS SHOWN ARE QDC GROUND DWELLING ONLY AND DO NOT ACCOUNT FOR BATTERS OR RETAINING WALLS. A SITE INSPECTION IS REQUIRED PRIOR TO COMMENCEMENT OF DESIGN. REFER DESIGN CODE FOR UPPER FLOOR AND GARAGE SETBACKS.

CORNER SIGHT LINES

- COMPLY WITH SIGHT LINES REQUIREMENT OF THE QUEENSLAND DEVELOPMENT CODE AT INTERSECTIONS OF ROADS. INTERSECTIONS OF LANES AND ROADS ARE EXEMPTED FROM THIS REQUIREMENT.
- THE QUEENSLAND DEVELOPMENT CODE TYPICALLY REQUIRES A 9.0m x 9.0m EXCLUSION ZONE BASED ON BOUNDARIES. FOR 4.5m FOOTPATHS THIS TRANSLATE TO AN 18.0m x 18.0m EXCLUSION ZONE FROM THE EDGE OF THE THROUGH TRAFFIC LANE. THE SIGHT LINE REQUIREMENTS SHOULD BE ASSESSED AS 18.0m x 18.0m FROM THE EDGE OF THE THROUGH LANE FOR SITUATIONS WHERE THE FOOTPATH IS GREATER THAN 4.5m OR WHERE THERE IS A PARKING LANE, CLIPPED LOT OR PARKLAND BETWEEN THE LOT AND ROAD.

DRIVEWAY ACCESS ENVELOPE

- FOR DRIVEWAY ACCESS ENVELOPE ALLOW 0.5m MINIMUM CLEARANCE TO ALL COUNCIL INFRASTRUCTURE, EXCEPT STORMWATER PITS WHICH REQUIRE 0.6m MINIMUM CLEARANCE AND SEWERAGE HOUSE CONNECTIONS WHICH REQUIRE 1.2m MINIMUM CLEARANCE.
- ALL DRIVEWAYS REQUIRE A PERMIT FROM COUNCIL PRIOR TO CONSTRUCTION.

ERGON SUBSTATIONS

- HABITABLE ROOMS REQUIRE A CLEARANCE OF 4m TO ERGON SUBSTATION SITES.

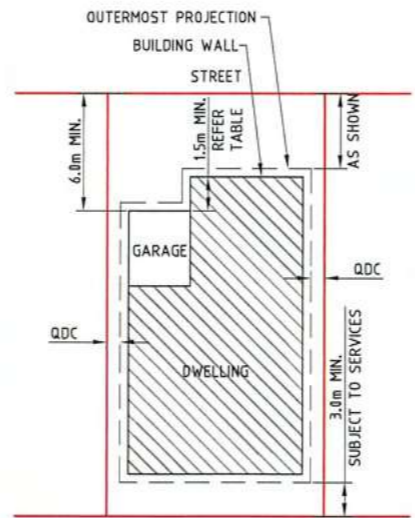
ACOUSTICAL REQUIREMENTS

- DWELLINGS SHALL COMPLY WITH THE PROVISIONS IN THE AECOM "GREATER ASCOT DEVELOPMENT - PRECINCT 3 AND 4 ROAD TRAFFIC, INDUSTRIAL & RECREATION NOISE IMPACT ASSESSMENT - REVISION 4 - 16 DECEMBER 2013" OR ANY APPROVED SUBSEQUENT REPORT.

GENERAL ITEMS

- ALL DIMENSIONS ARE IN METRES UNLESS NOTED OTHERWISE.
- DRIVEWAY SLOPES IN LANES TO BE 12.5% MAXIMUM.

LIGHT POLES & TELSTRA PITS HAVE NOT BEEN SHOWN



TYPICAL SETBACK REQUIREMENTS
NTS

DESIGN CODE - ALL ALLOTMENTS

TYPE	HOUSE, FRONT LOADED	HOUSE, REAR LOADED (LANE ACCESSED LOTS)
LOT ACCESS	FRONT	REAR
LOT DEPTH (MIN)	25m (20m WHERE 15m WIDTH PROPOSED)	25m
LOT WIDTH (MIN)	12.5m	10.5m
SITE COVERAGE	50% MAX	MAY EXCEED 50% IN RESPONSE TO CODE REQUIREMENTS, BUT NO MORE THAN 65% SITE COVERAGE.
SETBACK FRONT GROUND (MIN)	3.5m	3.0m
SETBACK FRONT UPPER (MIN)	3.5m	4.5m
SETBACK FRONT GARAGE	6.0m FROM FRONT OF GARAGE WALL & 1.5m MIN FROM DWELLING. AN ALTERNATIVE TO 1.5m MIN FROM DWELLING MAY BE PERMITTED, SUBJECT TO PARKSIDE APPROVAL AT TIME OF COVENANT APPROVAL.	N/A
SETBACK PRINCIPAL SIDE GROUND (MIN)	QDC	QDC
SETBACK PRINCIPAL SIDE UPPER (MIN)	QDC	QDC
SETBACK ROAD/ROAD CORNER (MIN)	QDC	QDC
SETBACK PRINCIPLE REAR (MIN)	3.0m	3.0m
OUTBUILDING # (CARPORT/GARAGE) WIDTH (MAX FROM OUTSIDE WALL)	N/A	6.2m*
OUTBUILDING # (CARPORT/GARAGE) & RESIDENTIAL OVER OUTBUILDING SETBACK TO LANE	N/A	0-1.0m
OUTBUILDING # (CARPORT/GARAGE) & RESIDENTIAL OVER OUTBUILDING SIDE SETBACK OTHER THAN TO LANE (MIN)	QDC	QDC
OUTBUILDING (SHED) WIDTH (MAX)	LESSER OF 50% OF REAR BOUNDARY OR 9m	N/A
OUTBUILDING (SHED) DEPTH (MAX)	9m	N/A
OUTBUILDING (SHED) REAR SETBACK	0-1.0m	N/A
OUTBUILDING (SHED) SIDE SETBACK	ZERO IF LOT 12.5m WIDE. AS PER PRINCIPAL SETBACK IF LOT >12.5m WIDE	N/A
FLOOR HEIGHT PRINCIPAL (MIN)	400mm	400mm
MAXIMUM STOREYS	2 STOREYS	2 STOREYS
PRIVATE OPEN SPACE (MIN) (MAY BE COVERED)	4mx4m	4mx4m
PARKING (MIN)	TWO (2), ONE OF WHICH MUST BE COVERED	TWO (2), ONE OF WHICH MUST BE COVERED

*NOTE: OUTBUILDING (CARPORT/GARAGE) - THE BALANCE OF THE LOT BOUNDARY ADJACENT TO THE OUTBUILDINGS WHERE LOCATED ALONG A ROAD RESERVE INCLUDING LANES) MUST REMAIN OPEN WITH NO ADDITIONAL STRUCTURES PERMITTED ALONG THAT BOUNDARY (EXCLUDING BOUNDARY FENCING WHICH ALLOWS AIRFLOW THROUGH THE BARRIER).
*NOTE: CLEARANCES TO SEWER LINES AND MANHOLES ARE REQUIRED IN ACCORDANCE WITH COUNCIL POLICY.



CONSTRUCTION ISSUE	
REV.	DATE
B	05/04/17
A	27/04/16
1	01/04/16

JAS-ANZ

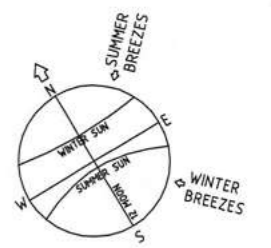
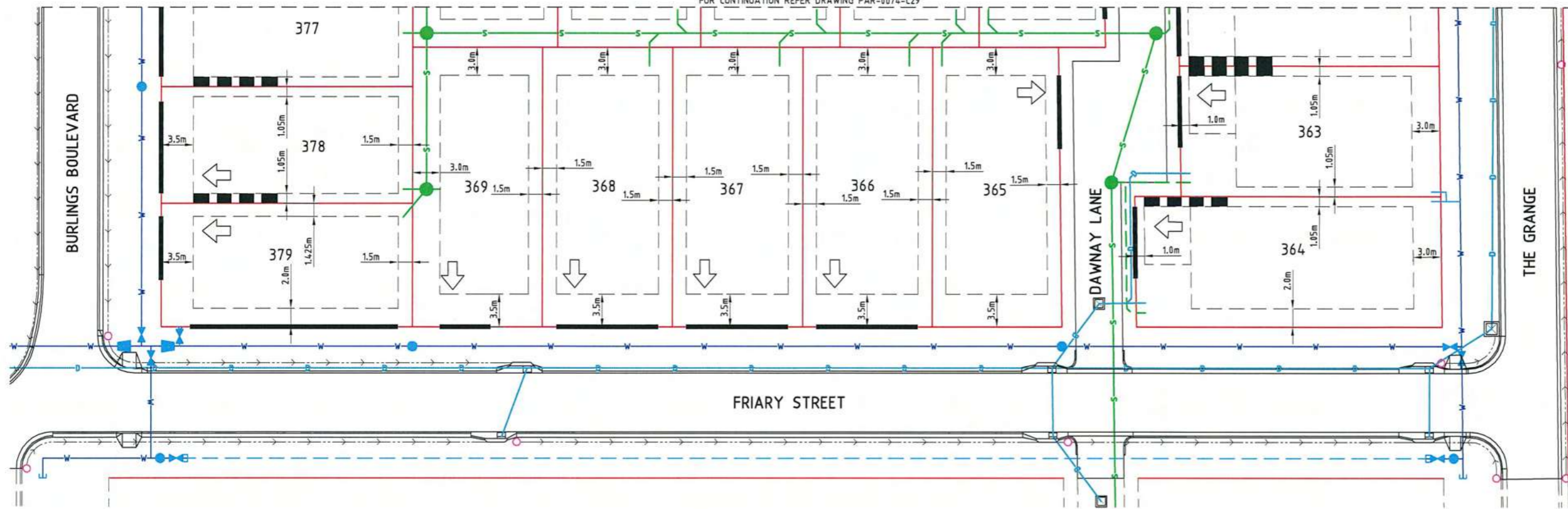
 REAL PROPERTY DESCRIPTION:
 LOT 5000 ON SP289606
 DRAWN: J.THORSEN
 DESIGNED: N.FREEMAN
 CHECKED: G.FYSH
 PROJECT MANAGER: P.PETERSEN

DATUM: AHD (DERIVED)
 PSM131673
 RL.11.997
 DALRYMPLE ROAD
 PROJECT DIRECTOR: D.GIBSON RPEQ 13230

UDP
 Excellence Through Partnerships
 DALGETY PLACE
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 Web: www.udpgroup.com.au

PARKSIDE DEVELOPMENT PTY LTD
 GREATER ASCOT PRECINCT 3 - STAGE 303
 GREATER ASCOT AVENUE, SHAW
 LOT CONSTRAINTS PLAN - SHEET 2 OF 3
 DRAWING SIZE: A3
 SCALE: 1:500
 XREF: PAR-0074-XR-DESIGN
 DRAWING No.: PAR-0074-C29
 REV: B

FOR CONTINUATION REFER DRAWING PAR-0074-C29



LEGEND

- ALLOWABLE DRIVEWAY ACCESS
- POSSIBLE BUILT TO BOUNDARY WALL MAX 9m LONG AND APPLICABLE TO GARAGE OR CLASS 10A BUILDINGS ONLY WHICH SHALL CONFORM TO THE REQUIREMENTS OF THE QUEENSLAND DEVELOPMENT CODE
- SEWER MAIN & MANHOLE
- WATER MAIN, FIRE HYDRANT & SLUICE VALVE
- POLY WATER MAIN
- STORMWATER, INLET PIT & MANHOLE
- ROOFWATER HOUSE DRAIN
- SUBSOIL DRAIN & CLEANOUT POINT
- PREFERRED DRIVEWAY LOCATION

BUILDING SETBACK ENVELOPES

- FOR BUILDING SETBACK ENVELOPES REFER THE LATEST BRAZIER AND MOTTI DRAWINGS 26700/080 & 088 FOR DETAILS
- DIMENSIONS SHOWN ARE ADAPTED FROM THE QUEENSLAND DEVELOPMENT CODE (11.03.10) PART MP 1.1 & 1.2. DIMENSIONS SHOWN SHALL APPLY TO CLASS 1 SINGLE STOREY STRUCTURES, FOR CLASS 2 TWO STOREY STRUCTURES AND CLASS 10 STRUCTURES REFER TO THE CODE.
- "SETBACK" MEANS A LINE OR LINES PARALLEL TO ANY BOUNDARY OF A LOT BEYOND WHICH THE BUILDING OR OTHER STRUCTURE SHALL NOT ENCRATCH, AND MEASURED AS THE SHORTEST HORIZONTAL DISTANCE FROM THE OUTERMOST PROJECTION OF THE BUILDING OR OTHER STRUCTURE TO THE VERTICAL PROJECTION OF THE LOT BOUNDARY.
- THE BUILDING ENVELOPES ARE TO COMPLY WITH THE DESIGN CODE SHOWN ON THIS PLAN. GREATER SETBACKS MAY BE REQUIRED TO ACCOMMODATE THE ZONE OF INFLUENCE OF UNDERGROUND SERVICES AS STATED IN COUNCIL'S POLICY ON BUILDING OVER OR ADJACENT TO SEWERS.
- DIMENSIONS SHOWN ARE QDC GROUND DWELLING ONLY AND DO NOT ACCOUNT FOR BATTERS OR RETAINING WALLS. A SITE INSPECTION IS REQUIRED PRIOR TO COMMENCEMENT OF DESIGN. REFER DESIGN CODE FOR UPPER FLOOR AND GARAGE SETBACKS.

CORNER SIGHT LINES

- COMPLY WITH SIGHT LINES REQUIREMENT OF THE QUEENSLAND DEVELOPMENT CODE AT INTERSECTIONS OF ROADS. INTERSECTIONS OF LANES AND ROADS ARE EXEMPTED FROM THIS REQUIREMENT.
- THE QUEENSLAND DEVELOPMENT CODE TYPICALLY REQUIRES A 9.0m x 9.0m EXCLUSION ZONE BASED ON BOUNDARIES. FOR 4.5m FOOTPATHS THIS TRANSLATE TO AN 18.0m x 18.0m EXCLUSION ZONE FROM THE EDGE OF THE THROUGH TRAFFIC LANE. THE SIGHT LINE REQUIREMENTS SHOULD BE ASSESSED AS 18.0m x 18.0m FROM THE EDGE OF THE THROUGH LANE FOR SITUATIONS WHERE THE FOOTPATH IS GREATER THAN 4.5m OR WHERE THERE IS A PARKING LANE, CLIPPED LOT OR PARKLAND BETWEEN THE LOT AND ROAD.

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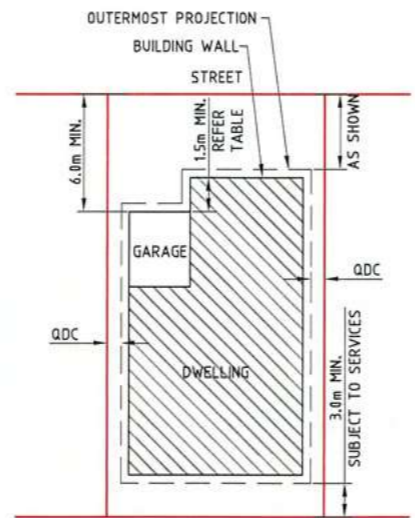
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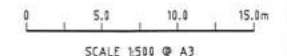


TYPICAL SETBACK REQUIREMENTS NTS

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SETBACK PRINCIPAL SIDE GROUND (MIN)	QDC	QDC
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<p>CONSTRUCTION ISSUE</p>		<p>REAL PROPERTY DESCRIPTION: LOT 5000 ON SP289606</p>	<p>UDP Excellence Through Partnerships</p>	<p>DALGETY PLACE 84 DENHAM STREET PO BOX 1110 TOWNSVILLE QLD 4810</p> <p>Phone: (07) 4772 0666 Fax: (07) 4772 0566 Email: main@udpgroup.com.au Web: www.udpgroup.com.au</p>	<p>PARKSIDE DEVELOPMENT PTY LTD</p> <p>GREATER ASCOT PRECINCT 3 - STAGE 303 GREATER ASCOT AVENUE, SHAW LOT CONSTRAINTS PLAN - SHEET 3 OF 3</p>	
	<p>REV. DATE REVISIONS</p> <p>B 05/04/17 AMENDED SEWER LAYOUT FOR LOTS 369 & 374 TO 379 A 27/04/16 ISSUED FOR CONSTRUCTION 1 01/04/16 ISSUED FOR OPERATIONAL WORKS APPROVAL</p>	<p>This drawing is produced and remains the property of UDP Group Pty Ltd and related entities. UDP Group Pty Ltd and related entities shall not accept any responsibility or liability to any third party as a result of the content contained on this drawing. Figured dimensions must be used in preference to scaled dimensions. All dimensions to be verified before commencing any work.</p>			<p>DRAWN: J.THORSEN</p> <p>DESIGNED: N.FREEMAN</p> <p>CHECKED: G.FYSH</p> <p>PROJECT MANAGER: P.PETERSEN</p>	<p>DATUM: AHD (DERIVED) PSM131673 RL.11.997 DALRYMPLE ROAD</p> <p>PROJECT DIRECTOR: D.GIBSON RPEQ 13230</p>