





PROPOSED RECONFIGURATION

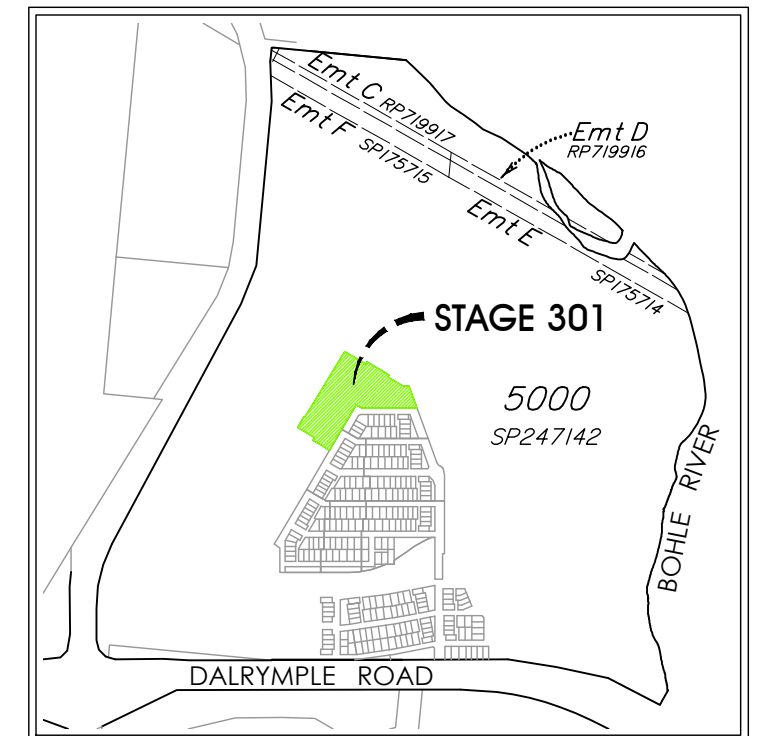
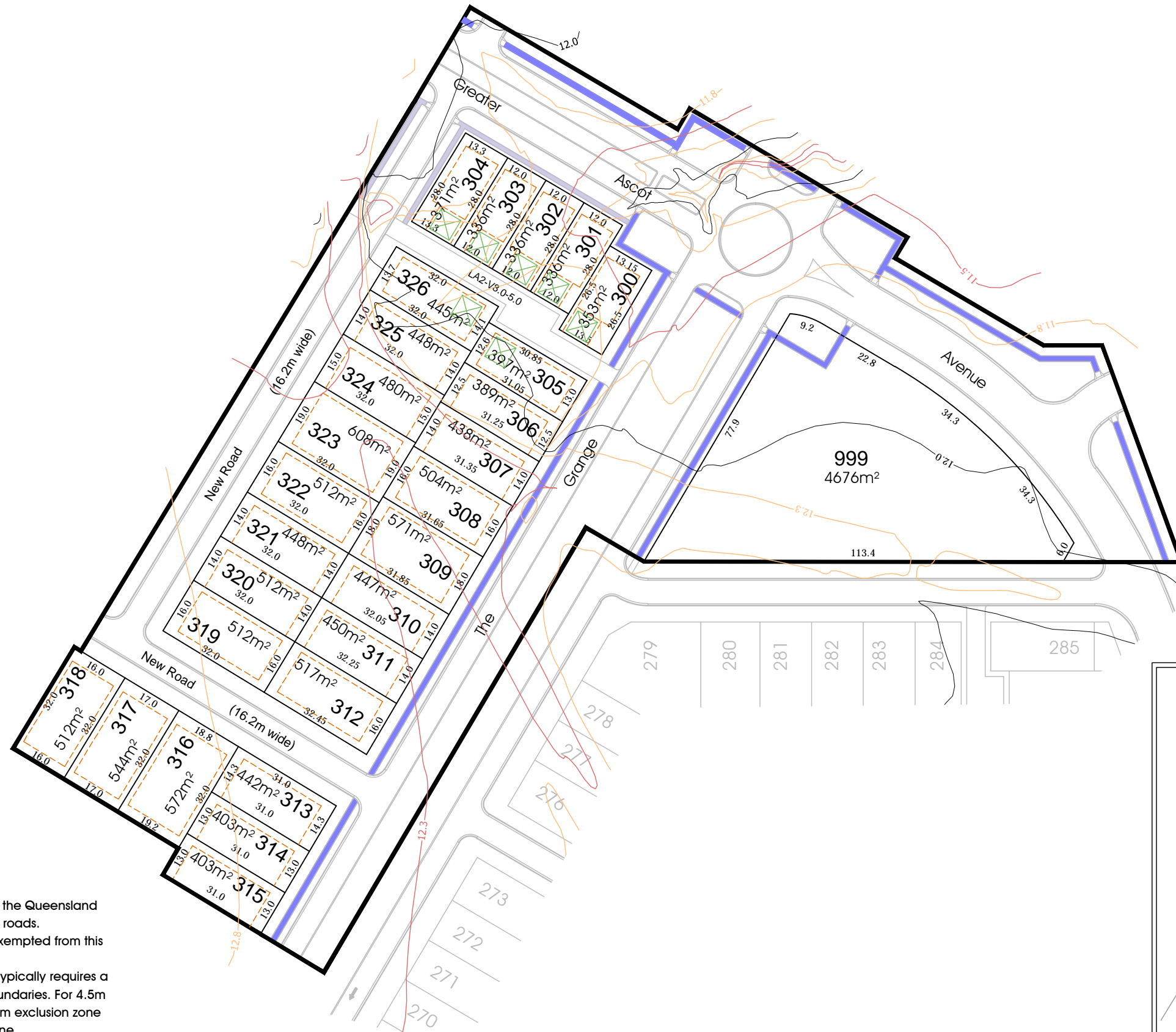
Lots 300-326 & 999
Cancelling Lots 5000 on SP247142

Parish of Bohle
County of Elphinstone
City of Townsville

STAGE 301

Total Site Area 3.45 ha
Area of Open Space 4676m²
Average Lot Area 455m²
Total Length of New Road 800m

-  1.2m path
-  1.5m path
-  1.0m contour
-  0.5m contour



LOCALITY 1:20,000

Notes

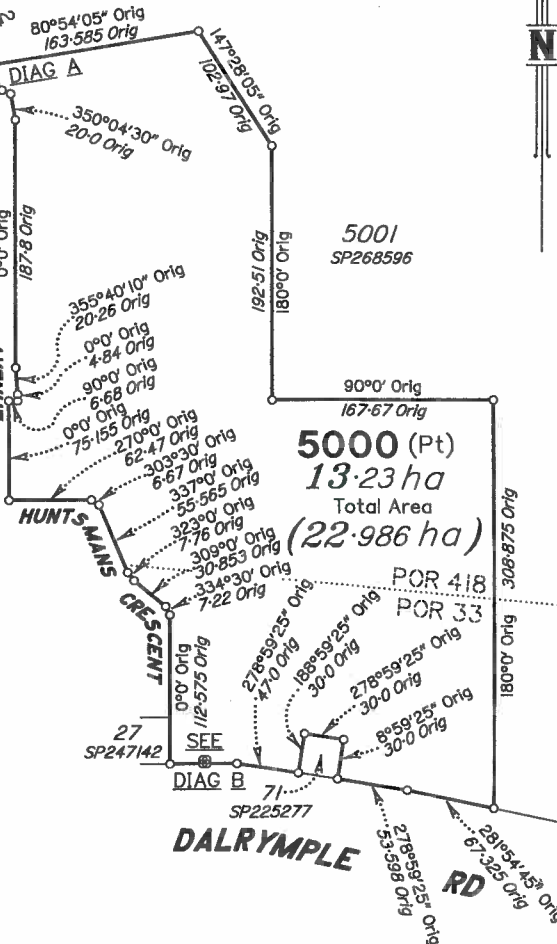
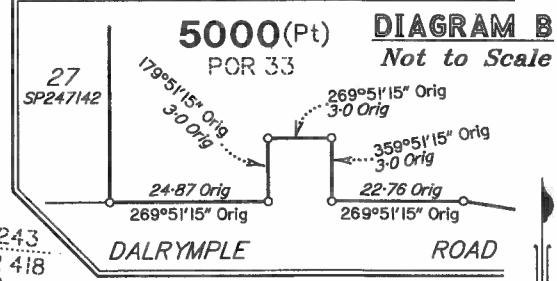
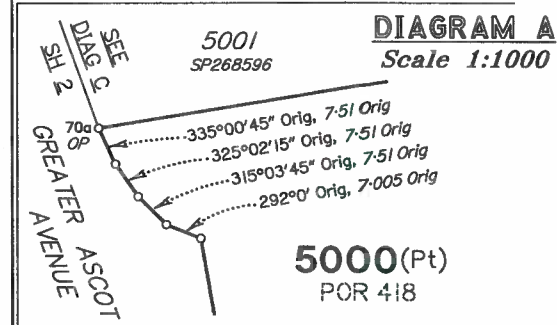
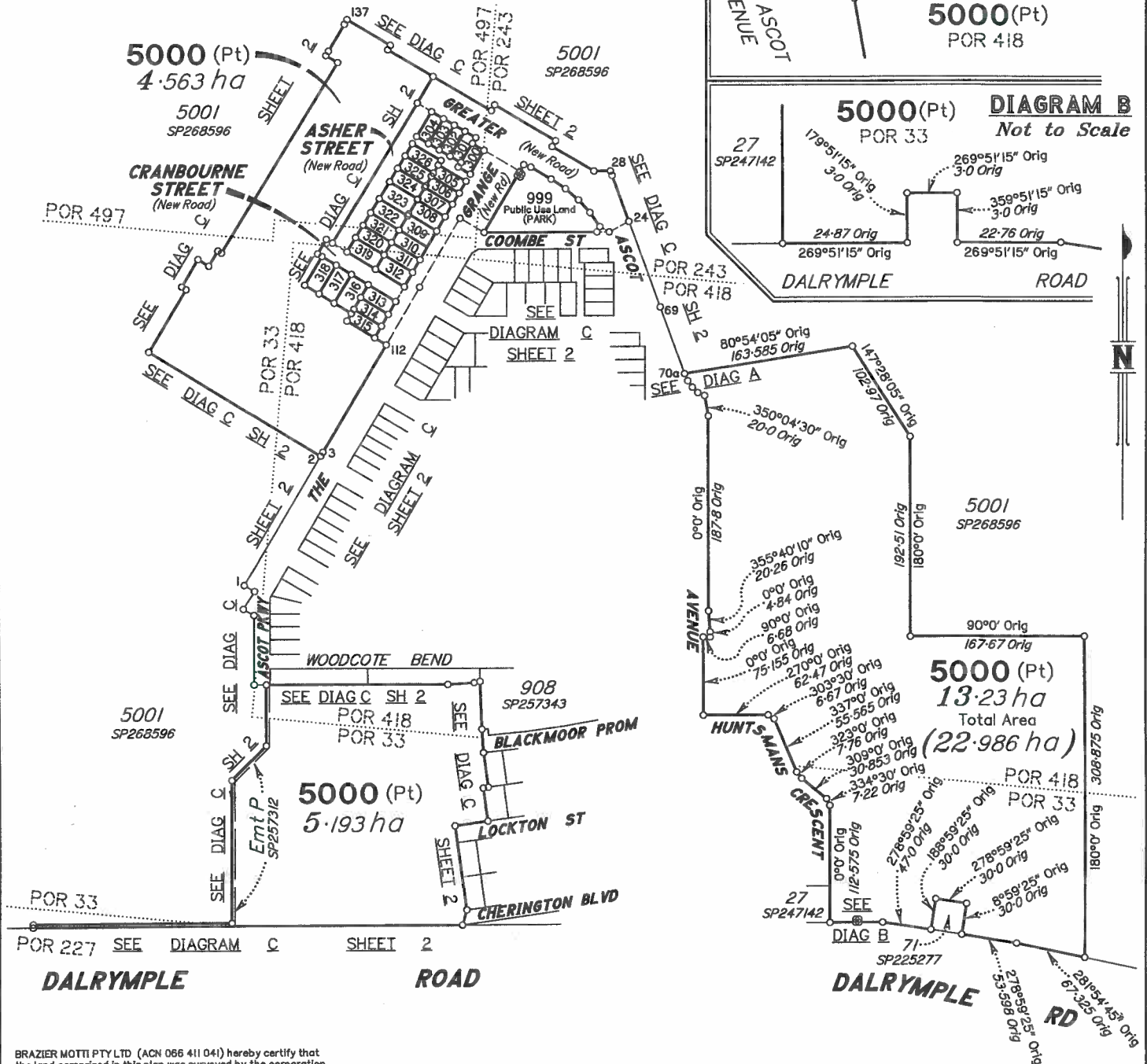
Corner Sight Lines:
Comply with sight lines requirement of the Queensland Development Code at intersections of roads.
Intersections of lanes and roads are exempted from this requirement.
The Queensland Development Code typically requires a 9m x 9m exclusion zone based on boundaries. For 4.5m footpaths this translate to an 18m x 18m exclusion zone from the edge of the through traffic lane.
The sight line requirements should be assessed as 18m x 18m from the edge of the through lane for situations where the footpath is greater than 4.5m or where there is a parking lane, clipped lot or parkland between the lot and road.

Area of New Road

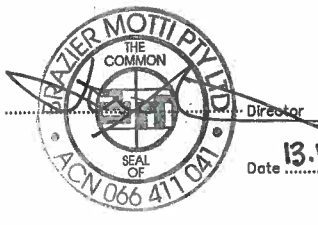
- GREATER ASCOT AVENUE**
(127-130-131-132-133-134-28-28a-24-25-25a-104-103-102-101-100-105-129-128-126-127) **7834 m²**
- THE GRANGE**
(112-111-110-109-108-107-106-105-100-100a-100b-100c-100d-26-27-4-112).... **4559 m²**
- ASHER STREET**
(126-128-124-123-122-119-118-126).... **2553 m²**
- CRANBOURNE STREET**
(118-119-121-109-110-120-116-117-118).... **1420 m²**
- GUARDS LANE**
(124-125-106-107-135-123-124) **589 m²**
- Total Area 1.6955ha**

Original information compiled from SP270782 in the Department of Natural Resources and Mines.
Peg placed at all new corners, unless otherwise stated.
Lot 999 is for Public Use Land (PARK)

For Traverse Tabulation See Sheet 7
For Permanent Mark Tabulation See Sheet 7
For Reference Mark Tabulation See Sheet 7
For MGA Coordinates Tabulation See Sheet 7



BRAZIER MOTTI PTY LTD (ACN 066 411 041) hereby certify that the land comprised in this plan was surveyed by the corporation, by Fraser Scott WALKER, Cadastral Surveyor, for whose work the corporation accepts responsibility, and that the plan is accurate, that the said survey was performed in accordance with the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the said survey was completed on 11th January 2016.



Date 13.1.2016

0m 200m 400m 600m
50mm 100mm 150mm State copyright reserved.

Plan of Lots 300-326, 999 & 5000

Cancelling 5000 on SP270782

LOCAL TOWNSVILLE CITY GOVERNMENT: COUNCIL LOCALITY: SHAW

Meridian: MGA (Zone 55) Vide CORS Survey Records: No

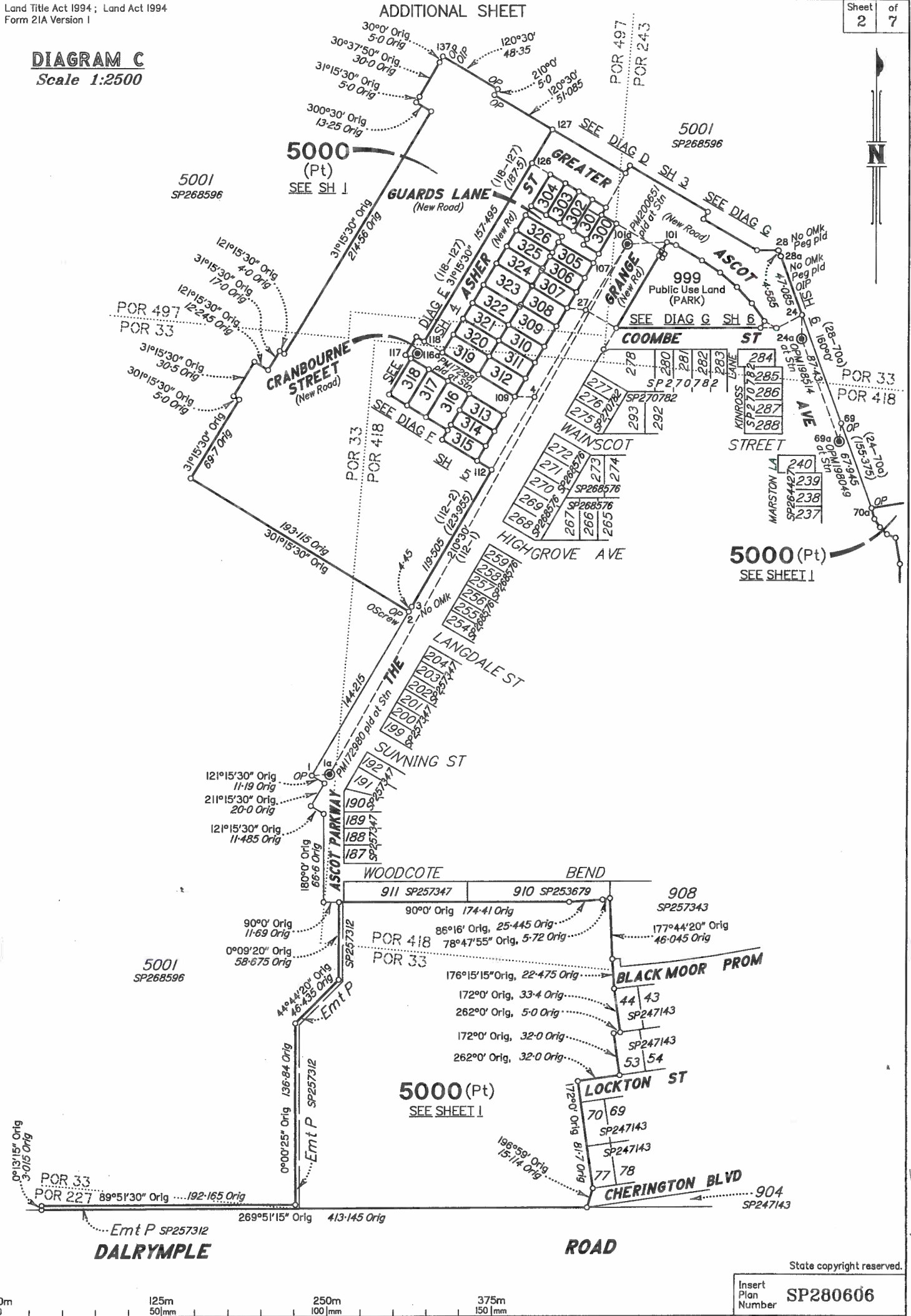
Scale: 1:4000
Format: STANDARD

SP280606

26700/142 SEM

DIAGRAM C
Scale 1:2500

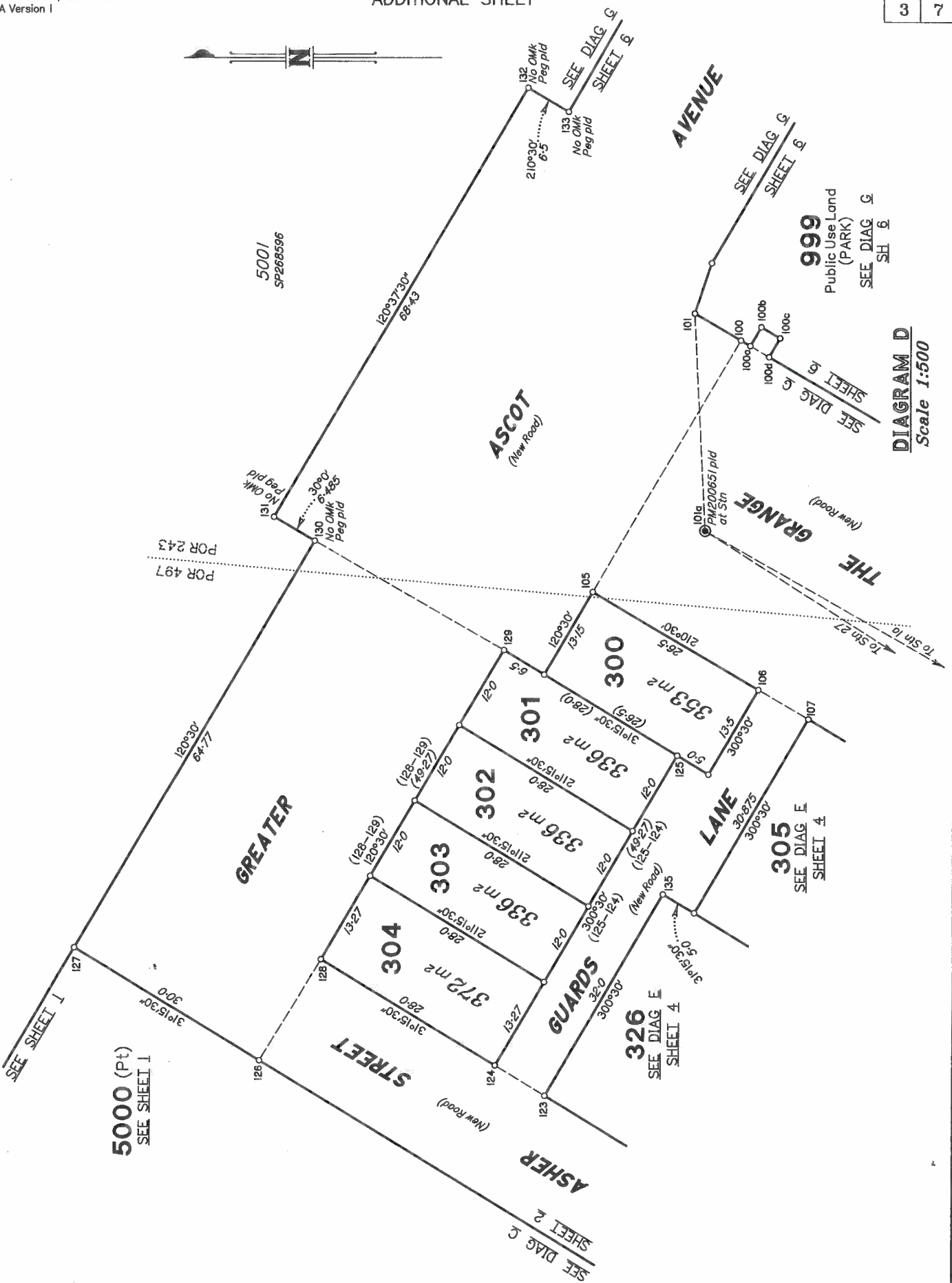
ADDITIONAL SHEET



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Insert Plan Number **SP280606**

26700 / 142 SEM



999
Public Use Land
(PARK)
SEE DIAG G
SH 6

DIAGRAM D
Scale 1:500

5000 (Pt)
SEE SHEET I

SEE SHEET I

SEE DIAG C
SHEET 2

SEE DIAG E
SHEET 4

SEE DIAG E
SHEET 4

SEE DIAG E
SHEET 4

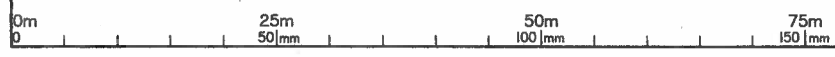
SEE DIAG G
SHEET 6

SEE DIAG G
SHEET 6

SEE DIAG G
SHEET 6

POR 497
POR 243

To Stn 10
To Stn 27



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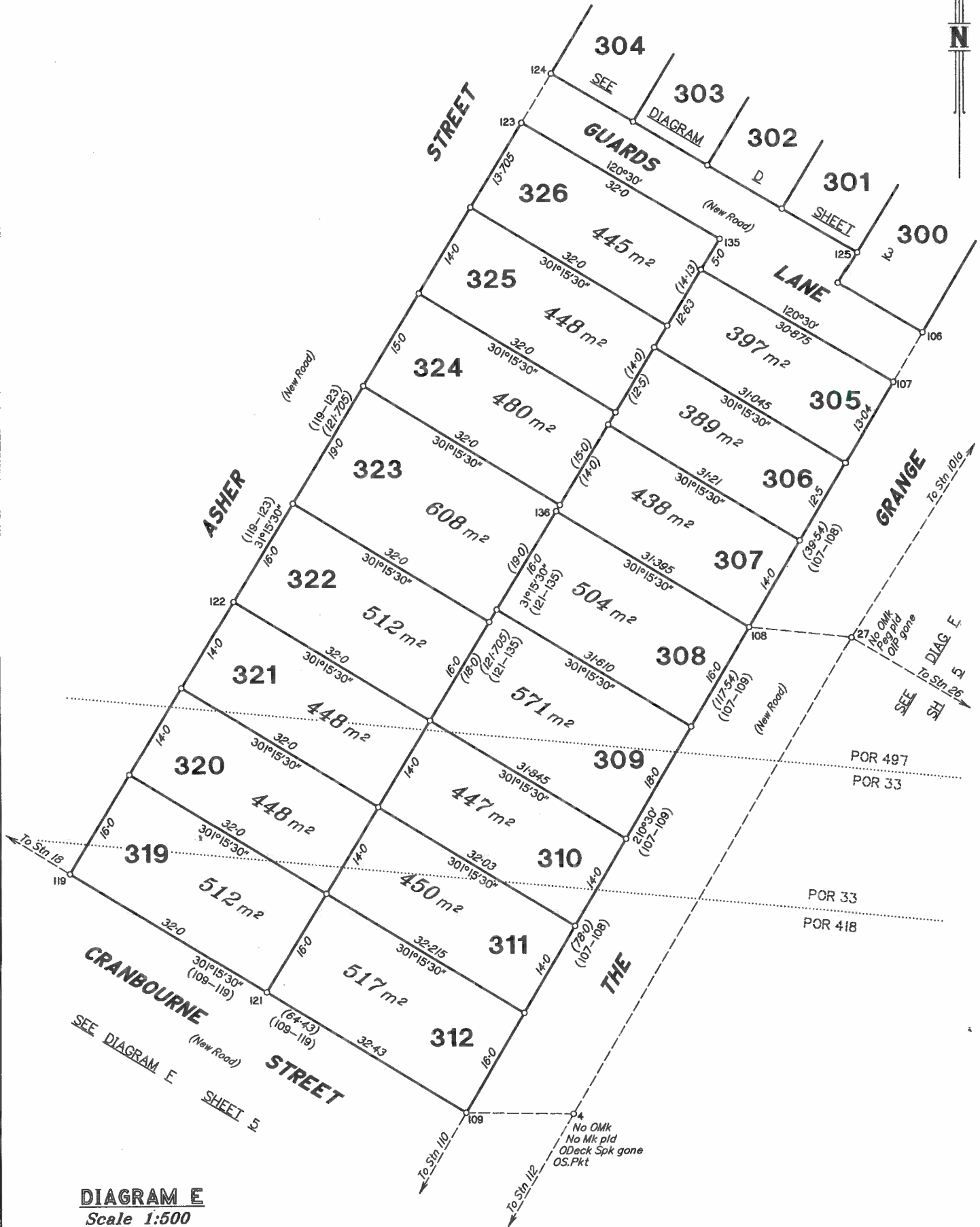
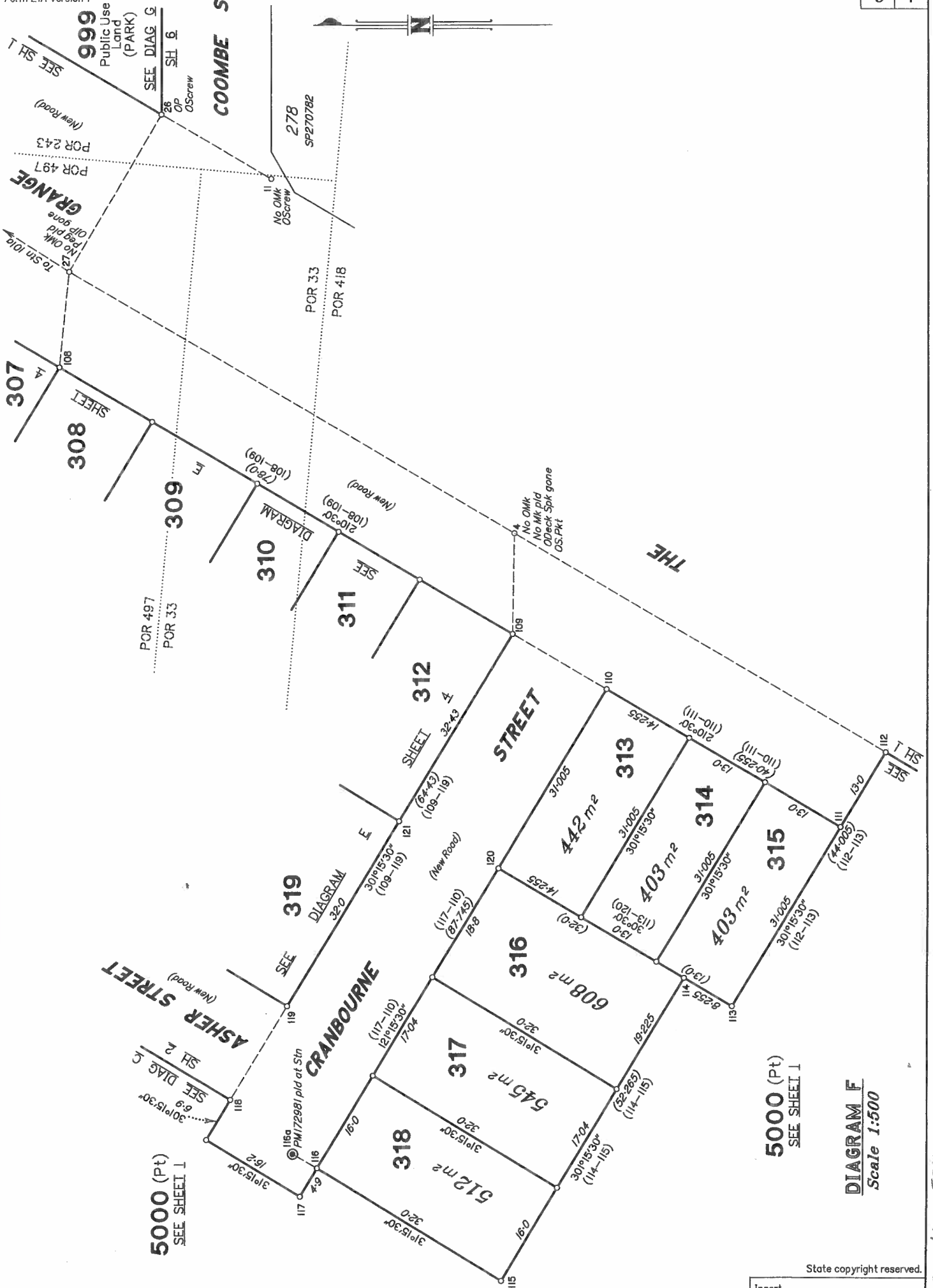


DIAGRAM E
Scale 1:500



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Insert Plan Number **SP280606**

26700/142 500



999
Public Use
Land
(PARK)
SEE DIAG G
SH 6
OS: screw

COOMBE ST

POR 33
POR 418

278
SP270782

SEE SH 1
GRANGE
To Sm 109
No OMK
pctid
Off gone

No OMK
OS: screw

307
SH 4A
308
SHEET

POR 497
POR 33

309
DIAGRAM
(108-109)
(108-109)
(New Road)

310
DIAGRAM
(210-30)
(108-109)
(New Road)

SEE
311

312
SHEET 4
(8-2-43)
(108-119)
32-43
New Road

SEE
313
DIAGRAM
(113-120)
30° 15' 30"
31° 005'

STREET

314
DIAGRAM
30° 15' 30"
31° 005'

313
DIAGRAM
30° 15' 30"
31° 005'

314
DIAGRAM
30° 15' 30"
31° 005'

315
DIAGRAM
30° 15' 30"
31° 005'

ASHER STREET
(New Road)

CRANBOURNE ST

5000 (Pt)
SEE SHEET J

SEE
319
DIAGRAM
32° 0'

316
DIAGRAM
30° 15' 30"
31° 005'

317
DIAGRAM
30° 15' 30"
31° 005'

318
DIAGRAM
30° 15' 30"
31° 005'

316
DIAGRAM
30° 15' 30"
31° 005'

317
DIAGRAM
30° 15' 30"
31° 005'

318
DIAGRAM
30° 15' 30"
31° 005'

319
DIAGRAM
30° 15' 30"
31° 005'

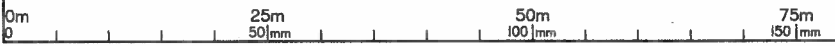
320
DIAGRAM
30° 15' 30"
31° 005'

321
DIAGRAM
30° 15' 30"
31° 005'

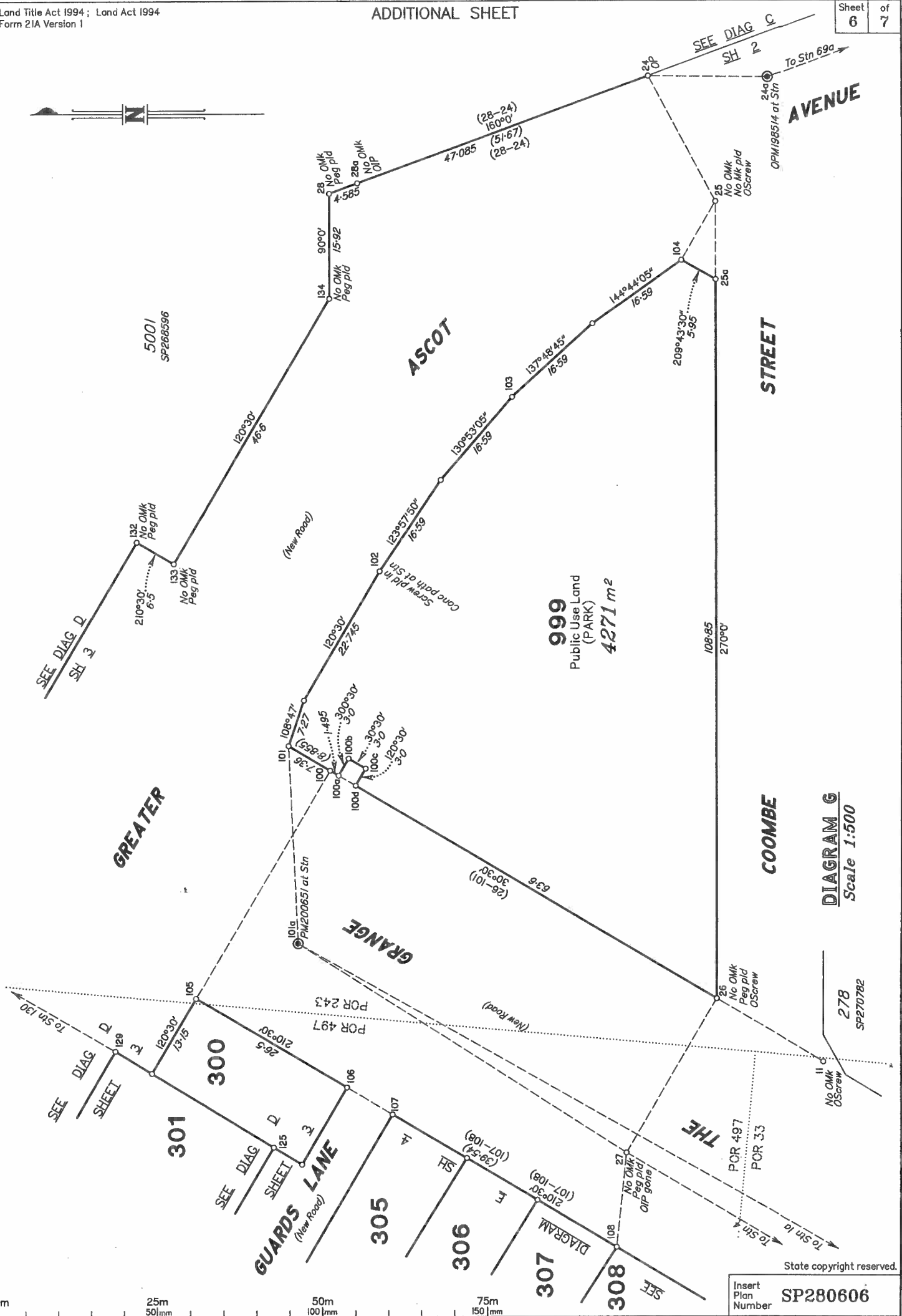
322
DIAGRAM
30° 15' 30"
31° 005'

5000 (Pt)
SEE SHEET J

DIAGRAM F
Scale 1:500



26100/142 SEM



999
Public Use Land
(PARK)
4271 m²

DIAGRAM G
Scale 1:500

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Insert Plan Number SP280606

0m 25m 50m 75m 100m 150m

26700/142 SEM

REFERENCE MARKS

STN	TO	ORIGIN	BEARING	DIST
2	OScrew	53a/SP268596	152°58'50"	24-64
4	ODeck Spk gone	4/SP268576	149°06'10"	15-765
4	OS.Pkt	4/SP268576	227°55'30"	58-815
11	OScrew in Kb	11/SP270782	13°50'	6-29
25	OScrew in Kb	25/SP270782	181°50'40"	3-935
26	OScrew in Kb	26/SP270782	220°24'	5-22
27	OIP gone	27/SP270782	220°36'	1-385
28	Screw in Kb		221°36'	19-945
28a	OIP	4/SP257312	115°53'30"	11-823
101	Screw in Kb		318°46'	6-585
105	Screw in Kb		67°52'	10-205
107	Screw in Kb		117°49'	6-305
109	Screw in Kb		150°53'	6-375
110	Screw in Kb		86°12'	6-19
112	Screw in Conc Beam		21°18'	3-41
116	Screw in Kb		93°49'	9-79
118	Screw in Kb		166°28'	4-795
119	Screw in Kb		259°29'	4-835
121	Screw in Kb		213°45'	4-5
124	Screw in Kb		298°03'	4-555
126	I.Pin		45°50'	2-8
127	Screw in Kb		187°02'	6-36
128	Screw in Ramp		356°39'	5-245
131	Screw in Ramp		127°46'40"	18-835
132	Screw in Kb		283°05'35"	22-245
135	Screw in Conc		22°05'30"	5-57
137	S.Pkt (Driven)		348°58'	2-88
137	OIP	5a/SP268596	34°39'10"	5-865

TRAVERSES ETC

LINE	BEARING	DISTANCE
1-1a	97°01'50"	10-245
1a-101a	29°35'10"	463-788
4-27	30°30'	76-585
4-109	270°58'	14-94
4-112	210°30'	64-0
11-26	30°30'	18-8
24-24a	180°42'	18-14
24-25	241°50'55"	21-545
24a-69a	159°48'30"	82-805
25-25a	270°00'	11-83
25-104	300°11'40"	10-275
26-27	300°30'	27-0
27-101a	32°26'25"	59-075
27-108	275°55'45"	14-295
69-69a	186°25'30"	13-785
100-105	300°30'	40-0
100a-100a	30°30'	3-0
101-101a	267°12'40"	29-905
106-107	210°30'	8-0
109-110	210°30'	16-2
116-116a	30°14'	4-165
118-119	121°15'30"	16-2
123-124	31°15'30"	8-0
126-128	120°30'	16-2
129-130	29°55'	30-0

M.G.A. COORDINATES GDA-94

STATION	EASTING	NORTHING	ZONE	P.U.	LINEAGE	METHOD	REMARKS
PM172980	468 588-578	7 867 527.817	55	0-027	Derived	AusPOS	New PM
PM200651	468 817-463	7 867 930-956	55	0-012	Derived	AusPOS	New PM

PERMANENT MARKS

PM	ORIGIN	BEARING	DIST	NO	TYPE
1a-PM		at Station		172980	Brass Plq
24a-OPM	24a/SP270782	at Station		198514	Mini Mk
69a-OPM	69a/SP264427	at Station		198049	Mini Mk
101a-PM		at Station		200651	Mini Mk
116a-PM		at Station		172981	Brass Plq

SURVEY REPORT

This plan excises lots and road from the North western part of the super lot 5000 on SP270782.

MGA meridian was checked by establishing two permanent marks and reducing GNSS observations by Auspos. The long line 1-2-3-4-27 was used to establish the meridian of SP270782.

An OP was found at Stn's 1 and 2 (which also has an OScrew reference), No Omk was found at Stn 3, Stn 4 had no Omk and its deck spike reference had been destroyed. Stn 4 was fixed by the O S.Pkt reference mark. Both the OP and reference mark had been destroyed at Stn 27.

There was no difference between the Auspos Azimuth and those shown on the previous plan SP270782 detectable by the 5" total station used for comparison.

Line 26-25 was fixed by the OScrews at either end, with pegs at Stns 26 & 25a placed using deed reference dimensions. The distance between them being deed.

From Stn 26, Stn 27 was fixed by deed traverse dimensions and a peg placed.

The line 27 to 1 had now been re-established and the inter-station distances were found to be deed and the alignment of line 26-25 agreed with that shown on SP270782.

The most Northern corner of this part of lot 5000 at Stn 137 was fixed by the OP and OIP reference.

Stn 24 at the Eastern end of the Subdivision was fixed by the OP and OPM198514.

Stn 28 was re-established and pegged from deed dimensions via the OIP at Stn 28a.

Line 24 to 28 was found to be deed distance and meridian.

The alignment 137 to 28 was subsequently repegged where required by deed dimensions, the end points being in agreement with SP270782.

All new corner marks were placed as shown.

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Insert Plan Number **SP280606**

26700/142 SEM

**WARNING : Folded or Mutilated Plans will not be accepted.
Plans may be rolled.
Information may not be placed in the outer margins.**

(Dealing No.)

5. Lodged by

(Include address, phone number, reference, and Lodger Code)

1. Certificate of Registered Owners or Lessees.


I/We PARKSIDE DEVELOPMENT PTY LTD
A.C.N. 009 802 233

(Names in full)

* as Registered Owners of this land agree to this plan and dedicate the Public Use Land as shown hereon in accordance with Section 50 of the Land Title Act 1994.

* as Lessees of this land agree to this plan.

Signature of *Registered Owners *Lessees-

[Handwritten Signature]
DIRECTOR
[Handwritten Signature] Director


Existing		Created		
Title Reference	Description	New Lots	Road	Secondary Interests
50983148	Lot 5000 on SP270782	300-326, 999 & 5000	New Rd	

ENCUMBRANCE EASEMENT ALLOCATIONS

Easement	Lots to be Encumbered
715322813 (Emt P on SP257312)	5000

* Rule out whichever is inapplicable

2. Planning Body Approval.

* TOWNSVILLE CITY COUNCIL

hereby approves this plan in accordance with the :

%

SUSTAINABLE PLANNING ACT 2009

Dated this 3rd day of March 2016.

[Handwritten Signature]
DIRECTOR
PLANNING AND DEVELOPMENT

AS DULY AUTHORISED
REPRESENTATIVE OF
TOWNSVILLE CITY COUNCIL

* Insert the name of the Planning Body.

Insert designation of signatory or delegation

% Insert applicable approving legislation.

3. Plans with Community Management Statement :

CMS Number :

Name :

4. References :

Dept File :
Local Govt : RC12/012603
Surveyor : 26700/127-01 SEM
26700_142A 11/15

300
301-308 &
322-326
309, 321
310, 320

311, 319
312-318
999
5000

POR 497 & POR 243

POR 497
POR 497 & POR 33
POR 497, POR 33
& POR 418
POR 33 & POR 418
POR 418
POR 243
POR 33, POR 227,
POR 418 & POR 497

Lots Orig

7. Orig Grant Allocation :

8. Passed & Endorsed :

By : BRAZIER MOTTI PTY LTD
Date : 13/11/16
Signed : *[Handwritten Signature]*
Designation : Liaison Officer

9. Building Format Plans only.

I certify that :

* As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or roads.

* Part of the building shown on this plan encroaches onto adjoining * lots and road

Cadastral Surveyor/Director* Date
* delete words not required

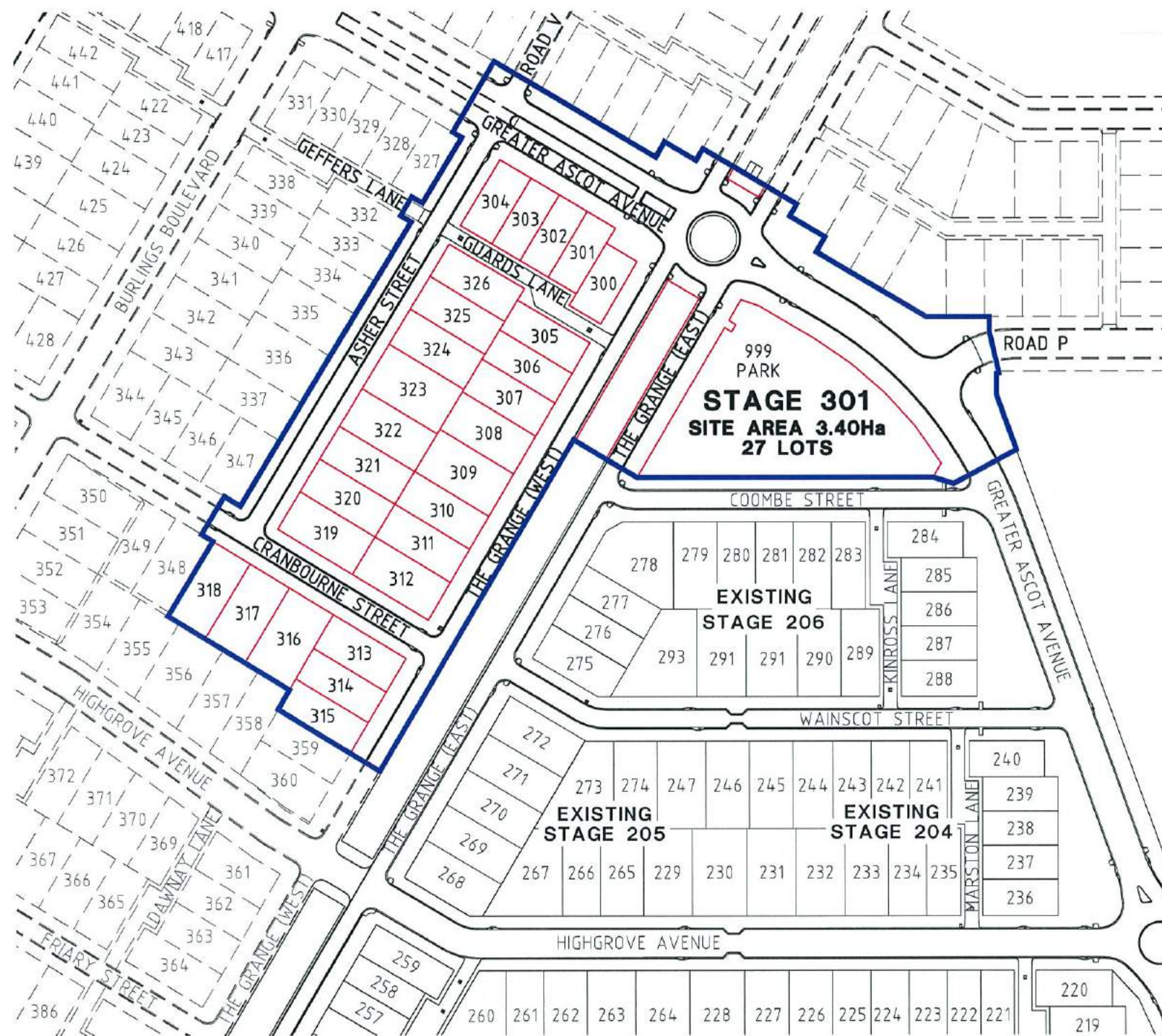
10. Lodgement Fees :

Survey Deposit \$
Lodgement \$
..... New Titles \$
Photocopy \$
Postage \$
TOTAL \$

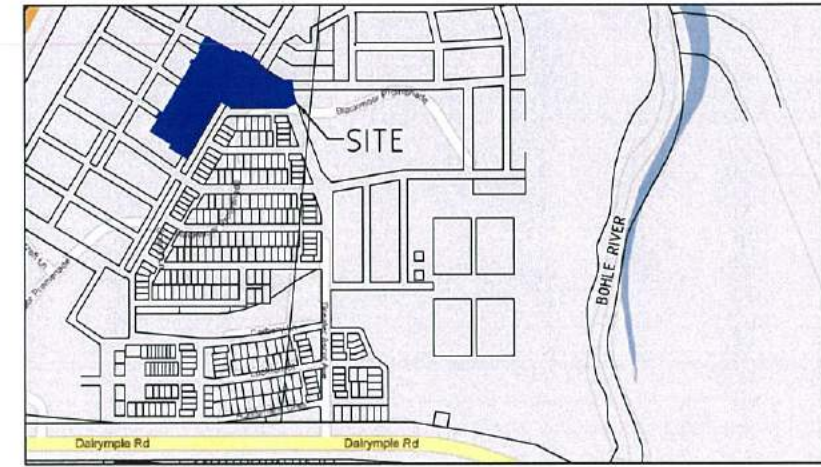
11. Insert Plan Number

SP280606

26700/142 SEM



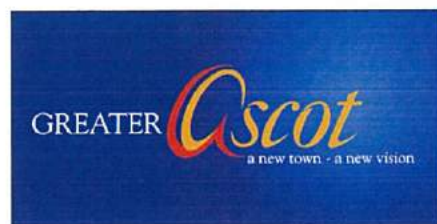
SITE PLAN
SCALE 1:1000



LOCALITY PLAN
NTS

DRAWING SCHEDULE

NO.	NAME
AS-CONSTRUCTED SET DRAWINGS	
PAR072/100	LOCALITY, SITE PLAN & DRAWING SCHEDULE
PAR072/101	EARTHWORKS LAYOUT PLAN - SHEET 1 OF 2
PAR072/102	EARTHWORKS LAYOUT PLAN - SHEET 2 OF 2
PAR072/103	ROADWORKS & STORMWATER DRAINAGE PLAN - SHEET 1 OF 2
PAR072/104	ROADWORKS & STORMWATER DRAINAGE PLAN - SHEET 2 OF 2
PAR072/105	GREATER ASCOT AVENUE LONGITUDINAL SECTION
PAR072/106	GREATER ASCOT AVENUE TYPICAL CROSS SECTIONS
PAR072/107	THE GRANGE (WEST) LONGITUDINAL & CROSS SECTIONS
PAR072/108	THE GRANGE (WEST) CROSS SECTIONS
PAR072/109	THE GRANGE (EAST) LONGITUDINAL & CROSS SECTIONS
PAR072/110	CRANBOURNE STREET LONGITUDINAL & TYPICAL CROSS SECTIONS
PAR072/111	ASHER STREET LONGITUDINAL & TYPICAL CROSS SECTIONS
PAR072/112	ROADWORKS DETAILS PLAN - SHEET 1 OF 2
PAR072/113	ROADWORKS DETAILS PLAN - SHEET 2 OF 2
PAR072/114	CONCRETE DETAILS PLAN
PAR072/115	ROAD LINEMARKING DETAILS PLAN - SHEET 1 OF 3
PAR072/116	ROAD LINEMARKING DETAILS PLAN - SHEET 2 OF 3
PAR072/117	ROAD LINEMARKING DETAILS PLAN - SHEET 3 OF 3
PAR072/118	Q2 STORMWATER LONGITUDINAL SECTIONS - SHEET 1 OF 4
PAR072/119	Q2 STORMWATER LONGITUDINAL SECTIONS - SHEET 2 OF 4
PAR072/120	Q2 STORMWATER LONGITUDINAL SECTIONS - SHEET 3 OF 4
PAR072/121	Q2 STORMWATER LONGITUDINAL SECTIONS - SHEET 4 OF 4
PAR072/122	CULVERT DETAILS PLAN - SHEET 1 OF 3
PAR072/123	CULVERT DETAILS PLAN - SHEET 2 OF 3
PAR072/124	CULVERT DETAILS PLAN - SHEET 3 OF 3
PAR072/125	WATER RETICULATION PLAN - SHEET 1 OF 2
PAR072/126	WATER RETICULATION PLAN - SHEET 2 OF 2
PAR072/127	SEWERAGE RETICULATION PLAN - SHEET 1 OF 2
PAR072/128	SEWERAGE RETICULATION PLAN - SHEET 2 OF 2
PAR072/129	SEWERAGE RISING MAIN LAYOUT & LONGITUDINAL SECTION
PAR072/130	LOT CONSTRAINTS PLAN - SHEET 1 OF 2
PAR072/131	LOT CONSTRAINTS PLAN - SHEET 2 OF 2



Surveyors in Association:
brazier motti
 surveying | town planning | project management | mapping and GIS
 Brazier Motti Pty Ltd (ACN 066 411 041)



AS-CONSTRUCTED ISSUE

brazier motti
 www.braziermotti.com.au
 595 Flinders Street, Townsville
 Phone: 4772 1144 Fax: 4772 2557
 Email: townsville@braziermotti.com.au
 Job No: 26700/128-01

REAL PROPERTY DESCRIPTION:
 LOT 5000 ON SP257312
 DRAWN: M.MOTTI
 DESIGNED: [Signature]
 CHECKED: G.CAMPBELL
 PROJECT MANAGER: P.PETERSEN
 DATUM: AHD (DERIVED)
 PSM131673
 RL.11.997
 DALRYMPLE ROAD
 PROJECT DIRECTOR: D.GIBSON RPEQ 13230

UDP
 Excellence Through Partnerships
 DALGETY PLACE
 84 DENHAM STREET
 PO BOX 1110
 TOWNSVILLE QLD 4810
 Phone: (07) 4772 0666
 Fax: (07) 4772 0666
 Email: main@udpgroup.com.au
 Web: www.udpgroup.com.au

PARKSIDE DEVELOPMENT PTY LTD
 GREATER ASCOT PRECINCT 3 - STAGE 301
 GREATER ASCOT AVENUE, SHAW
 LOCALITY PLAN, SITE PLAN & DRAWING SCHEDULE
 DRAWING No. **PAR072/100**
 SCALE 1:1000
 XREF PAR072-XR-ASC0N
 REV **A**

REV.	DATE	AS CONSTRUCTED ISSUE	REVISIONS
A	20/01/16	AS CONSTRUCTED ISSUE	

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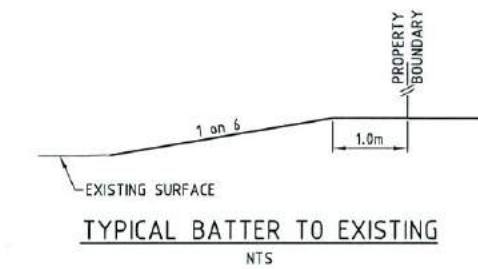


EARTHWORKS LEGEND:

- 6.32* CERTIFIED FINISHED ALLOTMENT LEVEL
- 6.32 DENOTES EXISTING ALLOTMENT LEVEL
- TOP OF BATTER
- BOTTOM OF BATTER
- INVERT OF DRAIN

EARTHWORKS NOTES:

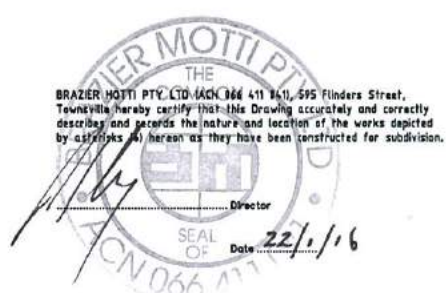
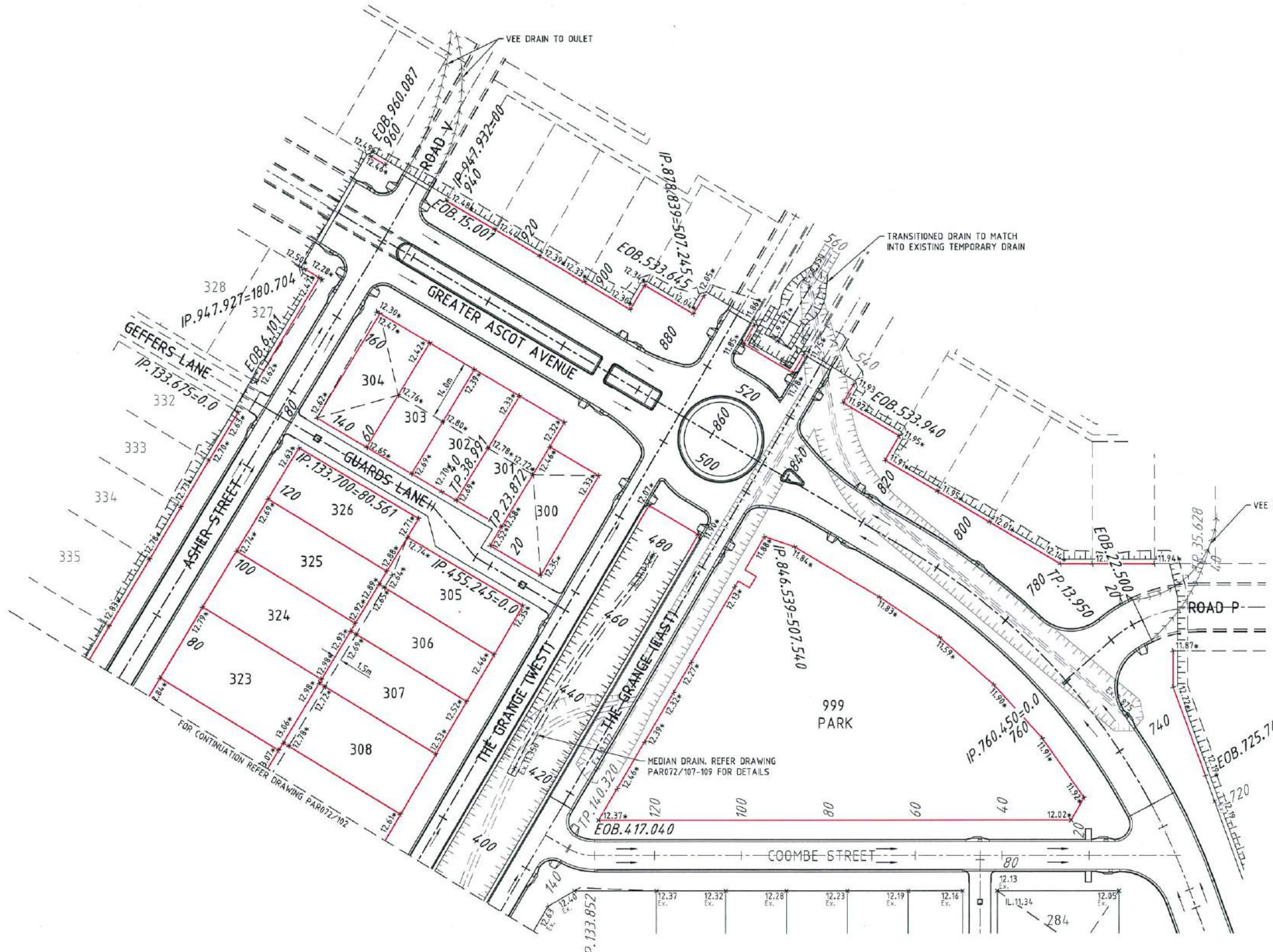
1. ALL EARTHWORKS OPERATIONS UNDERTAKEN IN ACCORDANCE WITH THE PROJECT SPECIFICATION.
2. ALLOTMENTS GRADED EVENLY BETWEEN LEVELS SHOWN. MINIMUM FINISHED ALLOTMENT GRADE 1:200.



Q100 LEVELS

GREATER ASCOT AVENUE		THE GRANGE	
CHAINAGE	LEVEL	CHAINAGE	LEVEL
740	11.95	280	12.51
760	11.91	300	12.46
780	11.91	320	12.40
800	11.91	340	12.37
820	11.91	360	12.25
840	11.86	380	12.18
880	12.17	400	12.10
900	12.25	420	12.03
920	12.31	440	11.94
940	12.39	460	11.65
960	12.47	480	11.04
980	12.50	540	10.84

CRANBOURNE STREET		ASHER STREET	
CHAINAGE	LEVEL	CHAINAGE	LEVEL
20	12.70	20	12.85
40	12.79	40	12.79
60	12.87	60	12.75
80	12.94	80	12.68
100	12.96	100	12.64
		120	12.56
		140	12.48
		160	12.48



AS-CONSTRUCTED ISSUE

REV.	DATE	REVISIONS
A	20/01/16	AS CONSTRUCTED ISSUE

brazier motti
www.braziermotti.com.au
595 Flinders Street, Townsville
Phone: 4772 1144 Fax: 4772 2557
Email: townsville@braziermotti.com.au
Job No: 26700/128-01

REAL PROPERTY DESCRIPTION:
LOT 5000 ON SP257312

DRAWN: M.MOTTI	DATUM: AHD (DERIVED)
DESIGNED:	PSM131673
CHECKED: G.CAMPBELL	RL.11.997
PROJECT MANAGER: P.PETERSEN	DALRYMPLE ROAD
PROJECT DIRECTOR: D.GIBSON RPEQ 13230	

UDP
Excellence Through Partnerships

DALGETY PLACE
84 DENHAM STREET
PO BOX 1110
TOWNSVILLE QLD 4810

Phone: (07) 4772 0668
Fax: (07) 4772 0566
Email: main@udpgroup.com.au
Web: www.udpgroup.com.au

PARKSIDE DEVELOPMENT PTY LTD
GREATER ASCOT PRECINCT 3 - STAGE 301
GREATER ASCOT AVENUE, SHAW
EARTHWORKS LAYOUT PLAN - SHEET 1 OF 2

DRAWING SIZE A1	SCALE 1:500	DRAWING No. PAR072/101	REV A
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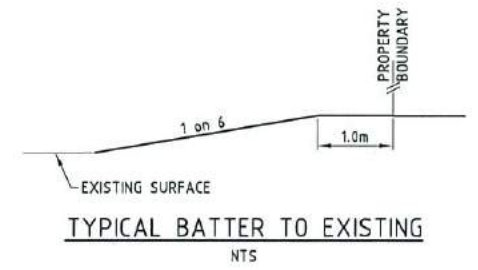
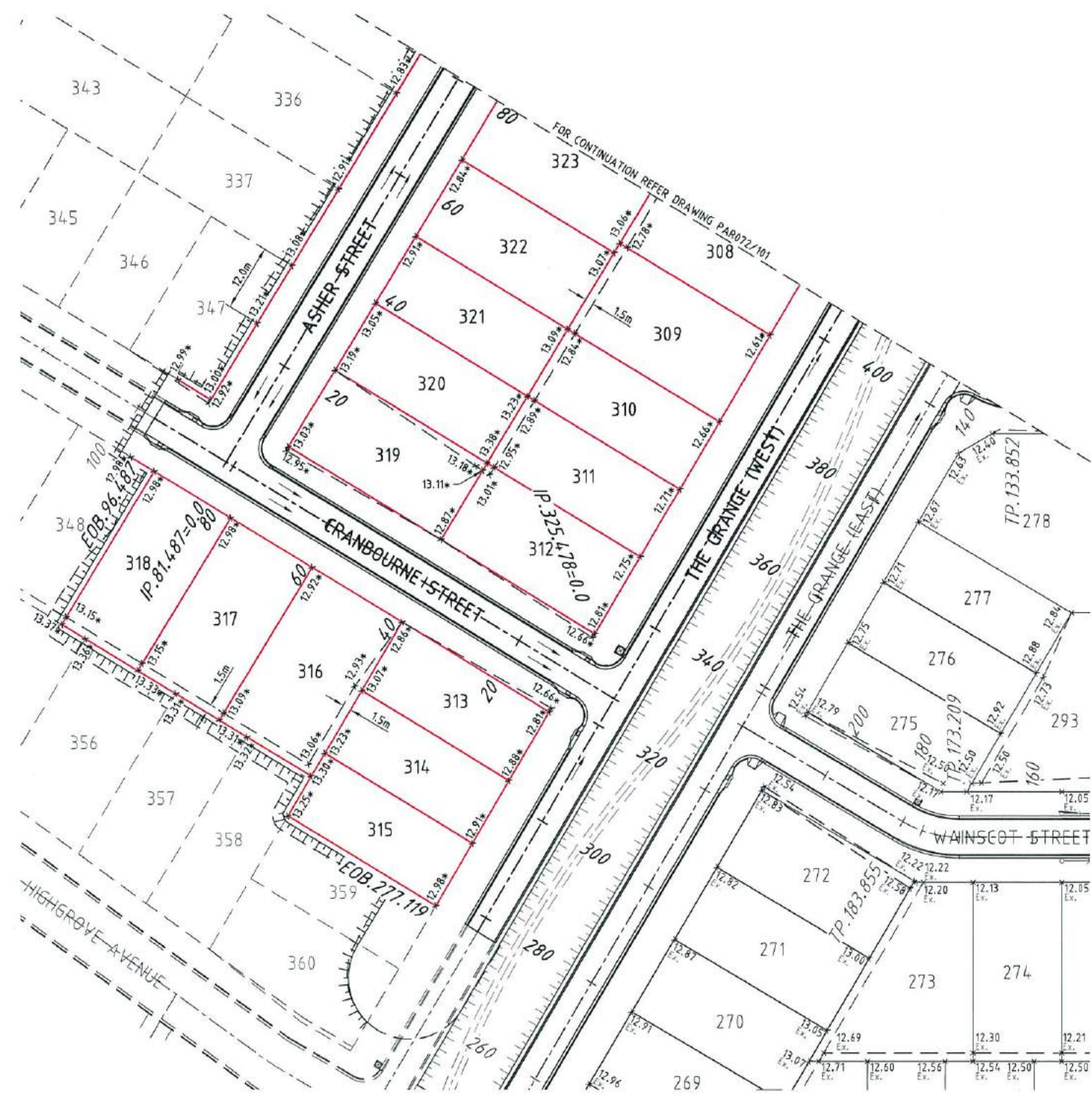


EARTHWORKS LEGEND:

- 6.32* CERTIFIED FINISHED ALLOTMENT LEVEL
- x 6.32 DENOTES EXISTING ALLOTMENT LEVEL
- TOP OF BATTER
- BOTTOM OF BATTER
- INVERT OF DRAIN

EARTHWORKS NOTES:

1. ALL EARTHWORKS OPERATIONS UNDERTAKEN IN ACCORDANCE WITH THE PROJECT SPECIFICATION.
2. ALLOTMENTS GRADED EVENLY BETWEEN LEVELS SHOWN. MINIMUM FINISHED ALLOTMENT GRADE 1:200.



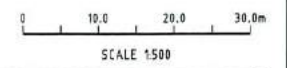
Q100 LEVELS

GREATER ASCOT AVENUE		THE GRANGE	
CHAINAGE	LEVEL	CHAINAGE	LEVEL
740	11.95	280	12.51
760	11.91	300	12.46
780	11.91	320	12.40
800	11.91	340	12.37
820	11.91	360	12.25
840	11.86	380	12.18
880	12.17	400	12.10
900	12.25	420	12.03
920	12.31	440	11.94
940	12.39	460	11.66
960	12.47	480	11.04
980	12.50	540	10.84

CRANBOURNE STREET		ASHER STREET	
CHAINAGE	LEVEL	CHAINAGE	LEVEL
20	12.70	20	12.85
40	12.79	40	12.79
60	12.87	60	12.75
80	12.94	80	12.68
100	12.96	100	12.64
		120	12.56
		140	12.48
		160	12.48

BRAZIER MOTTI PTY LTD (ACN 066 411 041), 595 Flinders Street, Townsville hereby certify that this drawing accurately and correctly describes and records the nature and location of the works depicted by asterisks(*) herein as they have been constructed for subdivision.

Director
Date: 22/1/16



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Phone: 4772 1144 Fax: 4772 2557
Email: townsville@braziermotti.com.au
Job No: 26700/128-01

REAL PROPERTY DESCRIPTION:
LOT 5000 ON SP257312

DRAWN: M.MOTTI
DESIGNED: G.CAMPBELL
CHECKED: G.CAMPBELL
PROJECT MANAGER: P.PETERSEN

DATUM: AHD (DERIVED)
PSM131673
RL.11.997
DALRYMPLE ROAD

PROJECT DIRECTOR: D.GIBSON RPEQ 13230

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DALGETY PLACE
84 DENHAM STREET
PO BOX 1110
TOWNSVILLE QLD 4810

Phone: (07) 4772 0666
Fax: (07) 4772 0566
Email: main@udpgroup.com.au
Web: www.udpgroup.com.au

PARKSIDE DEVELOPMENT PTY LTD
GREATER ASCOT PRECINCT 3 - STAGE 301
GREATER ASCOT AVENUE, SHAW
EARTHWORKS LAYOUT PLAN - SHEET 2 OF 2

DRAWING SIZE: A1
SCALE: 1:500
XREF: PAR072-XR-ASCON

DRAWING No. PAR072/102
REV: A

REV.	DATE	AS CONSTRUCTED ISSUE	REVISIONS
A	20/01/16	AS CONSTRUCTED ISSUE	

G:\1278\128-01\DRAWING\PAR072-102.DWG

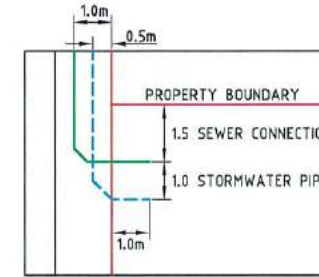
STORMWATER NOTES:

1. ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
2. FOR STORMWATER LEVELS, PIPE LENGTHS, PIPE CLASS AND STRUCTURE TYPES, REFER STORMWATER LONGITUDINAL DRAWINGS.
3. ALL PIPE AND BOX CULVERT CUTS MADE USING A MASONRY SAW.
4. ALL TRENCHES UNDER ROAD PAVEMENT BACKFILLED WITH CRUSHER DUST TO SUBGRADE LEVEL.
5. FOR REVEGETATION DETAILS REFER TO PROJECT SPECIFICATION.
6. REFER DETAIL ON DRAWING PAR072/121 FOR TYPICAL SUBSURFACE DRAINAGE TO STORMWATER MANHOLES.
7. FOR STORMWATER CULVERT DETAILS, REFER DRAWING PAR072/122-124.

ROADWORKS LEGEND:

- LAYBACK KERB & CHANNEL (TYPE L1)
- MEDIAN KERB (TYPE SM1)
- BARRIER KERB & CHANNEL (TYPE B1)
- FLUSH KERB (REFER DETAIL PAR072/113)
- DOUBLE STREET NAME PLATE
- DIRECTION OF KERB & CHANNEL FLOW
- SUBSOIL DRAIN & CLEANOUT POINT
- BOULDER RETAINING WALL, REFER DRAWING PAR072/122.
- 30mm THICK ASPHALT
REFER PAVEMENT DESIGN FOR DETAILS
- 45mm THICK ASPHALT
REFER PAVEMENT DESIGN FOR DETAILS
- 45mm POLYMER MODIFIED ASPHALT SURFACING (DG14)
- CONCRETE PAVEMENT:
FOR PAVEMENT DESIGN REFER CONCRETE DETAILS PLAN DRAWING PAR072/114.
- 1.5m WIDE KERB RAMP
- 1.5m CONCRETE PATH
- 1.2m CONCRETE PATH
- CONCRETE PATHS:
150mm THICK N32 CONCRETE, S182 MESH 50mm TOP COVER
100mm SUB BASE COURSE (DMR TYPE 2.3)
ADOPT DRIVEWAY CONSTRUCTION FOR ENTIRE PATHWAY.

SEWER & STORMWATER TYPICAL SETOUT IN LANEWAY
NTS

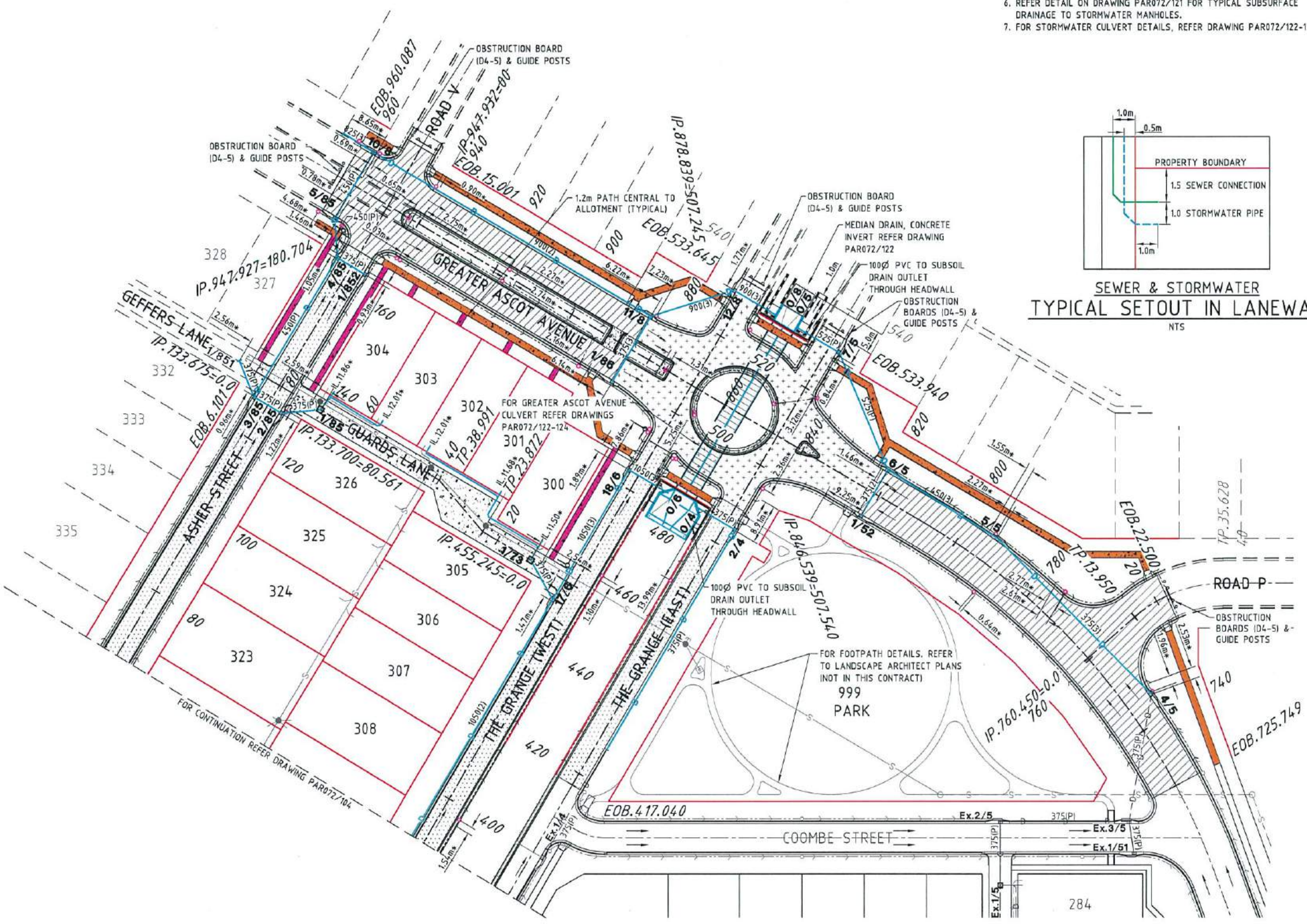


ROADWORKS NOTES:

1. ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
2. FOR ROAD GRADING, LEVELS AND TYPICAL SECTIONS, REFER ROAD LONGITUDINAL/CROSS SECTION AND ROADWORKS DETAILS DRAWINGS.
3. FOR SUBSOIL DRAIN DETAILS, REFER DRAWING PAR072/113.
4. ALL SUBSOIL DRAINS GRADED AT 0.5% FROM HIGH POINT TO OUTLET, UNLESS NOTED OTHERWISE.

STORMWATER LEGEND:

- STORMWATER DRAINAGE LINE
- 3/1 STORMWATER MANHOLE (MANHOLE NO./LINE NO.)
- PROPOSED SEWER MAIN
- EXISTING SEWER MAIN
- DN150 (1 ALLOTMENT) & DN225 (2 ALLOTMENTS) uPVC STORMWATER PIPE & INVERT LEVEL. EXTEND 1.0m INTO ALLOTMENT. OFFSET 1.0m FROM SEWER HOUSE DRAIN GRADE AT 0.5% TO PITS. ALIGNMENT 0.5m FROM PROPERTY BOUNDARY.
- 1/12 KERB INLET PIT (PIT NO./LINE NO.)
- EXISTING STORMWATER DRAINAGE LINE
- Ex.6/1 EXISTING STORMWATER MANHOLE (MANHOLE NO./LINE NO.)
- Ex.1/13 EXISTING KERB INLET PIT (PIT NO./LINE NO.)



SCALE 1:500

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REV.	DATE
A	20/01/16 AS CONSTRUCTED ISSUE
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595 Flinders Street, Townsville
Phone: 4772 1144 Fax: 4772 2557
Email: townsville@braziermotti.com.au
Job No: 26700/128-01

REAL PROPERTY DESCRIPTION:
LOT 5000 ON SP257312

DRAWN: M.MOTTI	DATUM: AHD (DERIVED) PSM131673 RL.11.997
DESIGNED:	DALRYMPLE ROAD
CHECKED: G.CAMPBELL	PROJECT DIRECTOR: D.GIBSON RPEQ 13230
PROJECT MANAGER: P.PETERSEN	

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DALGETY PLACE
84 DENHAM STREET
PO BOX 1110
TOWNSVILLE QLD 4810

Phone: (07) 4772 0666
Fax: (07) 4772 0566
Email: main@udpgroup.com.au
Web: www.udpgroup.com.au

PARKSIDE DEVELOPMENT PTY LTD
GREATER ASCOT PRECINCT 3 - STAGE 301
GREATER ASCOT AVENUE, SHAW
ROADWORKS & STORMWATER DRAINAGE PLAN - SHEET 1 OF 2

DRAWING SIZE A1	SCALE 1:500	DRAWING No. PAR072/103	REV A
XREF PAR072-XR-ASC0N			

STORMWATER NOTES:

1. ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
2. FOR STORMWATER LEVELS, PIPE LENGTHS, PIPE CLASS AND STRUCTURE TYPES, REFER STORMWATER LONGITUDINAL DRAWINGS.
3. ALL PIPE AND BOX CULVERT CUTS MADE USING A MASONRY SAW.
4. ALL TRENCHES UNDER ROAD PAVEMENT BACKFILLED WITH CRUSHER DUST TO SUBGRADE LEVEL.
5. FOR REVEGETATION DETAILS REFER TO PROJECT SPECIFICATION.
6. REFER DETAIL ON DRAWING PAR072/121 FOR TYPICAL SUBSURFACE DRAINAGE TO STORMWATER MANHOLES.
7. FOR STORMWATER CULVERT DETAILS, REFER DRAWING PAR072/122-124.

ROADWORKS LEGEND:

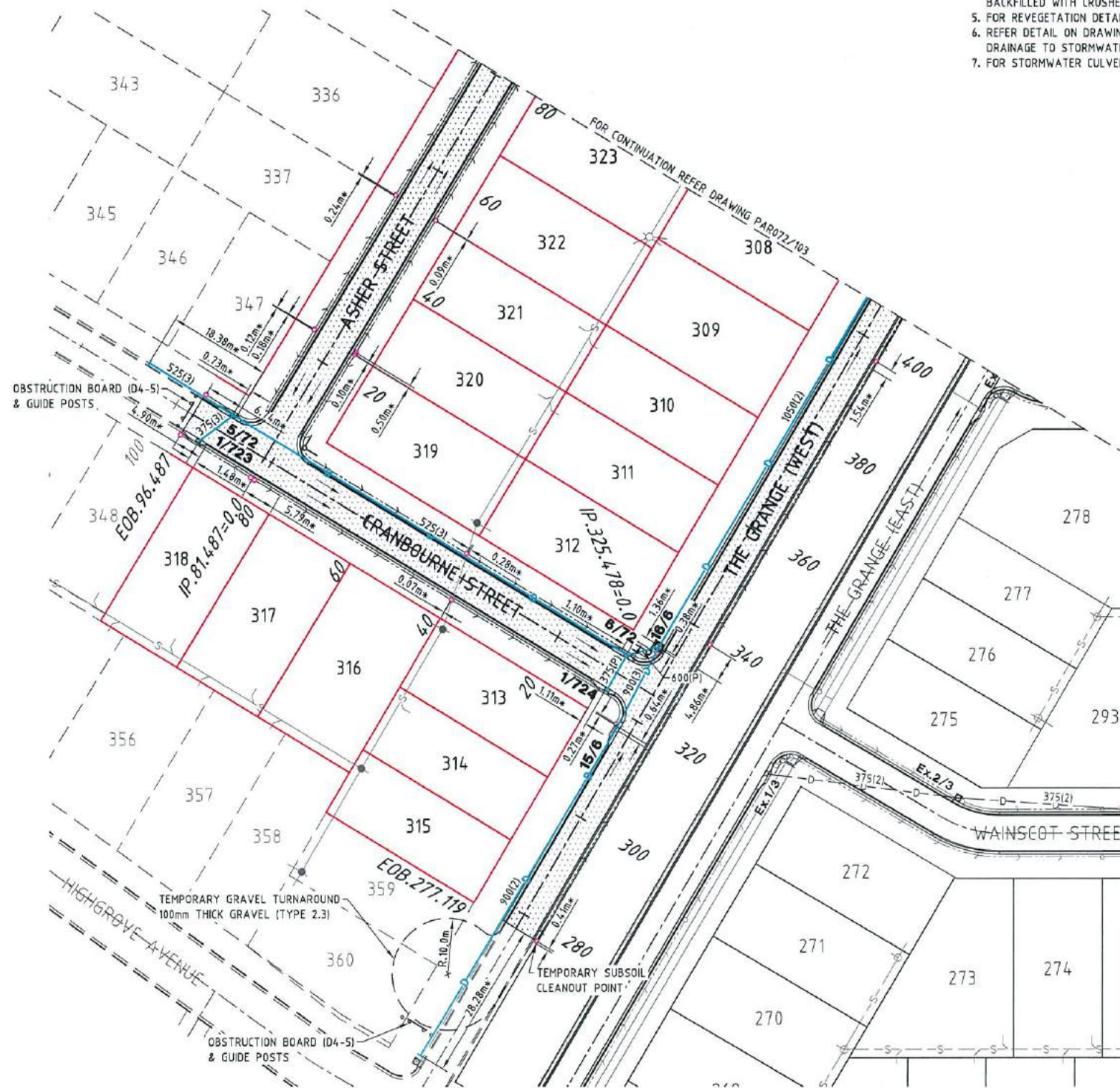
- LAYBACK KERB & CHANNEL (TYPE L1)
- MEDIAN KERB (TYPE SM1)
- BARRIER KERB & CHANNEL (TYPE B1)
- FLUSH KERB (REFER DETAIL PAR072/113)
- DOUBLE STREET NAME PLATE
- DIRECTION OF KERB & CHANNEL FLOW
- SUBSOIL DRAIN & CLEANOUT POINT
- BOULDER RETAINING WALL, REFER DRAWING PAR072/122.
- 30mm THICK ASPHALT
REFER PAVEMENT DESIGN FOR DETAILS
- 45mm THICK ASPHALT
REFER PAVEMENT DESIGN FOR DETAILS
- 45mm POLYMER MODIFIED ASPHALT SURFACING (DG14)
- CONCRETE PAVEMENT:
FOR PAVEMENT DESIGN REFER CONCRETE DETAILS PLAN DRAWING PAR072/114.
- 1.5m WIDE KERB RAMP
- 1.5m CONCRETE PATH
- 1.2m CONCRETE PATH
- CONCRETE PATHS:**
150mm THICK N32 CONCRETE. SL82 MESH 50mm TOP COVER
100mm SUB BASE COURSE (DMR TYPE 2.3)
ADOPT DRIVEWAY CONSTRUCTION FOR ENTIRE PATHWAY.

ROADWORKS NOTES:

1. ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
2. FOR ROAD GRADING, LEVELS AND TYPICAL SECTIONS, REFER ROAD LONGITUDINAL/CROSS SECTION AND ROADWORKS DETAILS DRAWINGS.
3. FOR SUBSOIL DRAIN DETAILS, REFER DRAWING PAR072/113.
4. ALL SUBSOIL DRAINS GRADED AT 0.5% FROM HIGH POINT TO OUTLET, UNLESS NOTED OTHERWISE.

STORMWATER LEGEND:

- STORMWATER DRAINAGE LINE
- STORMWATER MANHOLE (MANHOLE NO./LINE NO.)
- PROPOSED SEWER MAIN
- EXISTING SEWER MAIN
- DN150 (1 ALLOTMENT) & DN225 (2 ALLOTMENTS) uPVC STORMWATER PIPE & INVERT LEVEL. EXTEND 1.0m INTO ALLOTMENT. OFFSET 1.0m FROM SEWER HOUSE DRAIN GRADE AT 0.5% TO PITS. ALIGNMENT 0.5m FROM PROPERTY BOUNDARY.
- KERB INLET PIT (PIT NO./LINE NO.)
- EXISTING STORMWATER DRAINAGE LINE
- EXISTING STORMWATER MANHOLE (MANHOLE NO./LINE NO.)
- EXISTING KERB INLET PIT (PIT NO./LINE NO.)



SCALE 1:500

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595 Flinders Street, Townsville
Phone: 4772 1144 Fax: 4772 2557
Email: townsville@braziermotti.com.au
Job No: 26700/128-01

REAL PROPERTY DESCRIPTION:
LOT 5000 ON SP257312

DRAWN: M.MOTTI
DESIGNED: G.CAMPBELL
CHECKED: P.PETERSEN
PROJECT MANAGER: P.PETERSEN

DATUM: AHD (DERIVED)
PSM131673
RL.11.997
DALRYMPLE ROAD

PROJECT DIRECTOR: D.GIBSON RPEQ 13230

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DALGETY PLACE
84 DENHAM STREET
PO BOX 1110
TOWNSVILLE QLD 4810

Phone: (07) 4772 0666
Fax: (07) 4772 0566
Email: main@udpgroup.com.au
Web: www.udpgroup.com.au

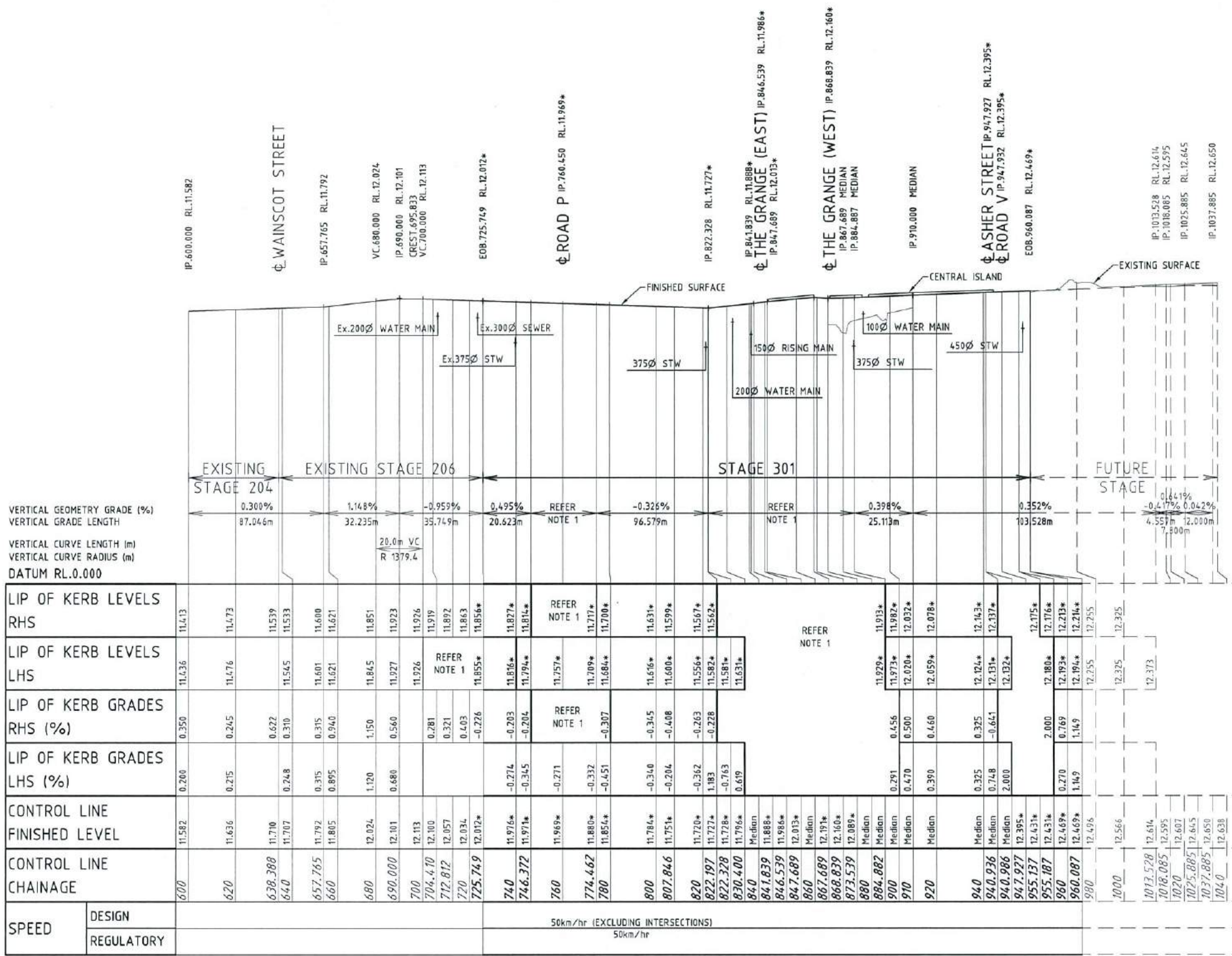
PARKSIDE DEVELOPMENT PTY LTD
GREATER ASCOT PRECINCT 3 - STAGE 301
GREATER ASCOT AVENUE, SHAW
ROADWORKS & STORMWATER DRAINAGE PLAN - SHEET 2 OF 2

DRAWING SIZE: A1
SCALE: 1:500
XREF: PAR072-XR-ASC0N

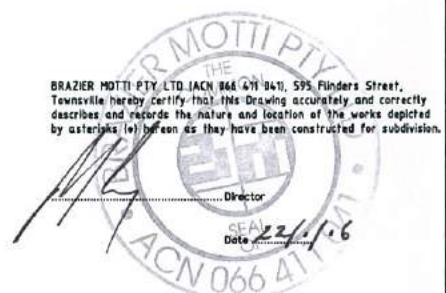
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REV: A

**APPROVED PAVEMENT DESIGN
GREATER ASCOT AVENUE**

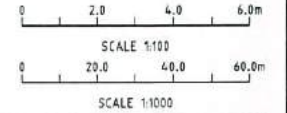
50mm ASPHALT SURFACING (DG14)
150mm BASE COURSE (DMR TYPE 2.1)
410mm SUB BASE COURSE (DMR TYPE 2.3)



GREATER ASCOT AVENUE LONGITUDINAL SECTION
SCALE 1:100 VERTICAL; 1:1000 HORIZONTAL



ROAD LONGITUDINAL SECTION NOTES
1. FOR LEVEL INFORMATION REFER ROADWORKS DETAILS PLAN.



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Phone: 4772 1144 Fax: 4772 2557
Email: townsville@braziermotti.com.au
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PSM131673
RL.11.997
DALRYMPLE ROAD

PROJECT DIRECTOR: D.GIBSON RPED 13230

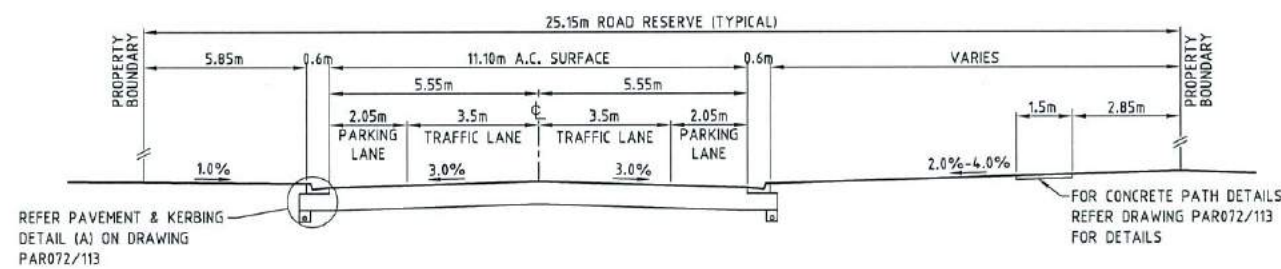
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TOWNSVILLE QLD 4810

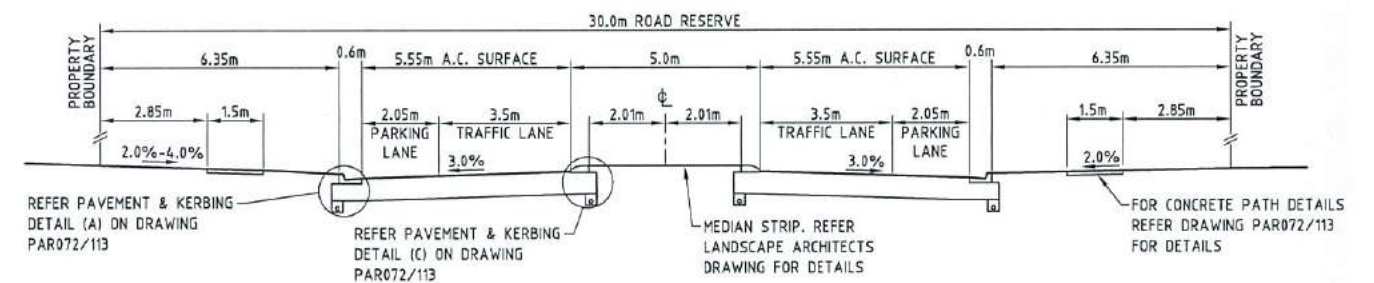
Phone: (07) 4772 0666
Fax: (07) 4772 0666
Email: main@udpgroup.com.au
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PARKSIDE DEVELOPMENT PTY LTD
GREATER ASCOT PRECINCT 3 - STAGE 301
GREATER ASCOT AVENUE, SHAW
GREATER ASCOT AVENUE LONGITUDINAL SECTION

DRAWING SIZE: A1
SCALE: AS SHOWN
DRAWING No: PAR072/105
REV: A



TYPICAL CROSS SECTION - CH.740.000-CH.822.197



TYPICAL CROSS SECTION - CH.884.882-CH.960.087

GREATER ASCOT AVENUE TYPICAL CROSS SECTIONS

SCALE 1:100

BRAZIER MOTTI PTY LTD (ACH 066 411 841), 595 Flinders Street, Townsville hereby certify that this Drawing accurately and correctly describes and records the nature and location of the works depicted by asterisks (*) hereon as they have been constructed for subdivision.



0 2.0 4.0 6.0m
SCALE 1:100

AS-CONSTRUCTED ISSUE



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Phone: 4772 1144 Fax: 4772 2557
Email: townsville@braziermotti.com.au
Job No: 26700/128-01

REAL PROPERTY DESCRIPTION:
LOT 5000 ON SP257312

DRAWN: M.MOTTI
DESIGNED:
CHECKED: G.CAMPBELL
PROJECT MANAGER: P.PETERSEN

DATUM: AHD (DERIVED)
PSM131673
RL.11.997
DALRYMPLE ROAD
PROJECT DIRECTOR: D.GIBSON RPEQ 13230



DALGETY PLACE
84 DENHAM STREET
PO BOX 1110
TOWNSVILLE QLD 4810

Phone: (07) 4772 0666
Fax: (07) 4772 0566
Email: main@udpgroup.com.au
Web: www.udpgroup.com.au

PARKSIDE DEVELOPMENT PTY LTD

GREATER ASCOT PRECINCT 3 - STAGE 301
GREATER ASCOT AVENUE, SHAW
GREATER ASCOT AVENUE TYPICAL CROSS SECTIONS

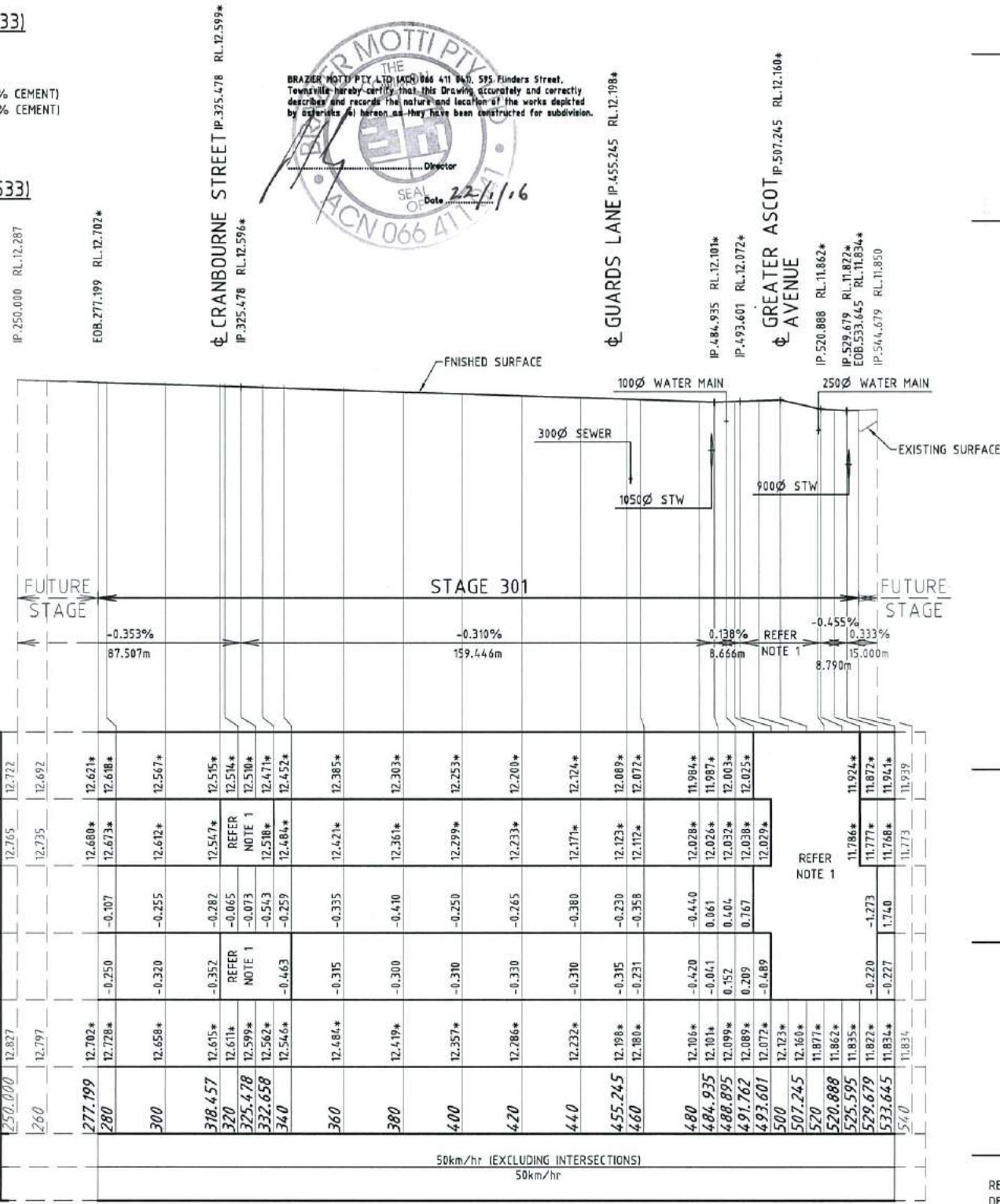
DRAWING SIZE	SCALE	1:100	DRAWING No.	REV
A1	XREF	-	PAR072/106	A

APPROVED PAVEMENT DESIGN
THE GRANGE (WEST) (CH.277-CH.333)

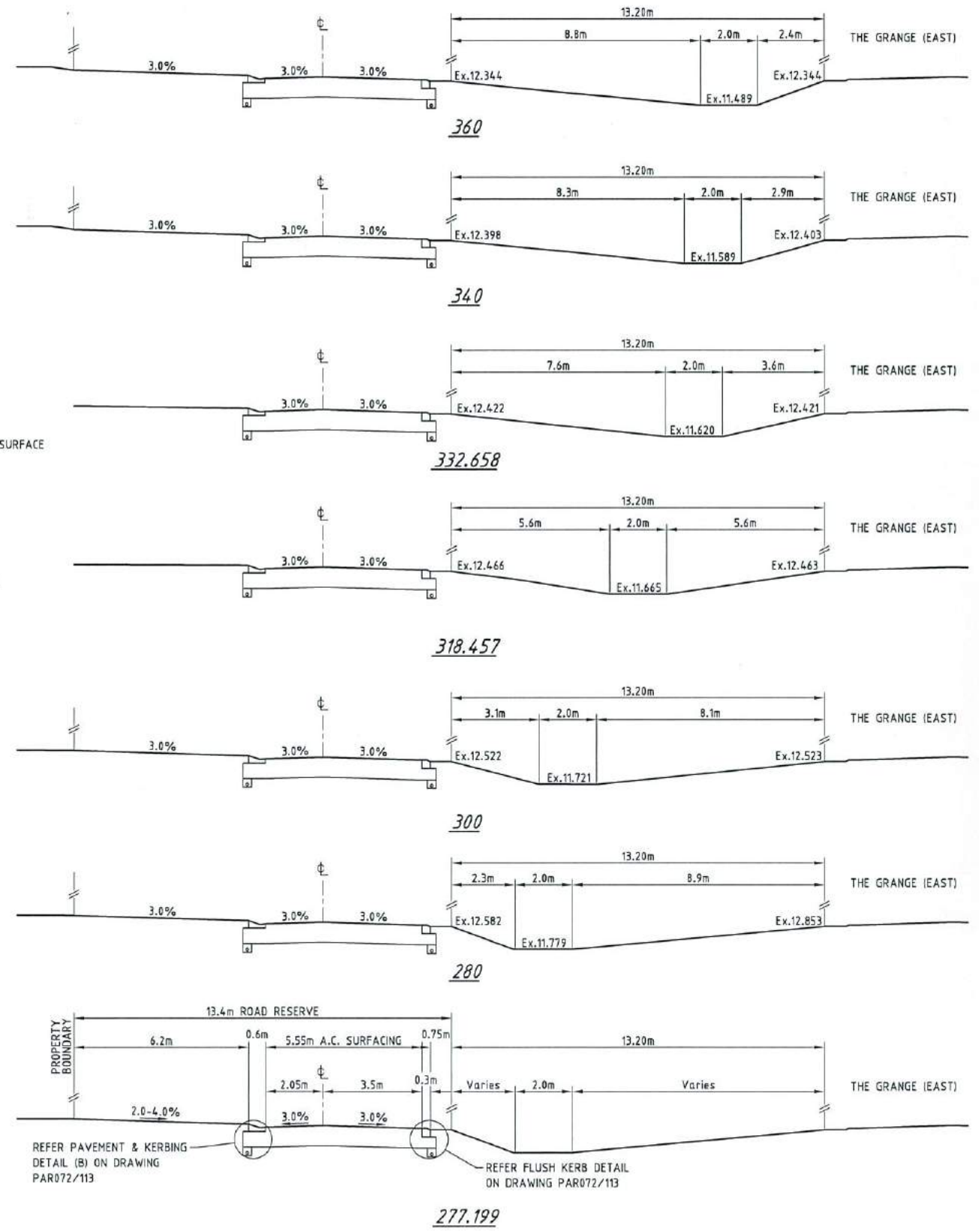
50mm ASPHALT SURFACING (DG10)
 150mm BASE COURSE (DMR TYPE 2.1)
 140mm SUB BASE COURSE (DMR TYPE 2.3)
 150mm LOWER SUB BASE COURSE (DMR TYPE 2.3 @ 1.5% CEMENT)
 150mm SUB GRADE REPLACEMENT (DMR TYPE 2.3 @ 3.0% CEMENT)

APPROVED PAVEMENT DESIGN
THE GRANGE (WEST) (CH.333-CH.533)

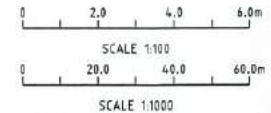
50mm ASPHALT SURFACING (DG10)
 150mm BASE COURSE (DMR TYPE 2.1)
 410mm SUB BASE COURSE (DMR TYPE 2.3)



THE GRANGE (WEST) LONGITUDINAL SECTION
 SCALE 1:100 VERTICAL, 1:1000 HORIZONTAL



THE GRANGE (WEST) CROSS SECTIONS
 SCALE 1:100



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DATUM: AHD (DERIVED)
 PSM131673
 RL.11.997
 DALRYMPLE ROAD

PROJECT DIRECTOR: D.GIBSON RPEQ 13230

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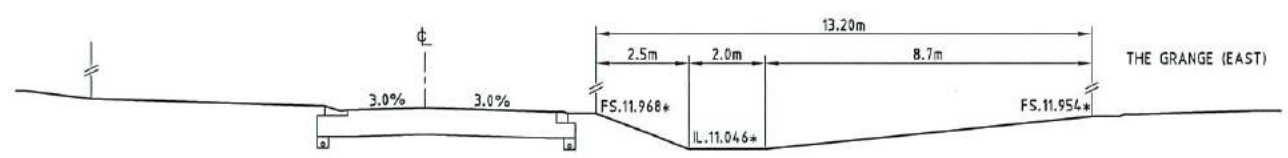
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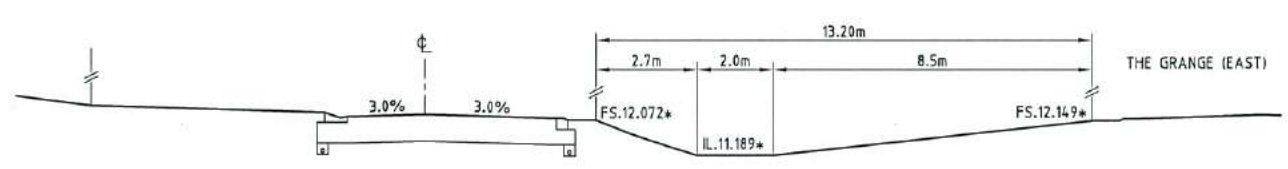
PARKSIDE DEVELOPMENT PTY LTD
 GREATER ASCOT PRECINCT 3 - STAGE 301
 GREATER ASCOT AVENUE, SHAW
 THE GRANGE (WEST) LONG & CROSS SECTIONS

DRAWING SIZE: A1
 SCALE: XREF
 AS SHOWN

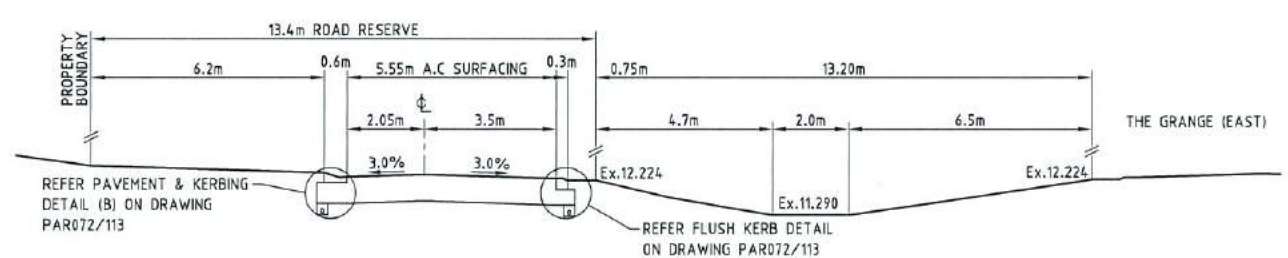
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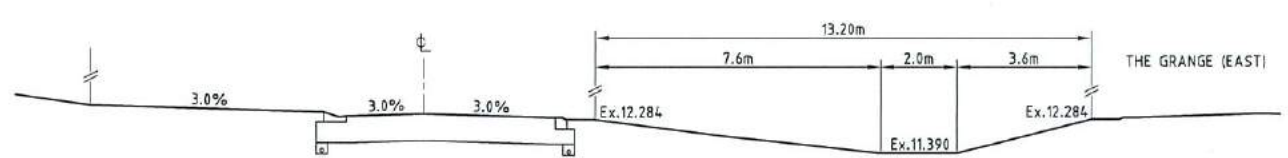
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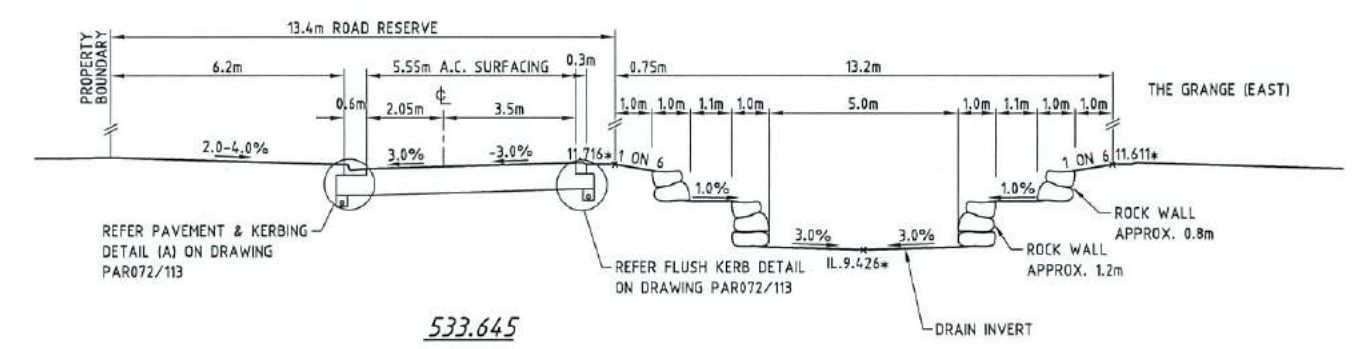
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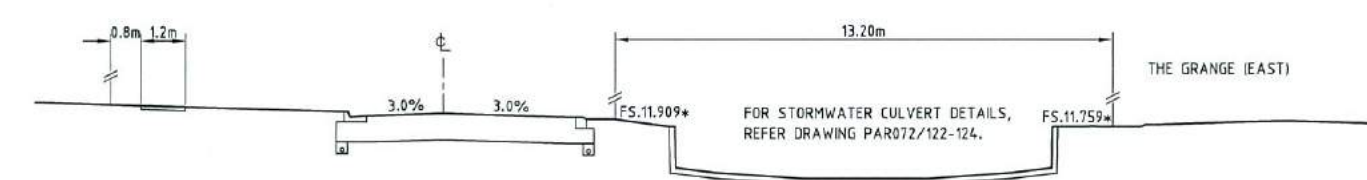
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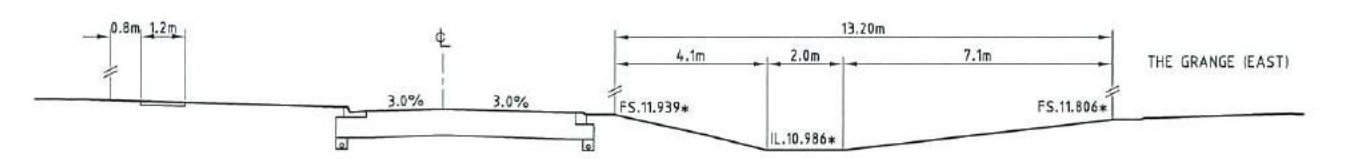
380



533.645



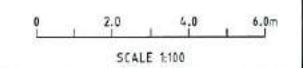
480



460

THE GRANGE (WEST) CROSS SECTIONS

SCALE 1:100



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REAL PROPERTY DESCRIPTION:
LOT 5000 ON SP257312

DRAWN: M.MOTTI	DATUM: AHD (DERIVED)
DESIGNED:	PSM131673
CHECKED: G.CAMPBELL	RL.11.997
PROJECT MANAGER: P.PETERSEN	DALRYMPLE ROAD
	PROJECT DIRECTOR: D.GIBSON RPEQ 13230

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Excellence Through Partnerships

DALGETY PLACE
84 DENHAM STREET
PO BOX 1110
TOWNSVILLE QLD 4810

Phone: (07) 4772 0868
Fax: (07) 4772 0568
Email: main@udpgroup.com.au
Web: www.udpgroup.com.au

PARKSIDE DEVELOPMENT PTY LTD
GREATER ASCOT PRECINCT 3 - STAGE 301
GREATER ASCOT AVENUE, SHAW
THE GRANGE (WEST) CROSS SECTIONS

DRAWING SIZE: A1	SCALE: AS SHOWN	DRAWING No. PAR072/108	REV: A
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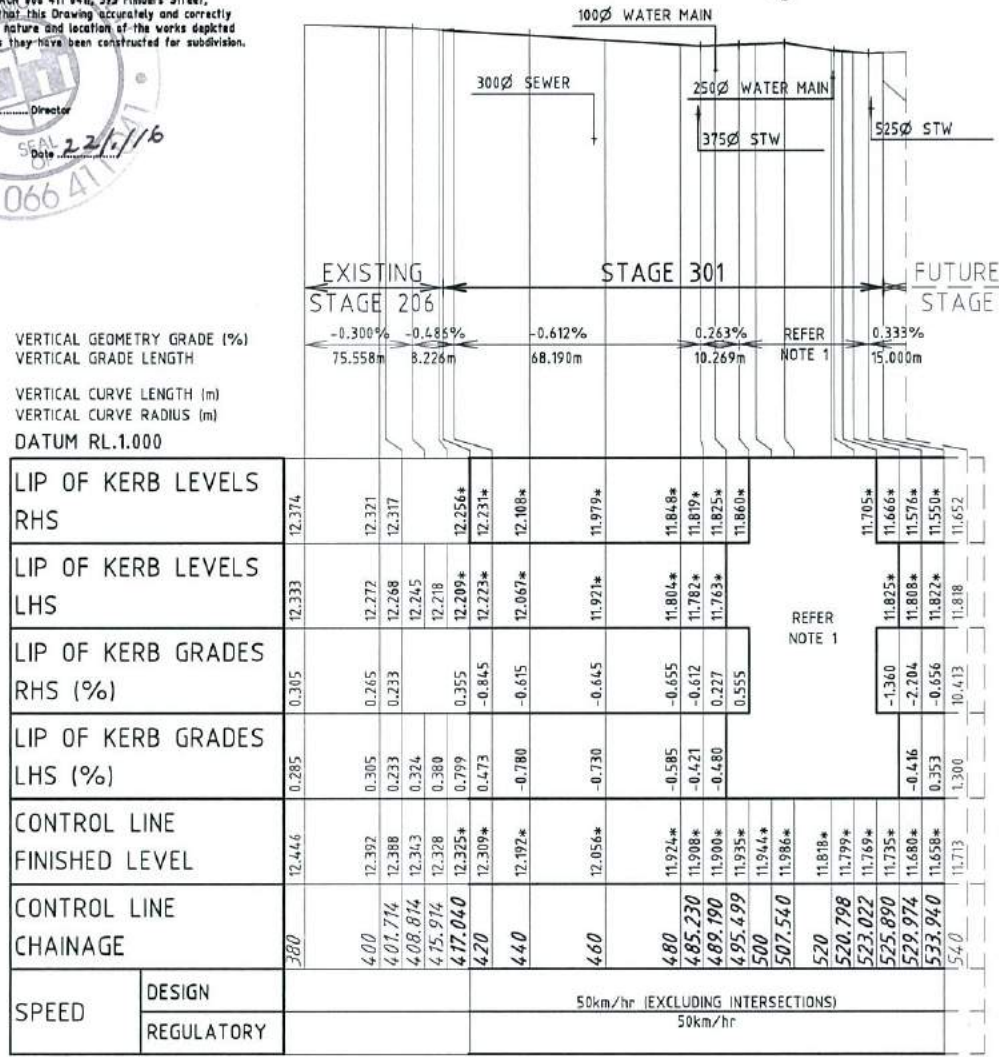
**APPROVED PAVEMENT DESIGN
THE GRANGE (EAST)**

50mm ASPHALT SURFACING (DG10)
150mm BASE COURSE (DMR TYPE 2.1)
410mm SUB BASE COURSE (DMR TYPE 2.3)

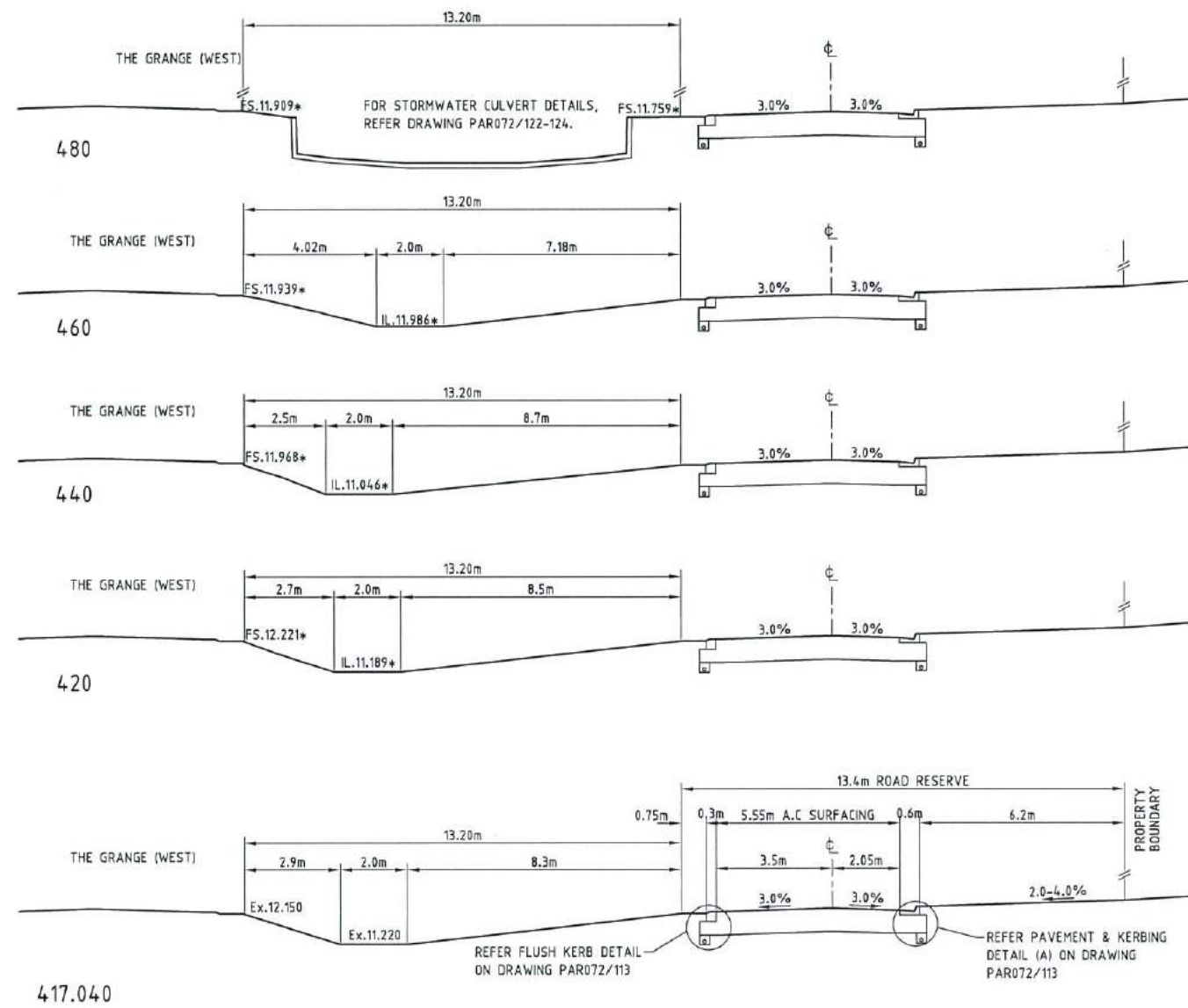
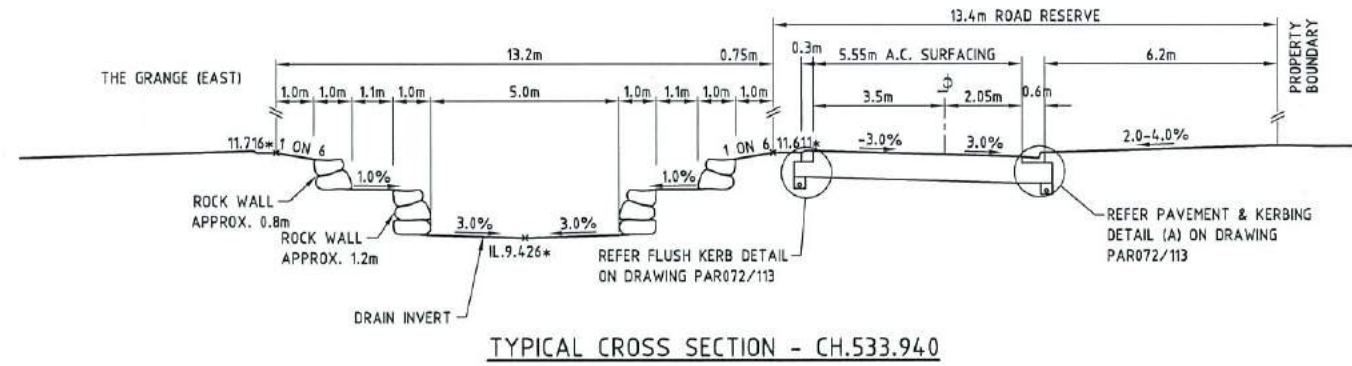


BRAZIER MOTTI PTY LTD (ACN 704 411 846, 595 Flinders Street, Townsville) hereby certify that this Drawing accurately and correctly describes and records the nature and location of the works depicted by asterisks (*) herein as they have been constructed for subdivision.

IP: 380.000 RL: 12.446
 COOMBE STREET IP: 408.814 RL: 12.343
 EOB: 417.040 RL: 12.325*
 IP: 485.230 RL: 11.908*
 IP: 495.499 RL: 11.935*
 GREATER ASCOT AVENUE IP: 507.54 RL: 11.986*
 IP: 520.798 RL: 11.799*
 IP: 529.874 RL: 11.680*
 EOB: 533.940 RL: 11.658*
 IP: 540.000 RL: 11.713



THE GRANGE (EAST) LONGITUDINAL SECTION
SCALE 1:100 VERTICAL; 1:1000 HORIZONTAL



ROAD LONGITUDINAL SECTION NOTES

1. FOR LEVEL INFORMATION REFER ROADWORKS DETAILS PLAN.

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REV.	DATE
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595 Flinders Street, Townsville
Phone: 4772 1144 Fax: 4772 2557
Email: townsville@braziermotti.com.au
Job No: 26700/128-01

REAL PROPERTY DESCRIPTION:
LOT 5000 ON SP257312

DRAWN: M.MOTTI
DESIGNED: G.CAMPBELL
CHECKED: G.CAMPBELL
PROJECT MANAGER: P.PETERSEN

DATUM: AHD (DERIVED)
PSM131673
RL.11.997
DALRYMPLE ROAD

PROJECT DIRECTOR: D.GIBSON RPEQ 13230

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Excellence Through Partnerships

DALGETY PLACE
84 DENHAM STREET
PO BOX 1110
TOWNSVILLE QLD 4810

Phone: (07) 4772 0666
Fax: (07) 4772 0666
Email: main@udpgroup.com.au
Web: www.udpgroup.com.au

PARKSIDE DEVELOPMENT PTY LTD
GREATER ASCOT PRECINCT 3 - STAGE 301
GREATER ASCOT AVENUE, SHAW
THE GRANGE (EAST) LONGITUDINAL & CROSS SECTIONS

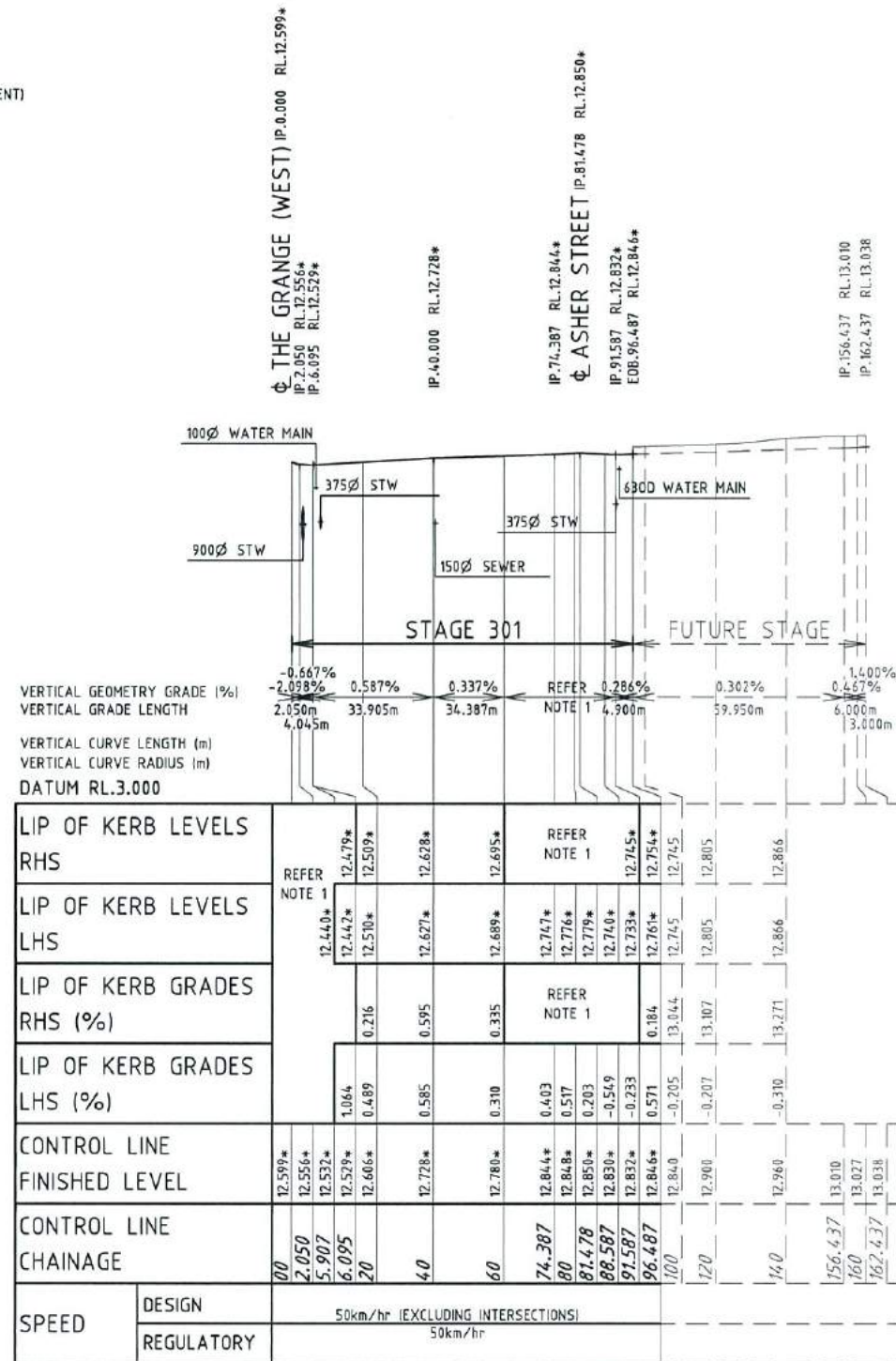
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SCALE: XREF
AS SHOWN

DRAWING No. **PAR072/109**
REV **A**

APPROVED PAVEMENT DESIGN

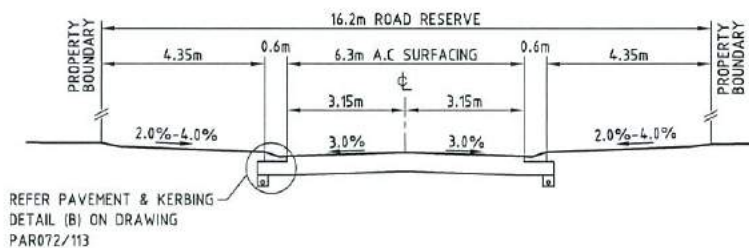
CRANBOURNE STREET

30mm ASPHALT SURFACING (DG10)
 125mm BASE COURSE (DMR TYPE 2.1)
 110mm SUB BASE COURSE (DMR TYPE 2.3 @ 1.5% CEMENT)
 150mm SUBGRADE REPLACEMENT (DMR TYPE 2.3 @ 3.0% CEMENT)



CRANBOURNE STREET LONGITUDINAL SECTION

SCALE 1:100 VERTICAL; 1:1000 HORIZONTAL



CRANBOURNE STREET TYPICAL CROSS SECTION

SCALE 1:100

ROAD LONGITUDINAL SECTION NOTES

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DESIGNED:	PSM131673
CHECKED: G.CAMPBELL	RL.11.997
PROJECT MANAGER: P.PETERSEN	DALRYMPLE ROAD
	PROJECT DIRECTOR: D.GIBSON RPEQ 13230

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DALGETY PLACE
 84 DENHAM STREET
 PO BOX 1110
 TOWNVILLE QLD 4810

Phone: (07) 4772 0868
 Fax: (07) 4772 0568
 Email: main@udpgroup.com.au
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PARKSIDE DEVELOPMENT PTY LTD
 GREATER ASCOT PRECINCT 3 - STAGE 301
 GREATER ASCOT AVENUE, SHAW
 CRANBOURNE STREET LONG & TYPICAL CROSS SECTIONS

DRAWING SIZE: A1	SCALE: AS SHOWN	DRAWING No.: PAR072/110	REV: A
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APPROVED PAVEMENT DESIGN

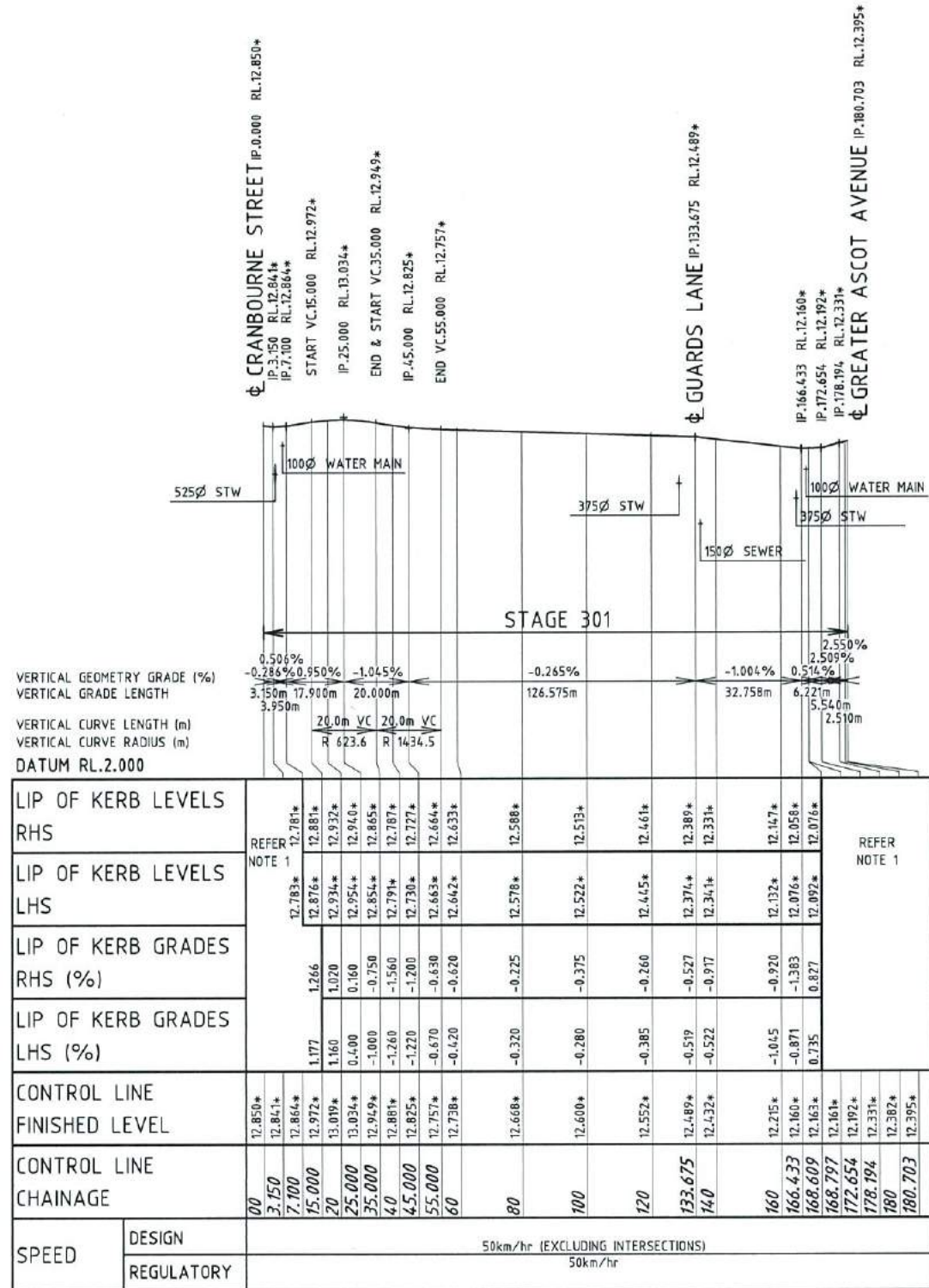
ASHER STREET (CH.0-CH.60)

30mm ASPHALT SURFACING (DG10)
 125mm BASE COURSE (DMR TYPE 2.1)
 110mm SUB BASE COURSE (DMR TYPE 2.3 @ 1.5% CEMENT)
 150mm SUBGRADE REPLACEMENT (DMR TYPE 2.3 @ 3.0% CEMENT)

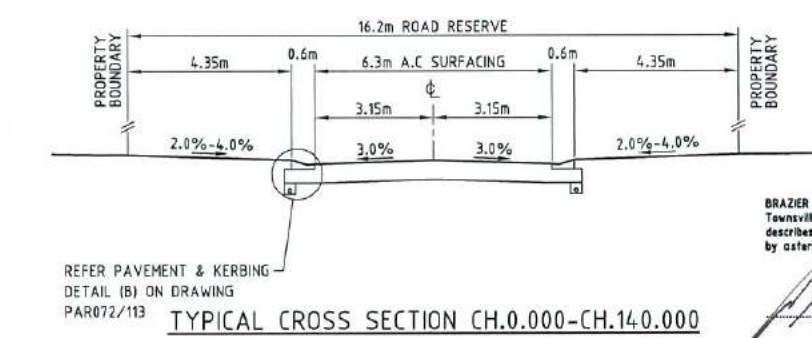
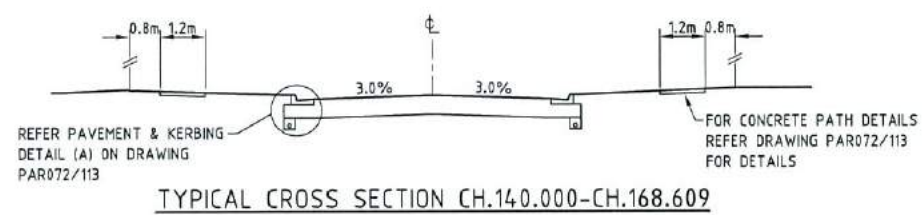
APPROVED PAVEMENT DESIGN

ASHER STREET (CH.60-CH.180)

30mm ASPHALT SURFACING (DG10)
 125mm BASE COURSE (DMR TYPE 2.1)
 205mm SUB BASE COURSE (DMR TYPE 2.3)



ASHER STREET LONGITUDINAL SECTION
 SCALE 1:100 VERTICAL; 1:1000 HORIZONTAL



ASHER STREET TYPICAL CROSS SECTIONS
 SCALE 1:100



ROAD LONGITUDINAL SECTION NOTES

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 PSM131673
 RL.11.997
 DALRYMPLE ROAD

PROJECT DIRECTOR:
 D.GIBSON RPEQ 13230

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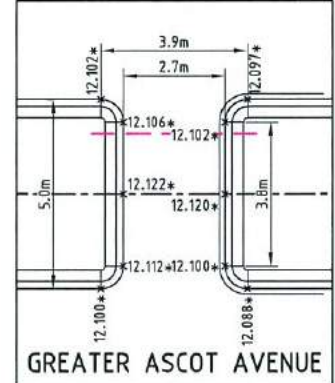
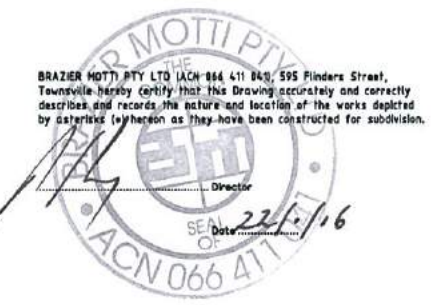
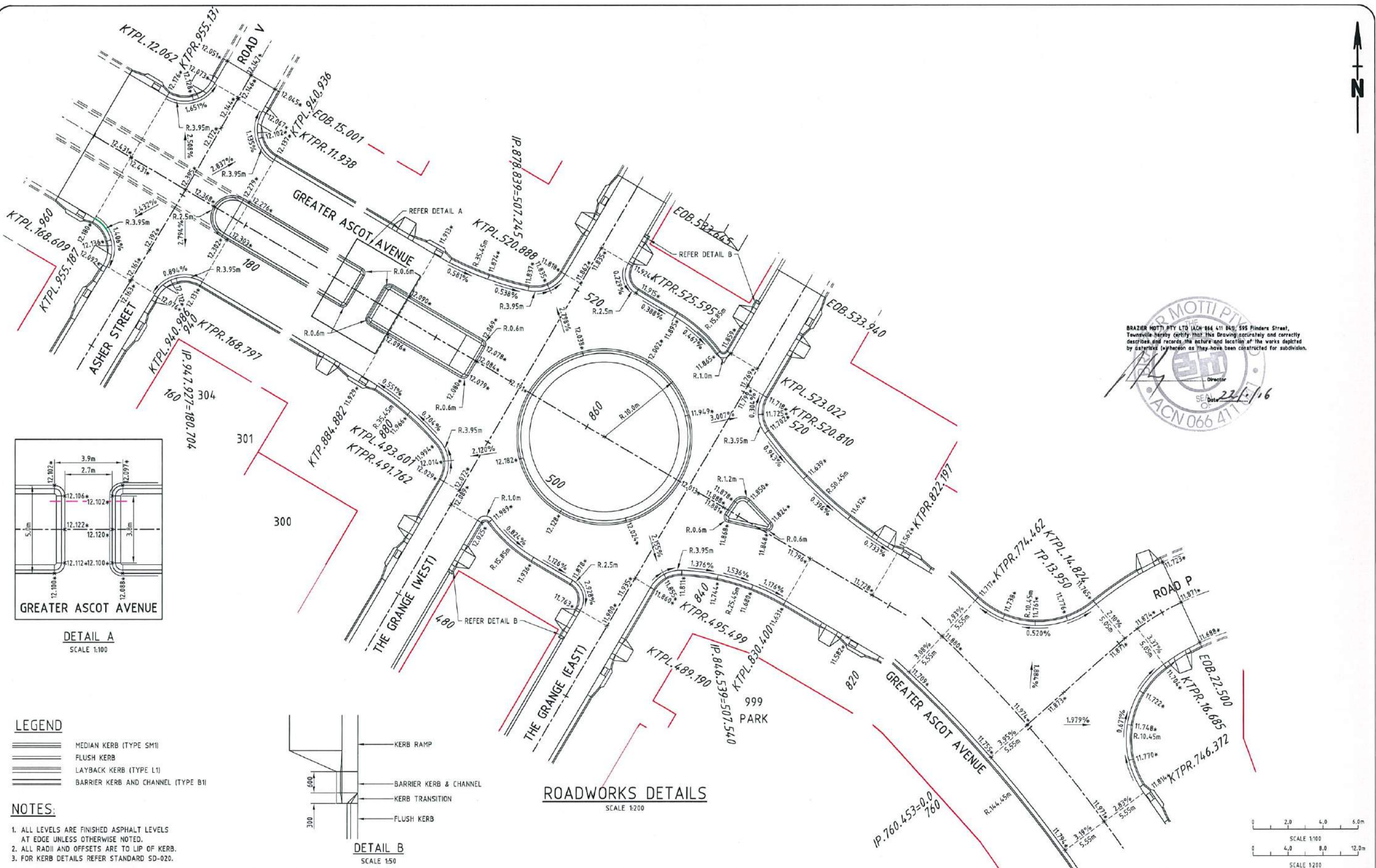
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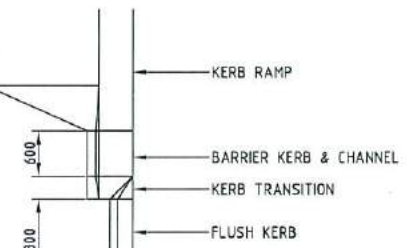
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 GREATER ASCOT PRECINCT 3 - STAGE 301
 GREATER ASCOT AVENUE, SHAW
 ASHER STREET LONG & TYPICAL CROSS SECTIONS

DRAWING SIZE: A1
 SCALE: XREF
 AS SHOWN: PAR072-XR-ASCON

DRAWING No: PAR072/111
 REV: A

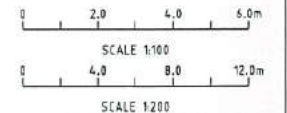


DETAIL A
SCALE 1:100



DETAIL B
SCALE 1:50

ROADWORKS DETAILS
SCALE 1:200



- LEGEND**
- ==== MEDIAN KERB (TYPE SM1)
 - ==== FLUSH KERB
 - ==== LAYBACK KERB (TYPE L1)
 - ==== BARRIER KERB AND CHANNEL (TYPE B1)

- NOTES:**
1. ALL LEVELS ARE FINISHED ASPHALT LEVELS AT EDGE UNLESS OTHERWISE NOTED.
 2. ALL RADII AND OFFSETS ARE TO LIP OF KERB.
 3. FOR KERB DETAILS REFER STANDARD SD-020.

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Job No: 26700/128-01

REAL PROPERTY DESCRIPTION:
LOT 5000 ON SP257312

DATUM: AHD (DERIVED)
PSM131673
RL.11.997
DALRYMPLE ROAD

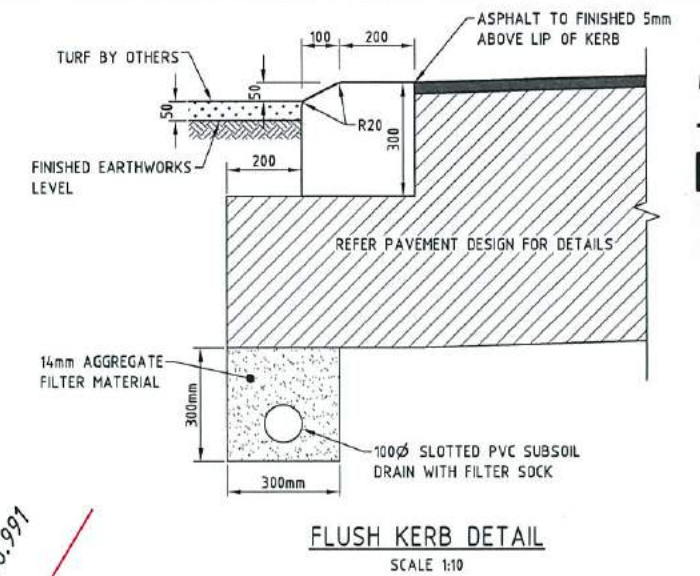
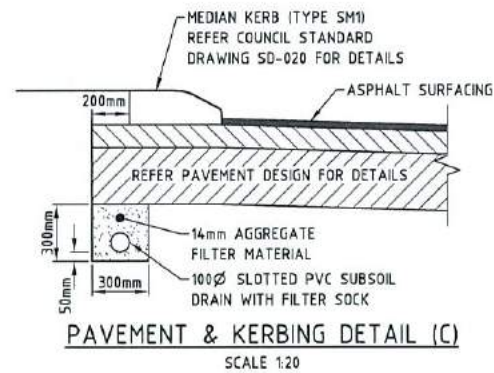
PROJECT MANAGER: P.PETERSEN
PROJECT DIRECTOR: D.GIBSON RPEQ 13230

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84 DENHAM STREET
PO BOX 1110
TOWNSVILLE QLD 4810

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Fax: (07) 4772 0566
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GREATER ASCOT PRECINCT 3 - STAGE 301	
GREATER ASCOT AVENUE, SHAW	
ROADWORKS DETAILS PLAN - SHEET 1 OF 2	
DRAWING SIZE A1	SCALE XREF
AS SHOWN	PAR072-XR-ASC0N
DRAWING No. PAR072/112	REV A

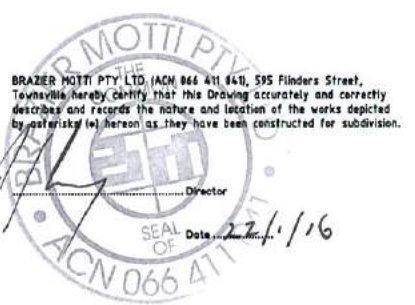
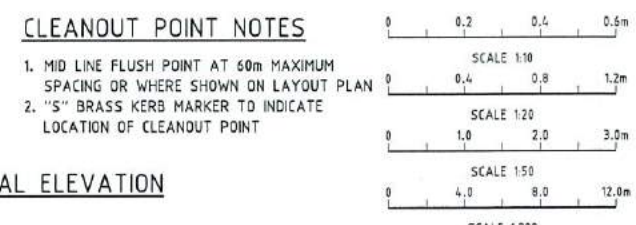
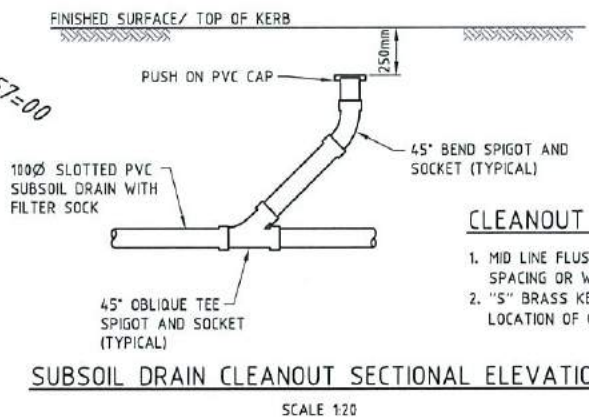
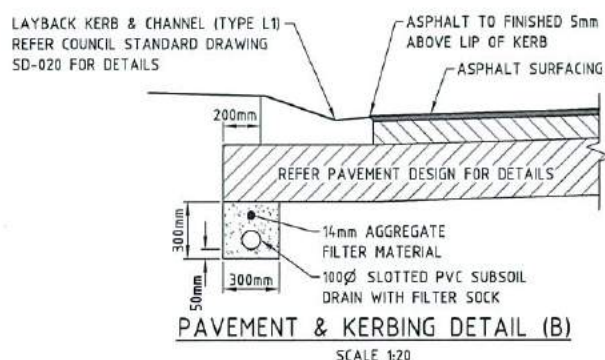
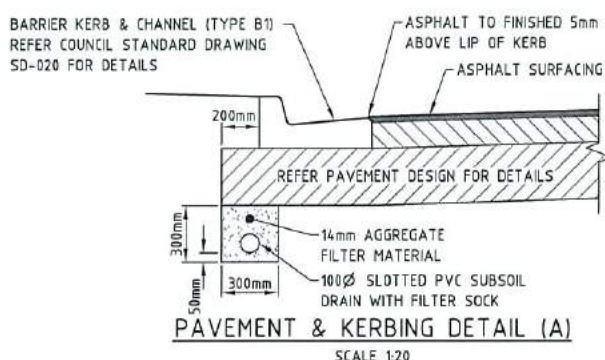
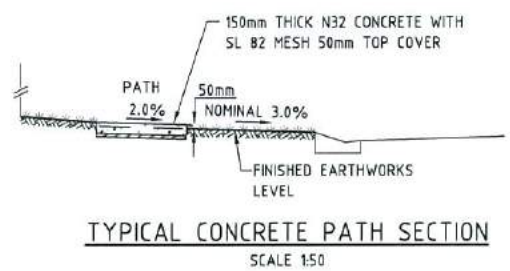
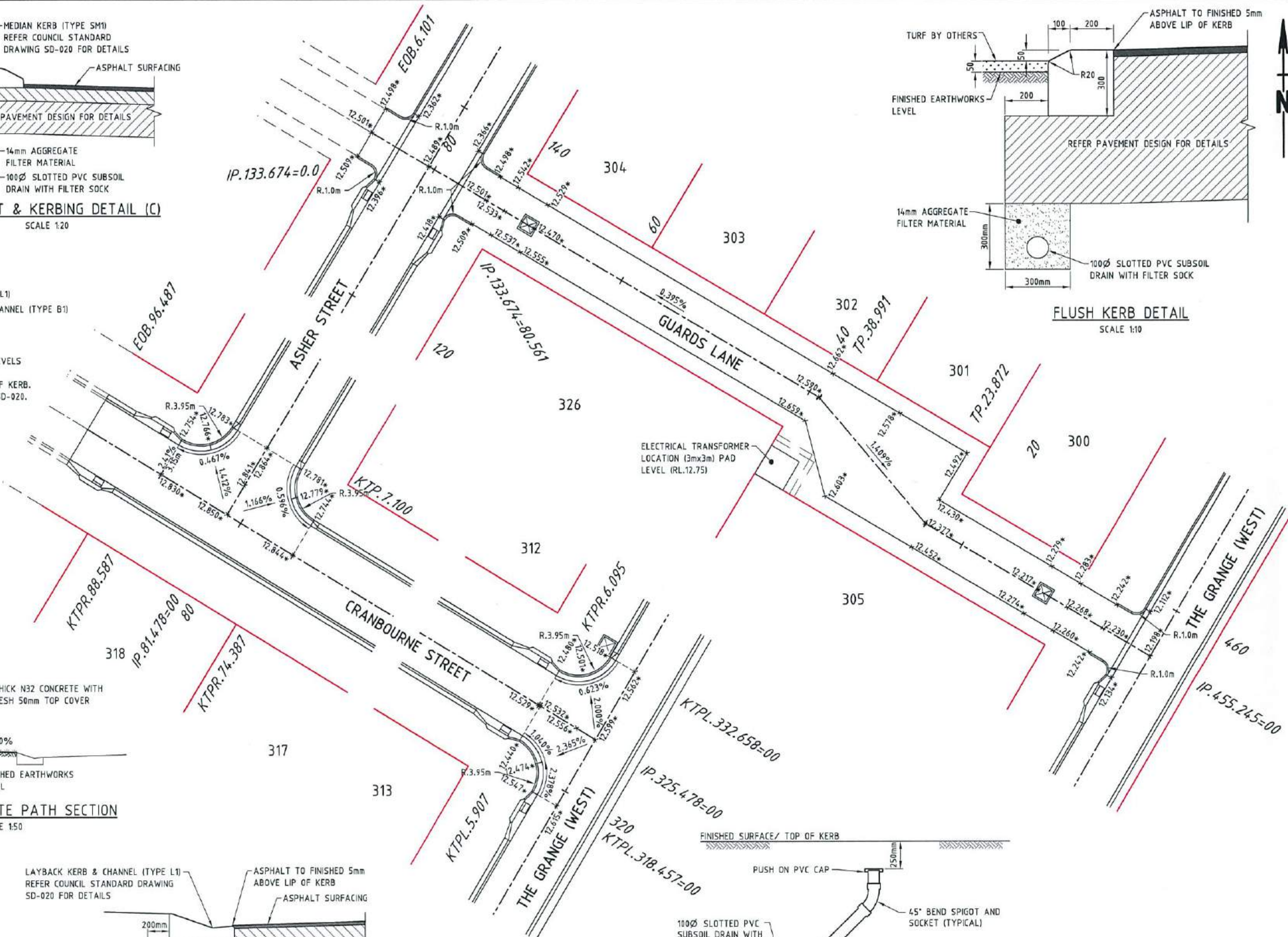


LEGEND

- FLUSH KERB
- LAYBACK KERB (TYPE L1)
- BARRIER KERB AND CHANNEL (TYPE B1)

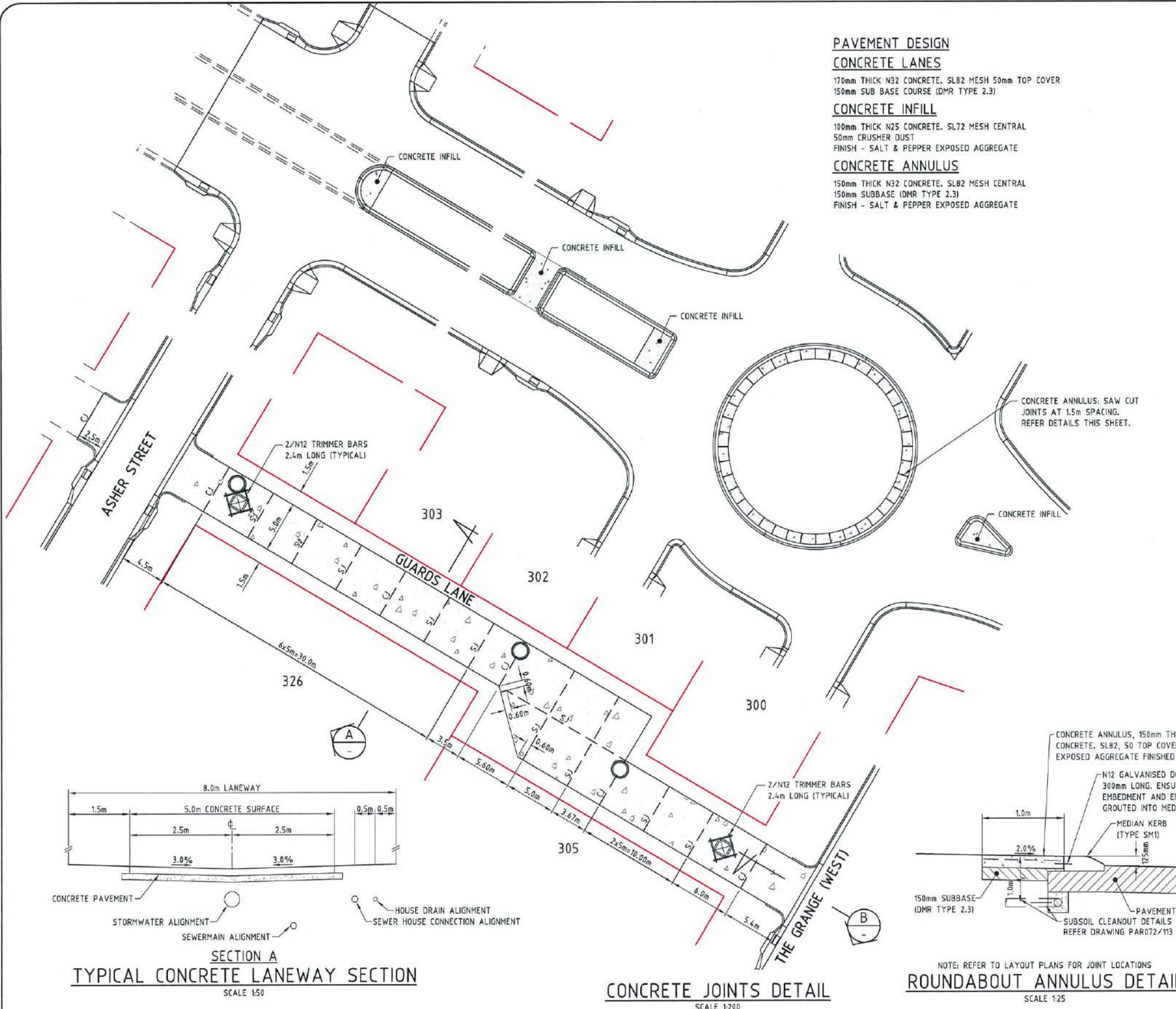
NOTES:

- ALL LEVELS ARE FINISHED ASPHALT LEVELS AT EDGE UNLESS OTHERWISE NOTED.
- ALL RADII AND OFFSETS ARE TO LIP OF KERB.
- FOR KERB DETAILS REFER STANDARD SD-020.



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DRAWN: M.MOTTI DESIGNED: CHECKED: G.CAMPBELL PROJECT MANAGER: P.PETERSEN	PROJECT DIRECTOR: D.GIBSON RPEQ 13230		DRAWING SIZE: A1 SCALE: XREF AS SHOWN: PAR072-XR-ASCON	DRAWING No: PAR072/113 REV: A			

REV. DATE AS CONSTRUCTED ISSUE REVISIONS
G:\2471\128-01\DRAWING\PAR072-10.DWG



PAVEMENT DESIGN

CONCRETE LANES

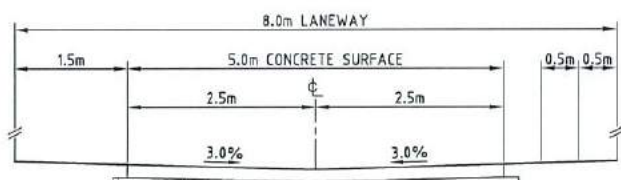
170mm THICK N32 CONCRETE, SL82 MESH 50mm TOP COVER
150mm SUB BASE COURSE (DMR TYPE 2.3)

CONCRETE INFILL

100mm THICK N25 CONCRETE, SL72 MESH CENTRAL
50mm CRUSHER DUST
FINISH - SALT & PEPPER EXPOSED AGGREGATE

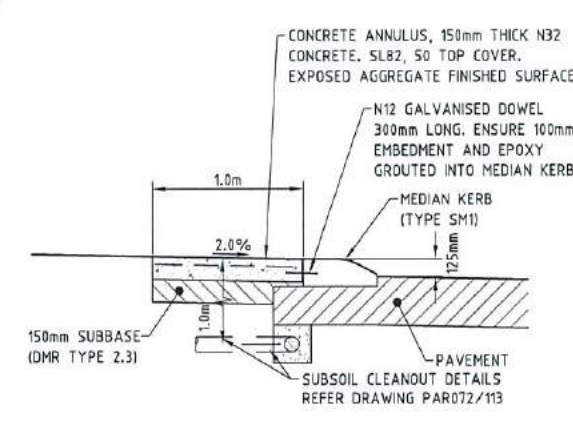
CONCRETE ANNULUS

150mm THICK N32 CONCRETE, SL82 MESH CENTRAL
150mm SUBBASE (DMR TYPE 2.3)
FINISH - SALT & PEPPER EXPOSED AGGREGATE



SECTION A
TYPICAL CONCRETE LANEWAY SECTION
SCALE 1:50

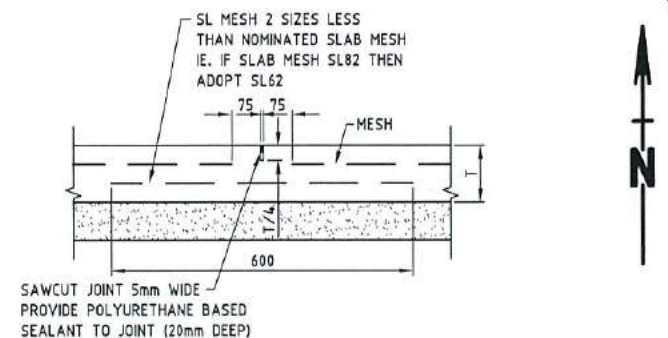
CONCRETE PAVEMENT
STORMWATER ALIGNMENT
SEWERMAIN ALIGNMENT
HOUSE DRAIN ALIGNMENT
SEWER HOUSE CONNECTION ALIGNMENT



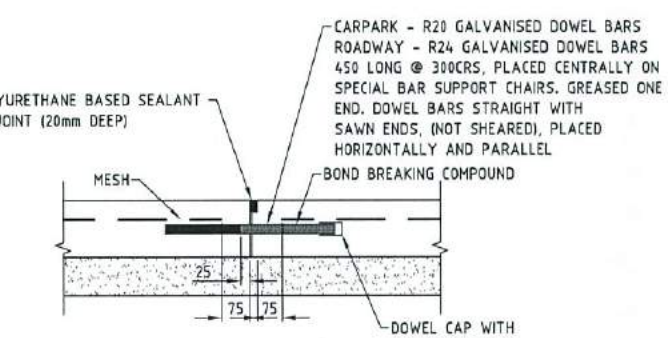
CONCRETE JOINTS DETAIL
SCALE 1:200

CONCRETE ANNULUS, 150mm THICK N32 CONCRETE, SL82, 50 TOP COVER, EXPOSED AGGREGATE FINISHED SURFACE.
N12 GALVANISED DOWEL 300mm LONG, ENSURE 100mm EMBEDMENT AND EPOXY GROUTED INTO MEDIAN KERB
MEDIAN KERB (TYPE SM1)
PAVEMENT
SUBSOIL CLEANOUT DETAILS REFER DRAWING PAR072/113
150mm SUBBASE (DMR TYPE 2.3)

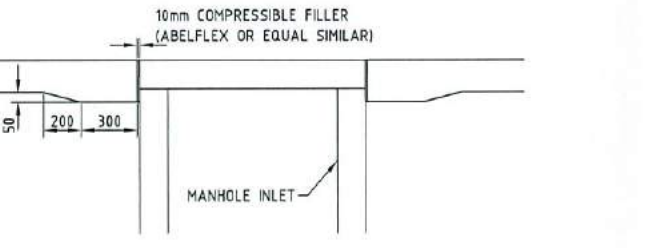
NOTE: REFER TO LAYOUT PLANS FOR JOINT LOCATIONS



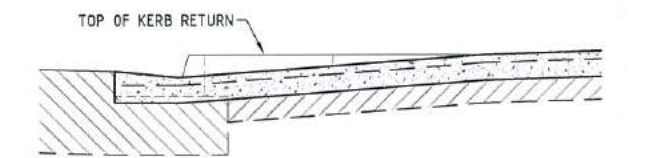
SAW CUT JOINT (SJ)
SCALE 1:10
NOTE: ALTERNATIVELY CONTINUE MESH & CUT EVERY SECOND BAR. MAXIMUM JOINT SPACING 6.0m



CONTRACTION JOINT (CJ)
SCALE 1:10
NOTE: MAXIMUM JOINT SPACING 15.0m

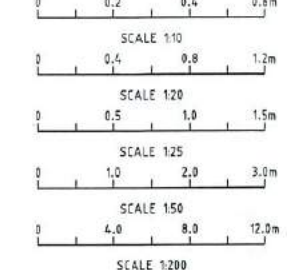


SLAB THICKENING TO MANHOLES/INLETS
SCALE 1:20



SECTION B
TYPICAL LANEWAY CROSSOVER DETAIL
SCALE 1:20

NOTE: REFER COUNCIL STANDARD DRAWING SD-032 FOR CONSTRUCTION DETAILS (STANDARD METHOD C)



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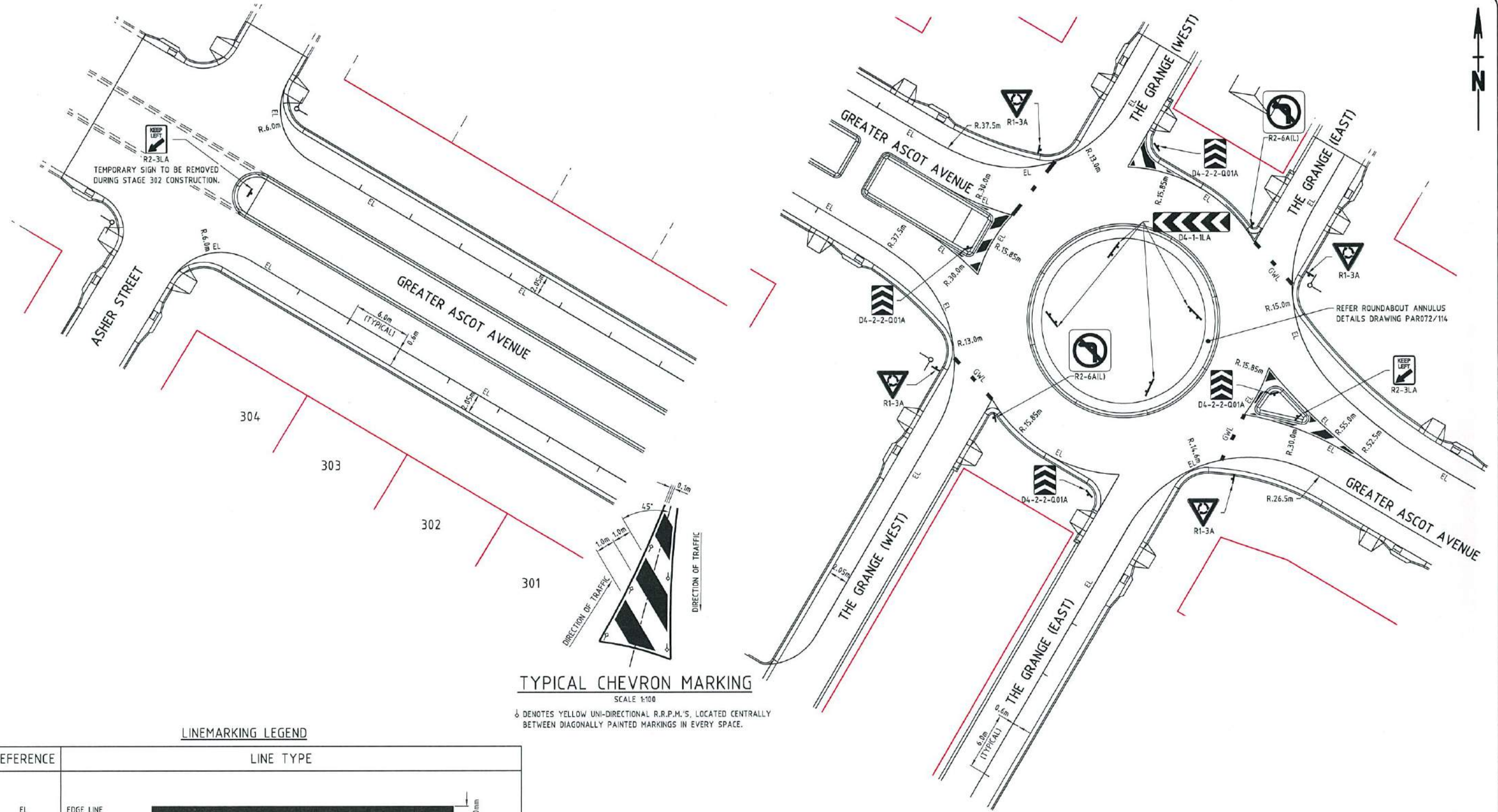
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PARKSIDE DEVELOPMENT PTY LTD
GREATER ASCOT PRECINCT 3 - STAGE 301
GREATER ASCOT AVENUE, SHAW
CONCRETE DETAILS PLAN

DRAWING SIZE	SCALE	AS SHOWN	DRAWING No.	REV
A1	XREF	PAR072-XR-ASCON	PAR072/114	A



TYPICAL CHEVRON MARKING
SCALE 1:100

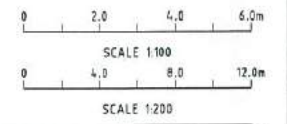
δ DENOTES YELLOW UNI-DIRECTIONAL R.R.P.M.'S, LOCATED CENTRALLY BETWEEN DIAGONALLY PAINTED MARKINGS IN EVERY SPACE.

LINEMARKING DETAILS
SCALE 1:200

LINEMARKING LEGEND

REFERENCE	LINE TYPE
EL	EDGE LINE
GWL	GIVE WAY LINE

NOTES:
1. ALL LINEMARKING, SIGNAGE AND PLACEMENT OF R.R.P.M.'S IN ACCORDANCE WITH M.U.T.C.D.



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CHECKED: G.CAMPBELL	RL.11.997
PROJECT MANAGER: P.PETERSEN	DALRYMPLE ROAD
	PROJECT DIRECTOR: D.GIBSON RPED 13230

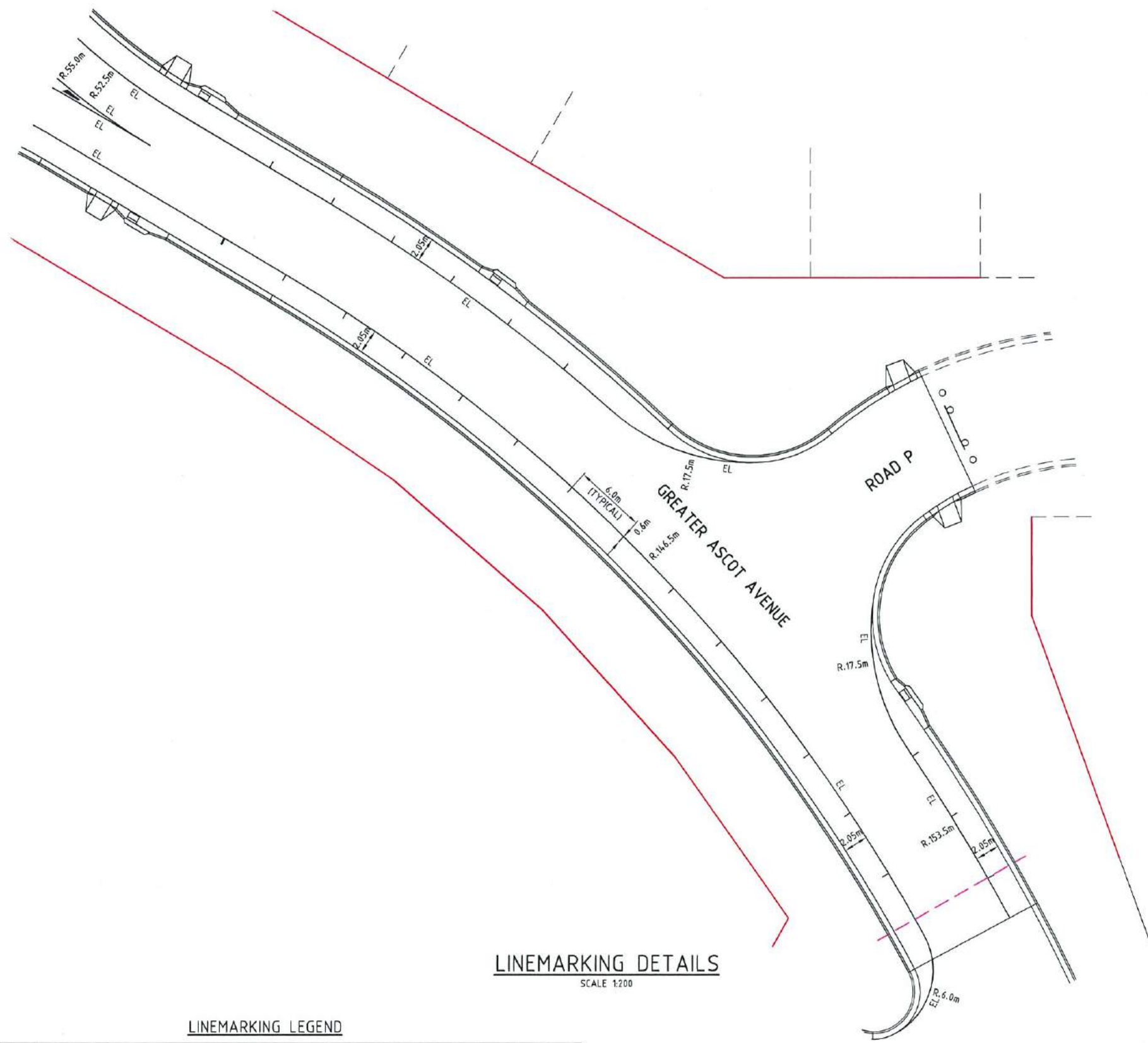
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PARKSIDE DEVELOPMENT PTY LTD
GREATER ASCOT PRECINCT 3 - STAGE 301
GREATER ASCOT AVENUE, SHAW
ROAD LINEMARKING DETAILS PLAN - SHEET 1 OF 3

DRAWING SIZE: A1	SCALE: AS SHOWN	DRAWING No. PAR072/115	REV: A
XREF: PAR072-XR-ASCON			

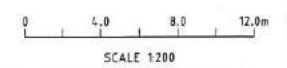




LINEMARKING DETAILS
SCALE 1:200

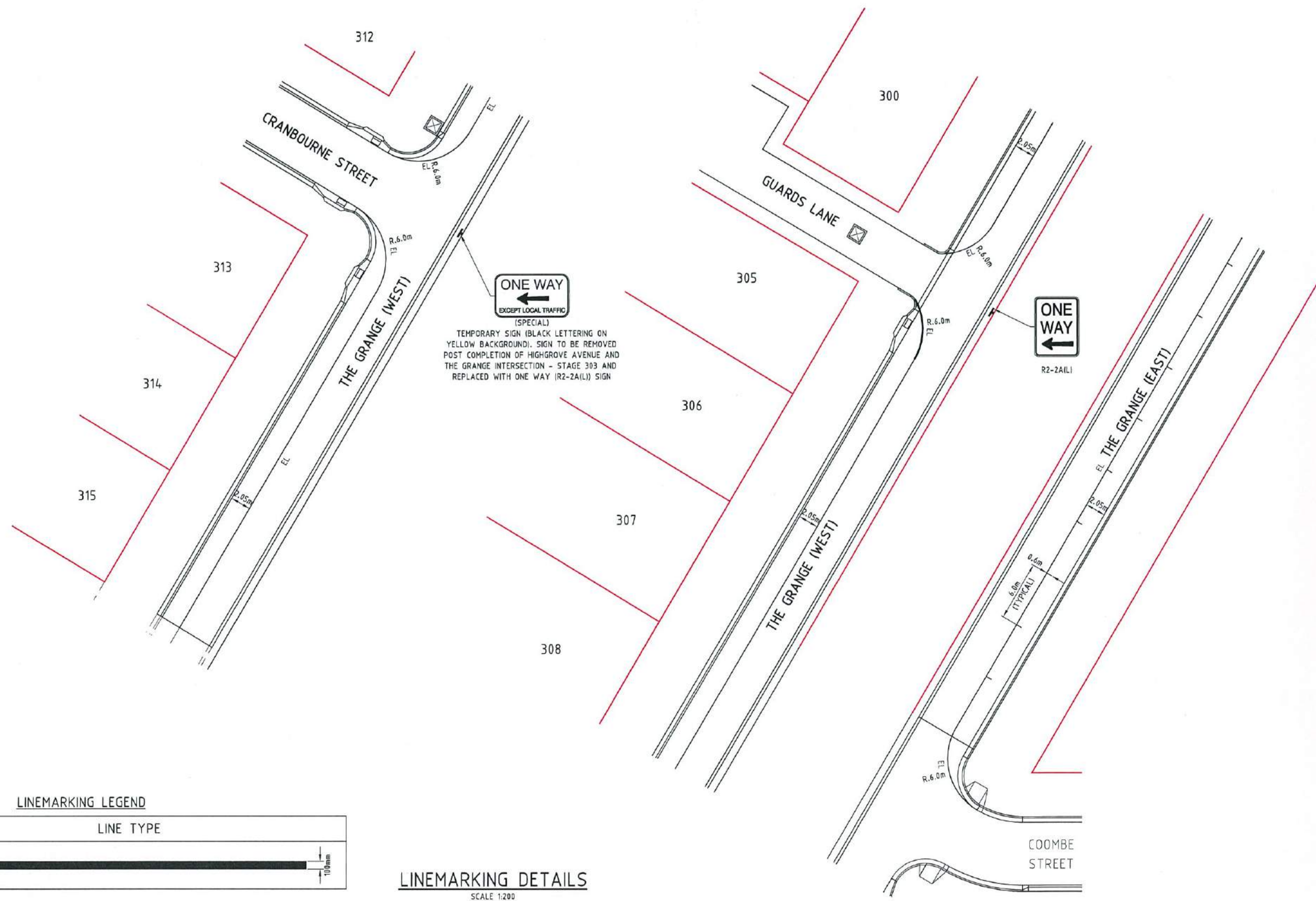
LINEMARKING LEGEND

REFERENCE	LINE TYPE
EL	EDGE LINE 

NOTES:
1. ALL LINEMARKING, SIGNAGE AND PLACEMENT OF RRPMS IN ACCORDANCE WITH M.U.T.C.D.




<p>AS-CONSTRUCTED ISSUE</p>	 <p>brazier motti www.braziermotti.com.au 595 Flinders Street, Townsville Phone: 4772 1144 Fax: 4772 2557 Email: townsville@braziermotti.com.au Job No: 26700/128-01</p>	<p>REAL PROPERTY DESCRIPTION: LOT 5000 ON SP257312</p> <p>DRAWN: M.MOTTI DESIGNED: CHECKED: G.CAMPBELL PROJECT MANAGER: P.PETERSEN</p>	<p>DATUM: AHD (DERIVED) PSM131673 RL.11.997 DALRYMPLE ROAD</p> <p>PROJECT DIRECTOR: D.GIBSON RPEQ 13230</p>	 <p>UDP Excellence Through Partnerships</p>	<p>DALGETY PLACE 84 DENHAM STREET PO BOX 1110 TOWNSVILLE QLD 4810</p> <p>Phone: (07) 4772 0666 Fax: (07) 4772 0566 Email: main@udpgroup.com.au Web: www.udpgroup.com.au</p>	<p>PARKSIDE DEVELOPMENT PTY LTD GREATER ASCOT PRECINCT 3 - STAGE 301 GREATER ASCOT AVENUE, SHAW ROAD LINEMARKING DETAILS PLAN - SHEET 2 OF 3</p>					
		<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="width:10%;">DRAWING SIZE</td> <td style="width:10%;">SCALE</td> <td style="width:10%;">AS SHOWN</td> <td style="width:10%;">DRAWING No.</td> <td style="width:10%;">REV</td> </tr> <tr> <td>A1</td> <td>XREF</td> <td>PAR072-XR-ASCOT</td> <td>PAR072/116</td> <td>A</td> </tr> </table>	DRAWING SIZE	SCALE	AS SHOWN	DRAWING No.	REV	A1	XREF	PAR072-XR-ASCOT	PAR072/116
DRAWING SIZE	SCALE	AS SHOWN	DRAWING No.	REV							
A1	XREF	PAR072-XR-ASCOT	PAR072/116	A							



ONE WAY
EXCEPT LOCAL TRAFFIC
(SPECIAL)
TEMPORARY SIGN (BLACK LETTERING ON YELLOW BACKGROUND). SIGN TO BE REMOVED POST COMPLETION OF HIGHGROVE AVENUE AND THE GRANGE INTERSECTION - STAGE 303 AND REPLACED WITH ONE WAY (R2-2A(L)) SIGN

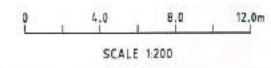
ONE WAY
R2-2A(L)

LINEMARKING LEGEND

REFERENCE	LINE TYPE
EL	EDGE LINE 

LINEMARKING DETAILS
SCALE 1:200

NOTES:
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www.braziermotti.com.au
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Email: townsville@braziermotti.com.au
Job No: 26700/128-01

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DESIGNED:	PSM131673
CHECKED: G.CAMPBELL	RL.11.997
PROJECT MANAGER: P.PETERSEN	DALRYMPLE ROAD
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TOWNSVILLE QLD 4810

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PARKSIDE DEVELOPMENT PTY LTD
GREATER ASCOT PRECINCT 3 - STAGE 301
GREATER ASCOT AVENUE, SHAW
ROAD LINEMARKING DETAILS PLAN - SHEET 3 OF 3

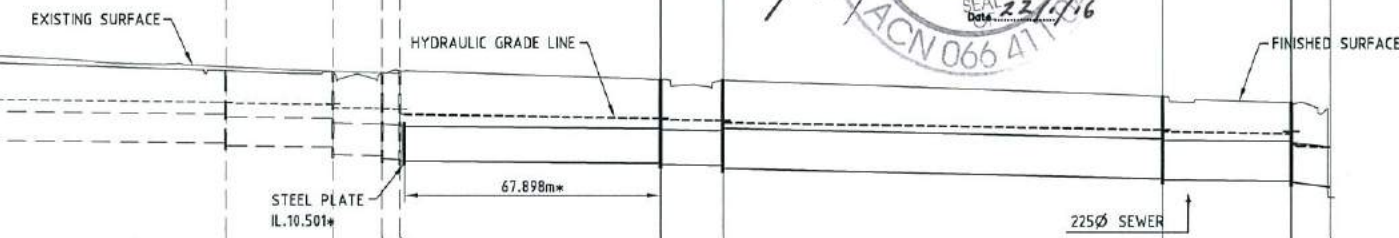
DRAWING SIZE A1	SCALE XREF	AS SHOWN PAR072-XR-ASCON	DRAWING No. PAR072/117	REV A
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STRUCTURE NAME
STRUCTURE DESCRIPTION

STORMWATER NOTES

- ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
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- ALL RCP DRAINAGE PIPES FLUSH JOINTED WITH EXTERNAL RUBBER BAND, UNLESS NOTED OTHERWISE.
- ALL POLYPROPYLENE DRAINAGE PIPES IN ACCORDANCE WITH AS5065.
- REFER DETAIL ON DRAWING PAR072/121 FOR TYPICAL SUBSURFACE DRAINAGE TO STORMWATER MANHOLES.
- PIPE CLASS: (2) - RCP CLASS 2
(3) - RCP CLASS 3
(PI) - POLYPROPYLENE

STRUCTURE NAME	STRUCTURE DESCRIPTION	PIPE SIZEmm (Class)	PIPE GRADE %	PIPE SLOPE 1 in X	FULL PIPE FLOW VELOCITY (m/s)	PART FULL FLOW VELOCITY (m/s) DATUM RL 2.000	WATER LEVEL IN STRUCTURE	HYDRAULIC GRADE LEVEL	PIPE FLOW (Cumecs)	DEPTH TO INVERT	INVERT LEVEL OF DRAIN	FINISHED SURFACE LEVEL	PIPE LENGTH
1/6	TCC INLET PIT (SAG) 2.4m UNTEL	375(PI)	0.313%	319.570	0.360	13.120	13.120	0.039	2.087	12.075	14.112	9.587	
2/6	TCC INLET PIT (SAG) 2.4m UNTEL	375(PI)	0.563%	177.535	0.520	13.091	13.091	0.057	2.124	11.995	14.119	5.326	
3/6	TCC MANHOLE 900mm x 900mm	375(PI)	0.174%	574.662	0.850	13.073	13.073	0.093	2.154	11.965	14.139	66.086	
4/6	TCC INLET PIT (SAG) 2.4m UNTEL	450(PI)	0.492%	203.068	1.040	12.883	12.883	0.164	2.057	11.790	13.847	6.092	
5/6	TCC MANHOLE 900mm x 900mm	450(PI)	0.129%	776.561	1.040	12.801	12.801	0.164	2.132	11.715	13.892	54.359	
6/6	TCC INLET PIT (GRADE) 2.4m UNTEL	525(PI)	0.132%	755.032	1.160	12.593	12.593	0.261	2.080	11.585	13.665	41.527	
7/6	TCC MANHOLE 900mm x 900mm	600(PI)	0.136%	733.065	0.920	12.406	12.406	0.270	2.111	11.555	13.491	32.988	
8/6	TCC INLET PIT (SAG) 2.4m UNTEL	675(2)	0.116%	859.932	1.000	12.350	12.350	0.368	2.076	11.335	13.361	38.697	
9/6	TCC MANHOLE 900mm x 900mm	675(2)	0.109%	916.176	1.090	12.251	12.251	0.402	2.101	11.260	13.444	45.809	
10/6	TCC MANHOLE 900mm x 900mm	750(2)	0.113%	885.324	0.960	12.139	12.139	0.438	1.971	11.135	13.106	66.400	
11/6	TCC MANHOLE 900mm x 900mm	750(2)	0.105%	950.108	0.960	12.062	12.062	0.440	1.912	10.965	12.897	28.503	
12/6	TCC INLET PIT (SAG) 2.4m UNTEL	825(2)	0.229%	436.690	0.890	11.999	11.999	0.491	1.987	10.880	12.872	13.101	
13/6	TCC INLET PIT (SAG) 2.4m UNTEL	900(2)	0.636%	157.268	0.810	11.901	11.901	0.530	2.187	10.685	12.857	4.718	
14/6	TCC MANHOLE 1200mm x 1200mm	900(2)	0.125%	798.800	1.260	11.879	11.879	0.830	2.277	10.580	12.809	67.898*	
15/6	TCC INLET PIT (GRADE) 2.4m UNTEL	900(3)	0.340%	293.714	1.300	11.642	11.642	0.853	2.259	10.416*	12.675*	16.448*	
16/6	TCC MANHOLE 1200mm x 1200mm	1050(3)	0.222%	449.923	1.370	11.585	11.585	1.197	2.277	10.398*	12.634*	116.530*	
17/6	TCC INLET PIT (GRADE) 2.4m UNTEL	1050(3)	0.129%	774.591	1.420	11.345	11.345	1.237	2.292	10.264*	12.258*	34.082*	
18/6	TCC INLET PIT (SAG) 2.4m UNTEL	1050(3)	1.181%	84.675	3.557	11.308	11.308	1.244	2.239	9.975*	12.151*	10.161*	
0/6	THE GRADE DRAIN CULVERT WINGWALL					10.890	10.890			9.847*			



Q2 STORMWATER LONGITUDINAL SECTIONS
SCALE 1:100 VERTICAL, SCALE 1:1000 HORIZONTAL



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DESIGNED:
CHECKED: G.CAMPBELL
PROJECT MANAGER: P.PETERSEN

DATUM: AHD (DERIVED)
PSM131673
RL.11.997
DALRYMPLE ROAD

PROJECT DIRECTOR: D.GIBSON RPEQ 13230

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TOWNSVILLE QLD 4810

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GREATER ASCOT PRECINCT 3 - STAGE 301
GREATER ASCOT AVENUE, SHAW
Q2 STORMWATER LONGITUDINAL SECTIONS - SHEET 1 OF 4

DRAWING SIZE: A1
SCALE: XREF
AS SHOWN

DRAWING No. PAR072/118
REV: A

STRUCTURE NAME
STRUCTURE DESCRIPTION

STORMWATER NOTES

- ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
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- REFER DETAIL ON DRAWING PAR072/121 FOR TYPICAL SUBSURFACE DRAINAGE TO STORMWATER MANHOLES.
- PIPE CLASS: (2) - RCP CLASS 2
(3) - RCP CLASS 3
(P) - POLYPROPYLENE

PIPE SIZE (mm) (Class)	375(P)	375(P)	375(P)	450(P)	525(P)	600(2)	675(2)	750(2)	825(3)	900(2)	900(3)	900(3)
PIPE GRADE %	0.374%	0.287%	0.281%	0.379%	0.344%	0.175%	0.371%	0.116%	0.221%	0.130%	0.131%	0.232%
PIPE SLOPE 1 in X	267.261	348.875	356.453	264.102	290.895	572.038	269.322	863.401	452.376	768.340	760.615	430.154
FULL PIPE FLOW VELOCITY (m/s)	0.610	0.610	1.270	1.350	1.000	1.350	1.150	1.030	1.140	1.260	1.320	1.330
PART FULL FLOW VELOCITY (m/s)												
DATUM RL 2.000												
WATER LEVEL IN STRUCTURE	12.863	12.863	12.863	12.863	12.863	12.863	12.863	12.863	12.863	12.863	12.863	12.863
HYDRAULIC GRADE LEVEL	12.800	12.791	12.757	12.777	12.754	12.070	11.916	11.582	11.570	11.393	11.239	11.000
PIPE FLOW (Cumecs)	0.067	0.067	0.139	0.214	0.214	0.393	0.426	0.471	0.627	0.826	0.870	0.874
DEPTH TO INVERT	1.779	1.850	1.880	1.895	1.865	1.856	1.931	1.978	2.053	2.157	2.187	2.220
INVERT LEVEL OF DRAIN	11.635	11.605	11.575	11.495	11.465	10.950	10.875	10.845	10.770	10.142*	10.112*	9.972*
FINISHED SURFACE LEVEL	13.414	13.455	13.330	13.207	13.102	12.806	12.806	12.478	12.530	12.299*	12.040*	11.890*
PIPE LENGTH	8.018	27.910	40.992	7.923	63.997	17.161	72.717	34.536	58.809	72.224*	19.776*	11.184*

LINE 8
Q2 STORMWATER LONGITUDINAL SECTIONS
 SCALE 1:100 VERTICAL, SCALE 1:1000 HORIZONTAL

PIPE SIZE (mm) (Class)	375(P)	375(P)	450(P)	450(P)	450(P)	375(P)	375(P)
PIPE GRADE %	1.759%	0.939%	0.816%	0.379%	0.437%	0.343%	0.928%
PIPE SLOPE 1 in X	56.860	106.515	122.608	263.629	282.932	291.633	107.708
FULL PIPE FLOW VELOCITY (m/s)	0.110	0.690	0.920	1.030	1.210	0.110	0.120
PART FULL FLOW VELOCITY (m/s)							
DATUM RL 2.000							
WATER LEVEL IN STRUCTURE	11.865	11.865	11.865	11.865	11.865	11.799	11.799
HYDRAULIC GRADE LEVEL	11.862	11.862	11.806	11.796	11.688	11.796	11.688
PIPE FLOW (Cumecs)	0.012	0.075	0.144	0.161	0.189	0.012	0.013
DEPTH TO INVERT	1.612	1.839	1.863	1.906	1.952	1.725	1.813
INVERT LEVEL OF DRAIN	10.873*	10.716*	10.692*	10.626*	10.580*	10.749*	10.719*
FINISHED SURFACE LEVEL	12.435*	12.555*	12.532*	12.208*	12.311*	12.532*	12.208*
PIPE LENGTH	8.927*	7.030*	35.924*	9.227*	16.941*	8.749*	7.001*

LINE 85
 LINE 851
 LINE 852
Q2 STORMWATER LONGITUDINAL SECTIONS
 SCALE 1:100 VERTICAL, SCALE 1:1000 HORIZONTAL

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DESIGNED:	PSM131673
CHECKED: G.CAMPBELL	RL.11.997
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 GREATER ASCOT PRECINCT 3 - STAGE 301
 GREATER ASCOT AVENUE, SHAW
 Q2 STORMWATER LONGITUDINAL SECTIONS - SHEET 2 OF 4

DRAWING SIZE: A1	SCALE: XREF	AS SHOWN	DRAWING No: PAR072/119	REV: A
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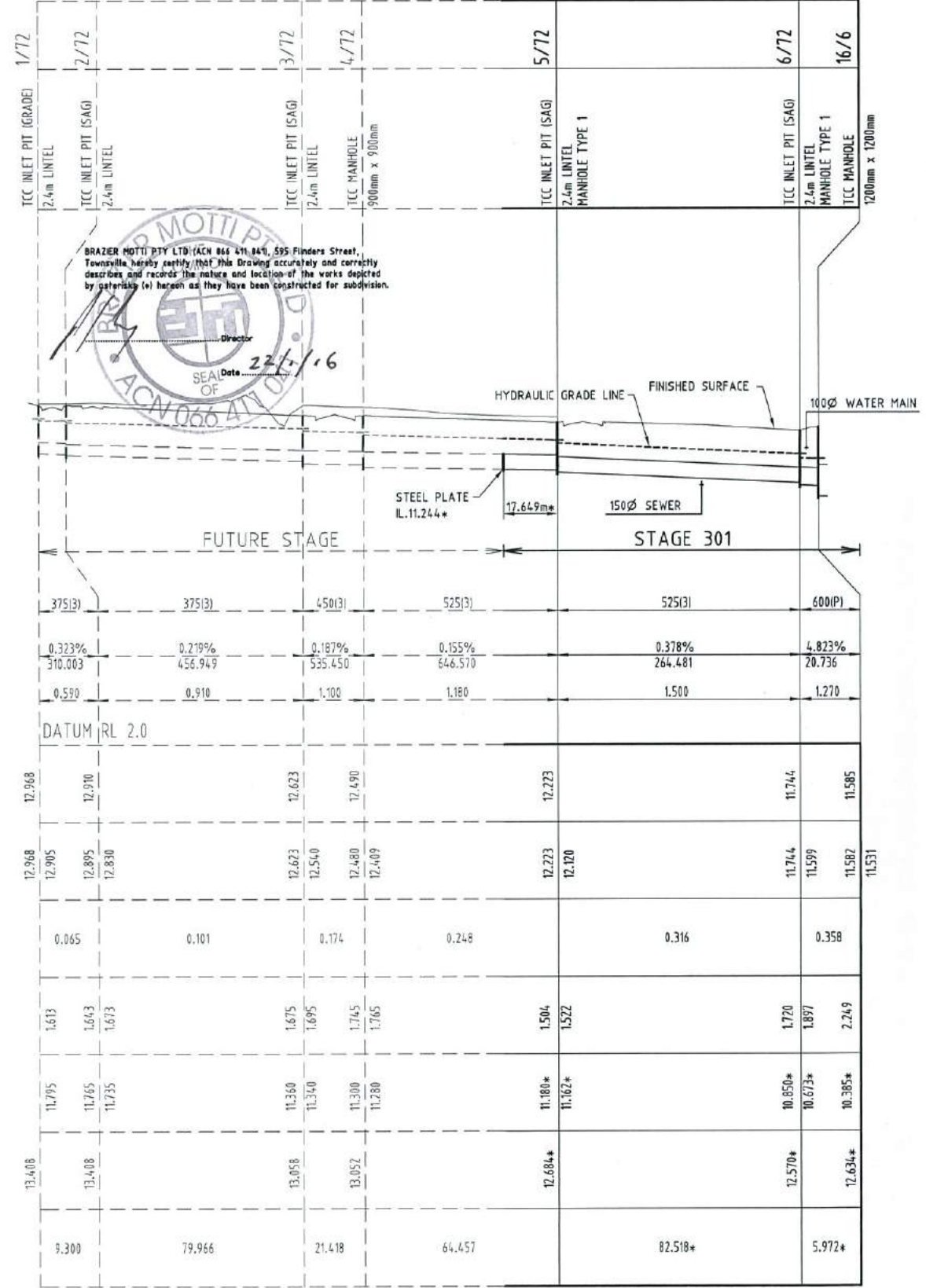
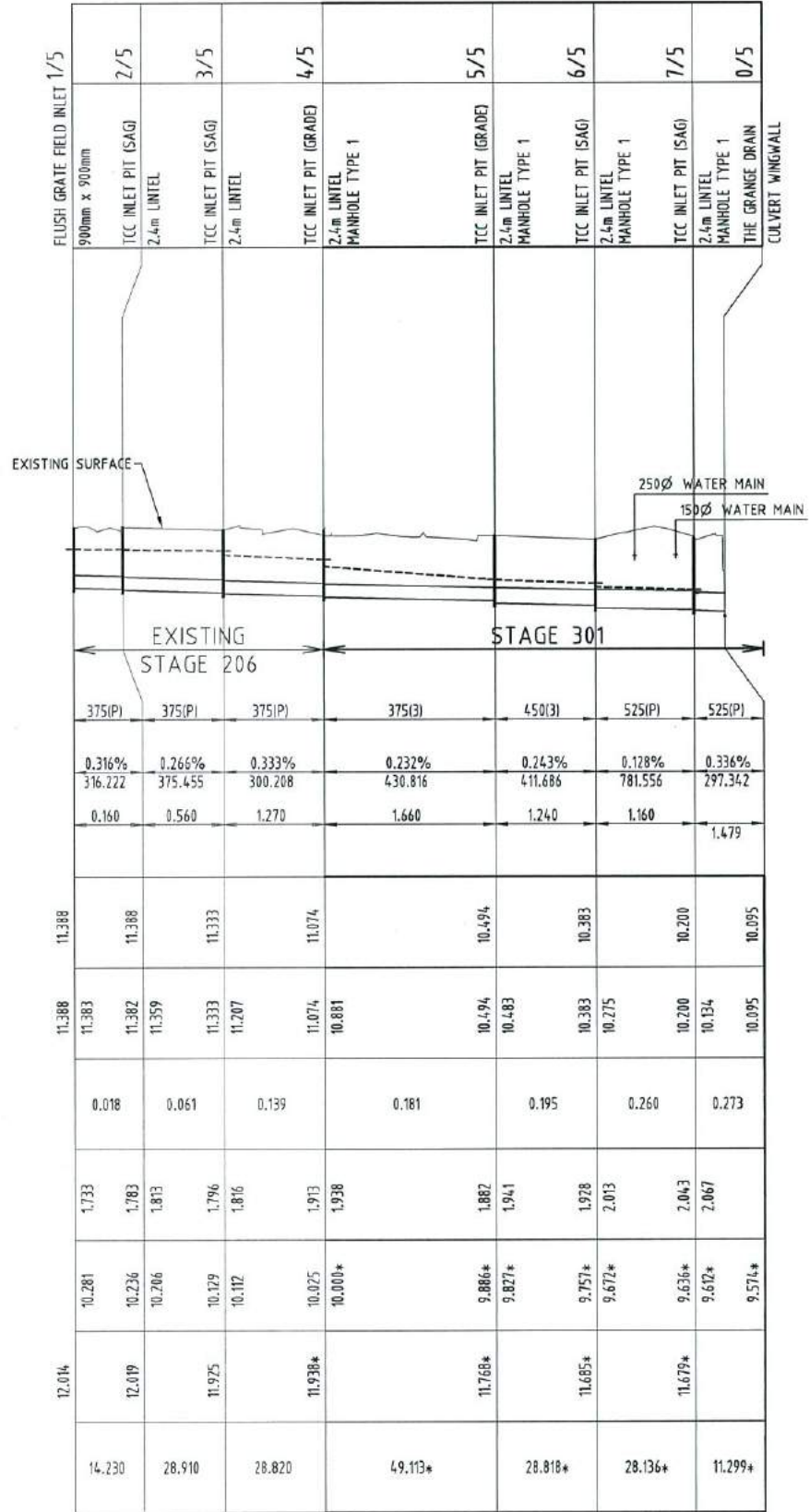
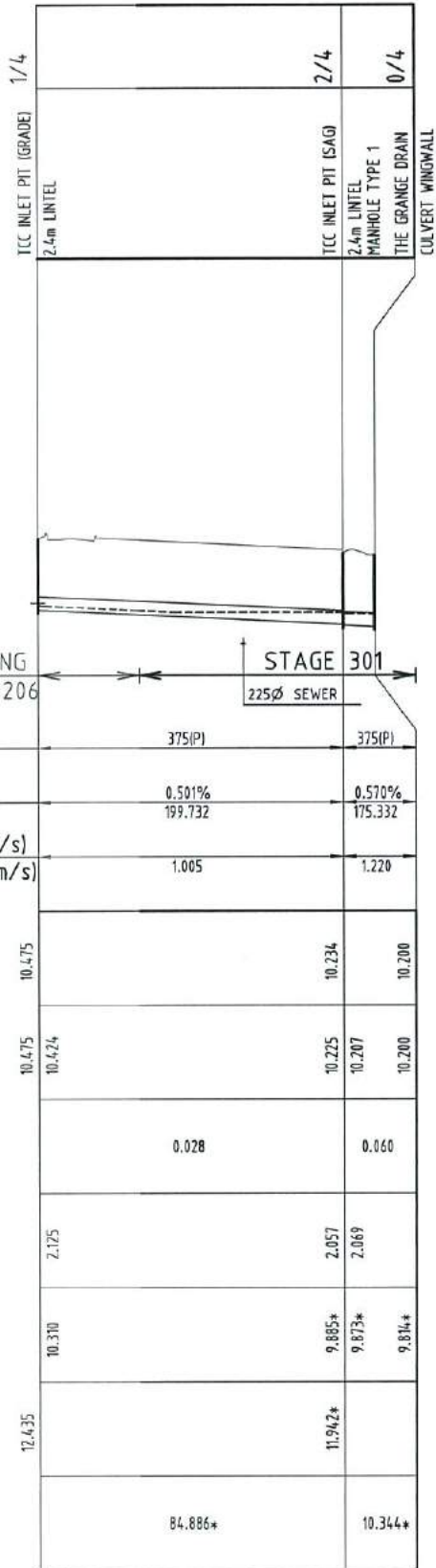
STRUCTURE NAME
STRUCTURE DESCRIPTION

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- PIPE CLASS: (2) - RCP CLASS 2
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(P) - POLYPROPYLENE

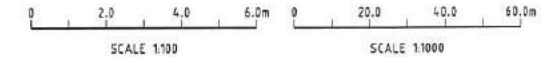
PIPE SIZEmm (Class)	375(P)	375(P)
PIPE GRADE %	0.501%	0.570%
PIPE SLOPE 1 in X	199.732	175.332
FULL PIPE FLOW VELOCITY (m/s)		
PART FULL FLOW VELOCITY (m/s)	1.005	1.220
DATUM RL 2.000		

WATER LEVEL IN STRUCTURE	10.475	10.234
HYDRAULIC GRADE LEVEL	10.475 10.424	10.225 10.207 10.200
PIPE FLOW (Cumecs)		0.028 0.060
DEPTH TO INVERT	2.175	2.057 2.069
INVERT LEVEL OF DRAIN	10.310	9.895* 9.873* 9.814*
FINISHED SURFACE LEVEL	12.435	11.942*
PIPE LENGTH		84.886* 10.344*



Q2 STORMWATER LONGITUDINAL SECTIONS

SCALE 1:100 VERTICAL, SCALE 1:1000 HORIZONTAL



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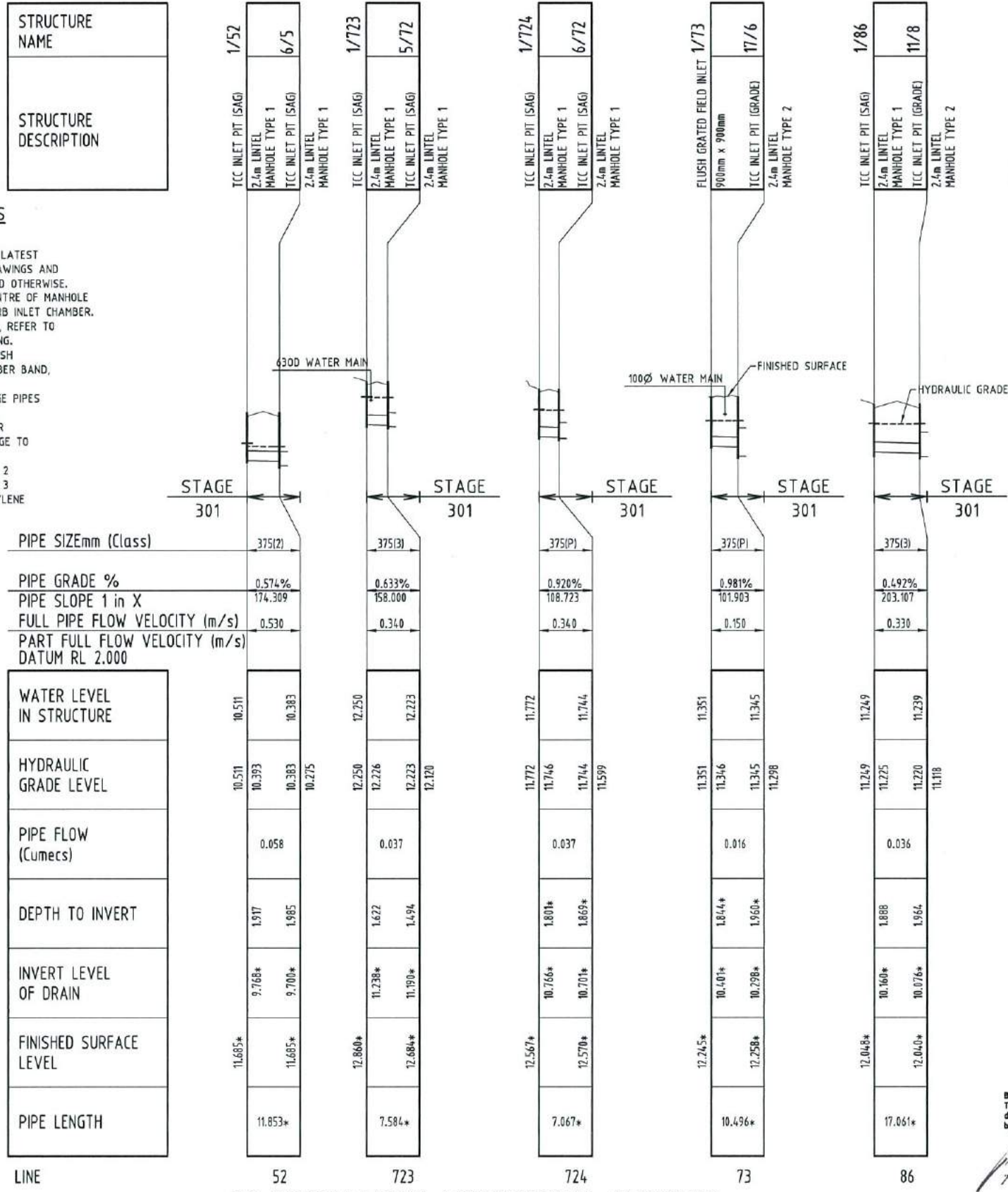
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STRUCTURE NAME
STRUCTURE DESCRIPTION

STORMWATER NOTES

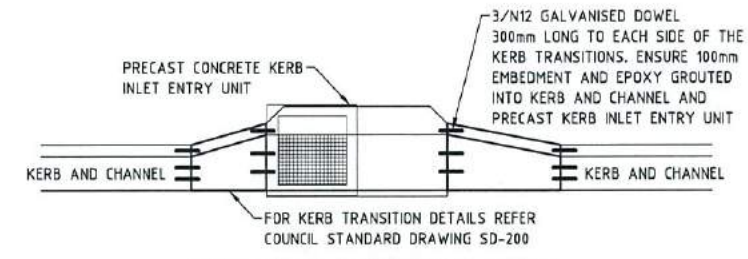
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- PIPE CLASS: (2) - RCP CLASS 2
(3) - RCP CLASS 3
(P) - POLYPROPYLENE



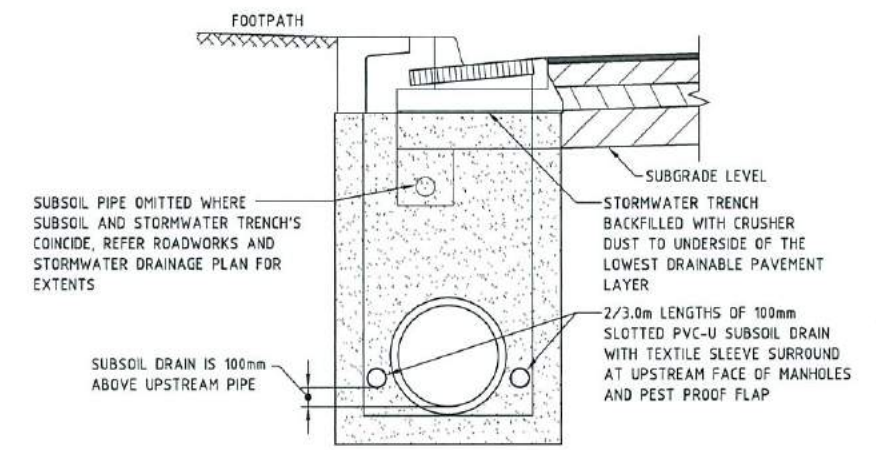
PIPE SIZEmm (Class)	PIPE GRADE %	PIPE SLOPE 1 in X	FULL PIPE FLOW VELOCITY (m/s)	PART FULL FLOW VELOCITY (m/s)	DATUM RL 2.000
375(2)	0.574%	174.309	0.530		
375(3)	0.633%	158.000	0.340		
375(P)	0.920%	108.723	0.340		
375(P)	0.981%	101.903	0.150		
375(3)	0.492%	203.107	0.330		

WATER LEVEL IN STRUCTURE	HYDRAULIC GRADE LEVEL	PIPE FLOW (Cumecs)	DEPTH TO INVERT	INVERT LEVEL OF DRAIN	FINISHED SURFACE LEVEL	PIPE LENGTH
10.511	10.511	0.058	1.917	9.768*	11.685*	11.853*
10.383	10.383	0.037	1.622	11.238*	12.860*	7.584*
11.723	11.723	0.037	1.801*	10.766*	12.567*	7.067*
11.744	11.744	0.016	1.869*	10.701*	12.570*	10.496*
11.866	11.866	0.036	1.888	10.160*	12.048*	17.061*

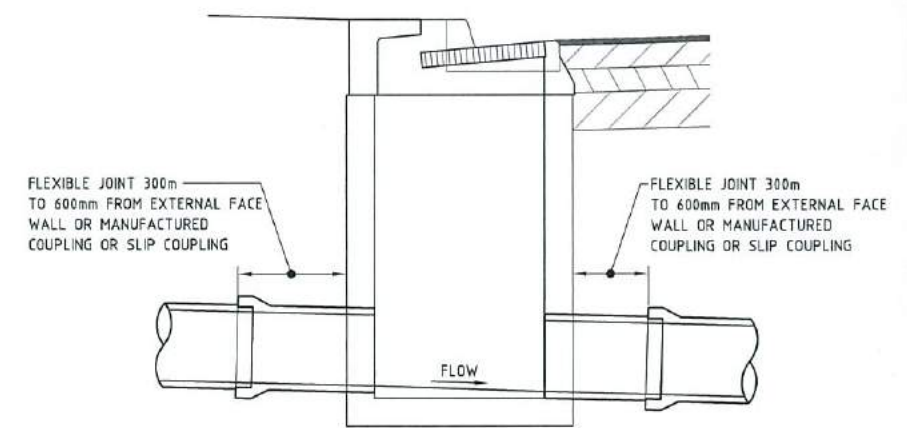
Q2 STORMWATER LONGITUDINAL SECTIONS
SCALE 1:100 VERTICAL, SCALE 1:1000 HORIZONTAL



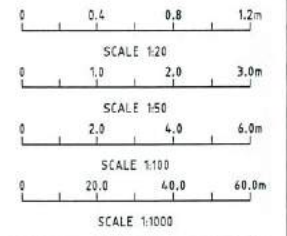
KERB INLET TRANSITION DETAIL
SCALE 1:50



TYPICAL SUBSURFACE DRAIN - STORMWATER MANHOLES
SCALE 1:20



RRJ STORMWATER PIPES - MANHOLE CONNECTION DETAIL
SCALE 1:20



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LOT 5000 ON SP257312

DATE: 22/1/16

PROJECT DIRECTOR: D. GIBSON RPEQ 13230

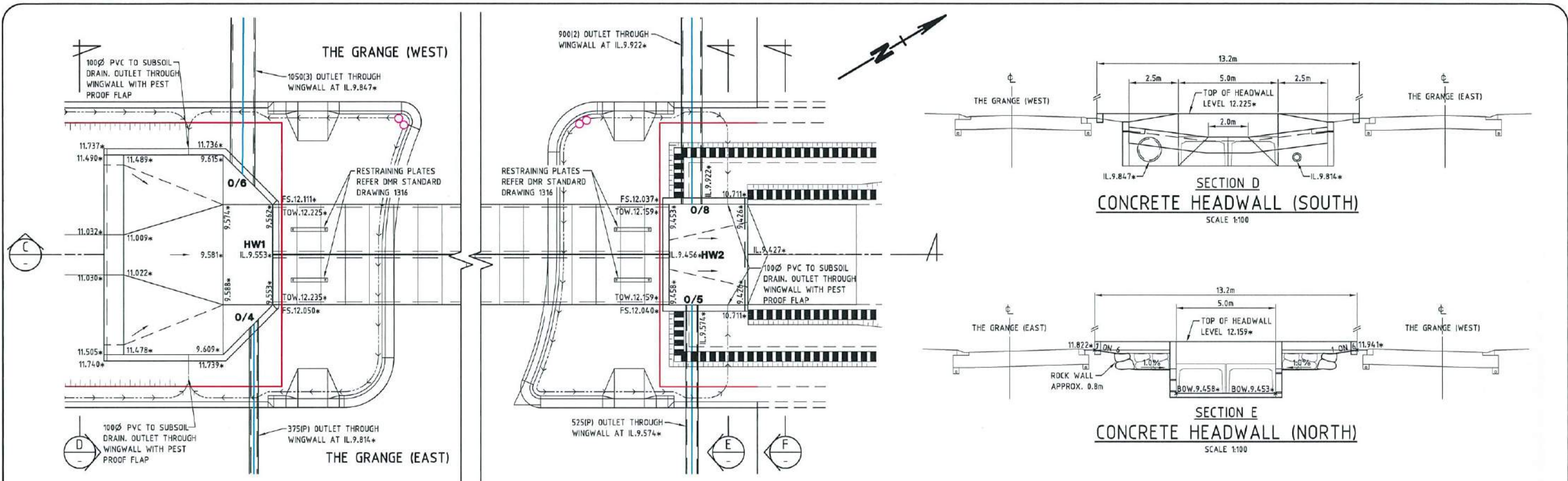
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DALGETY PLACE
84 DENHAM STREET
PO BOX 1110
TOWNSVILLE QLD 4810

Phone: (07) 4772 0666
Fax: (07) 4772 0566
Email: main@udpgroup.com.au
Web: www.udpgroup.com.au

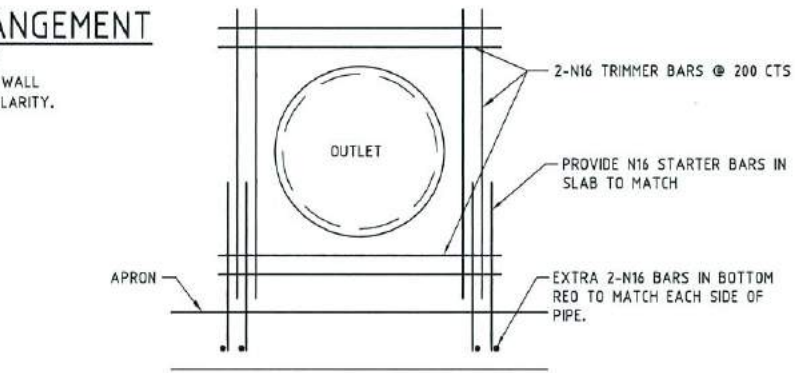
PARKSIDE DEVELOPMENT PTY LTD
GREATER ASCOT PRECINCT 3 - STAGE 301
GREATER ASCOT AVENUE, SHAW
Q2 STORMWATER LONGITUDINAL SECTIONS - SHEET 4 OF 4

DRAWING SIZE: A1
SCALE: XREF
AS SHOWN
DRAWING No.: PAR072/121
REV: A



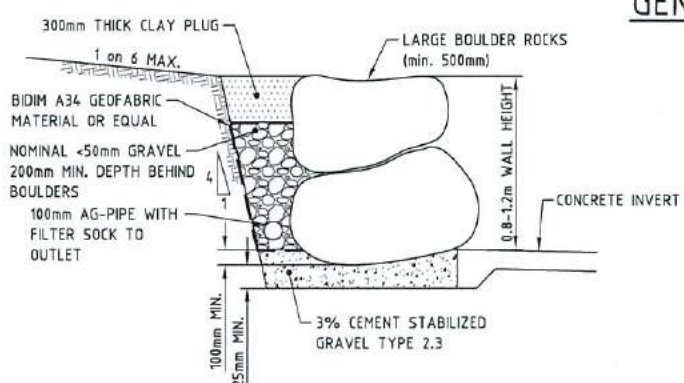
GENERAL ARRANGEMENT

SCALE 1:100
NOTE: FENCE & STRIP WALL REMOVED FOR CLARITY.



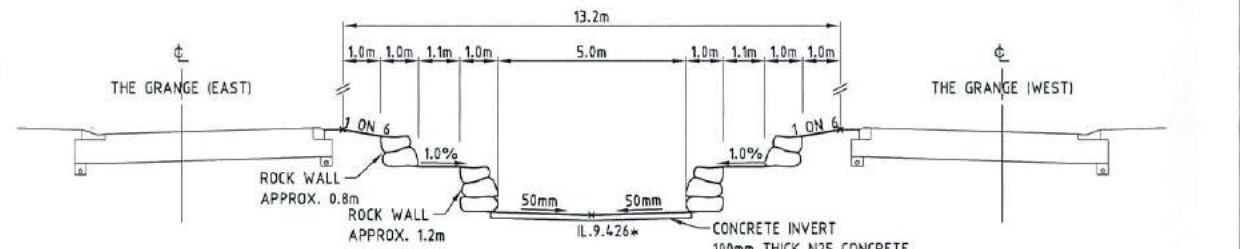
WINGWALL OUTLET REINFORCEMENT DETAIL

SCALE 1:20



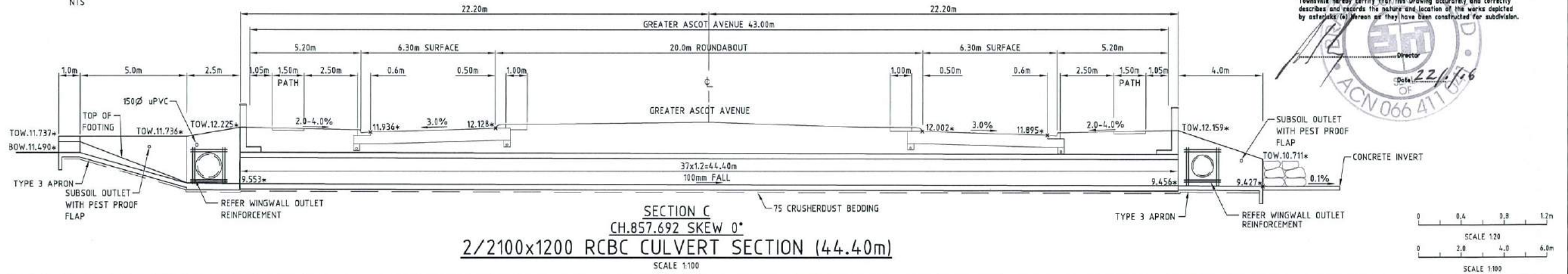
TYPICAL BOULDER RETAINING WALL DETAIL

NTS



SECTION F TYPICAL NORTHERN DRAIN

SCALE 1:100



**SECTION C
CH.857.692 SKEW 0°
2/2100x1200 RCBC CULVERT SECTION (44.40m)**

SCALE 1:100



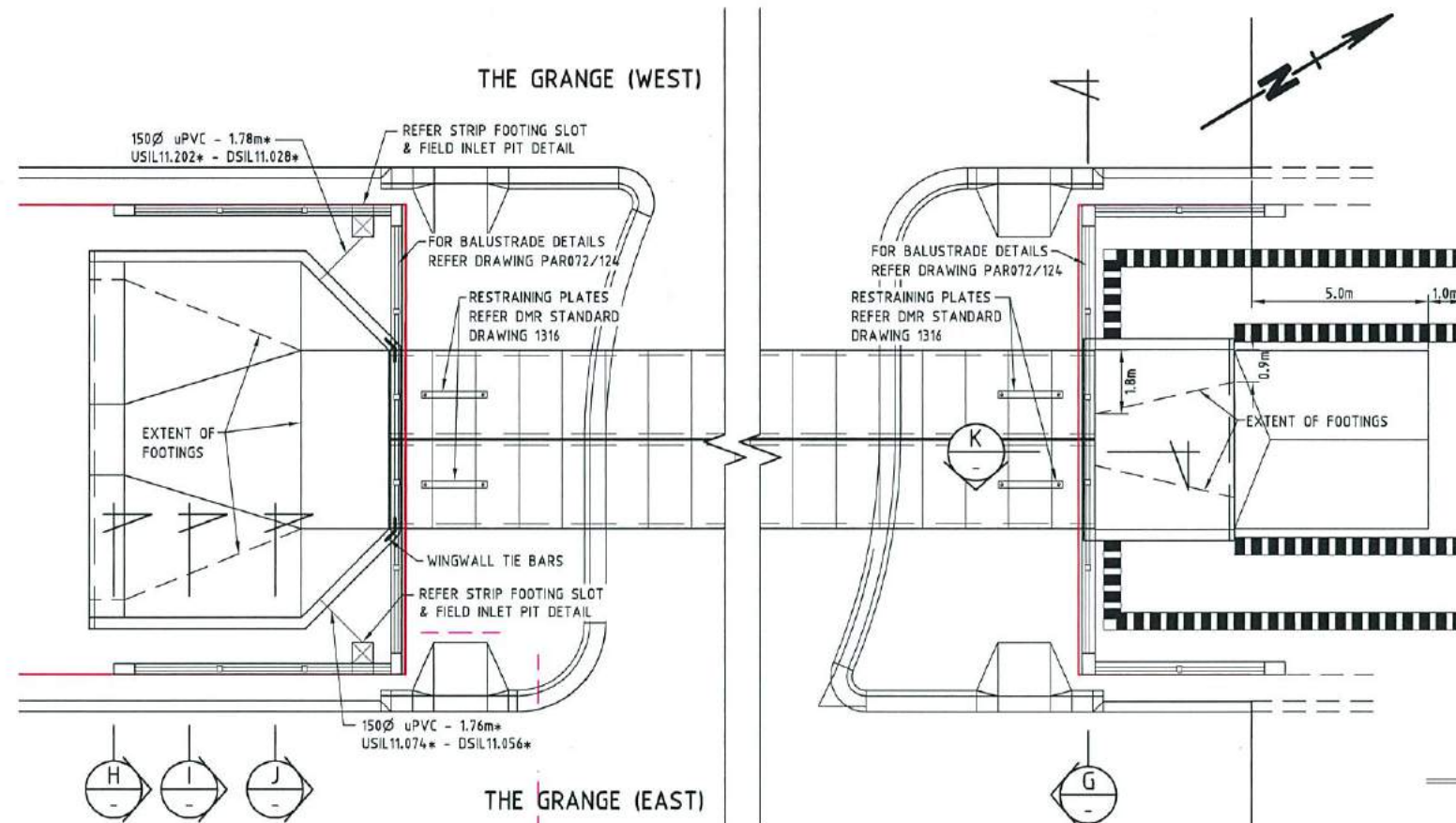
AS-CONSTRUCTED ISSUE	
REV.	DATE
A	20/01/16
AS CONSTRUCTED ISSUE	
REV.	DATE
REVISIONS	

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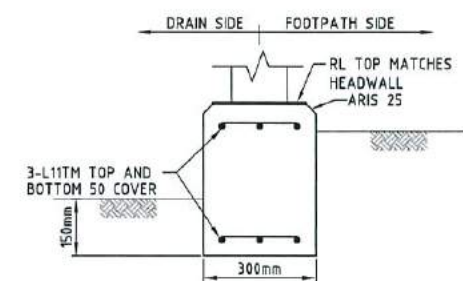
REAL PROPERTY DESCRIPTION:
LOT 5000 ON SP257312
DRAWN: M.MOTTI
DESIGNED: M.MOTTI
CHECKED: G.CAMPBELL
PROJECT MANAGER: P.PETERSEN
DATUM: AHD (DERIVED)
PSM131673
RL.11.997
DALRYMPLE ROAD
PROJECT DIRECTOR: D.GIBSON RPEQ 13230

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PO BOX 1110
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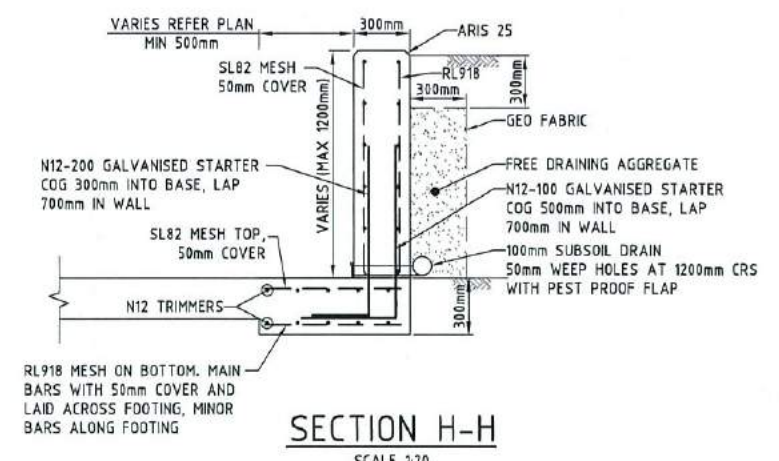
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GREATER ASCOT PRECINCT 3 - STAGE 301			
GREATER ASCOT AVENUE, SHAW			
CULVERT DETAILS PLAN - SHEET 1 OF 3			
DRAWING SIZE	SCALE	AS SHOWN	DRAWING No.
A1	XREF	PAR072-XR-ASCON	PAR072/122
			REV
			A



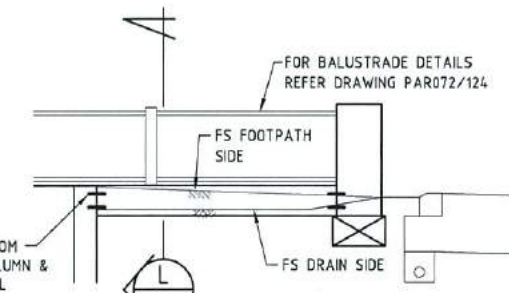
PLAN VIEW
SCALE 1:100



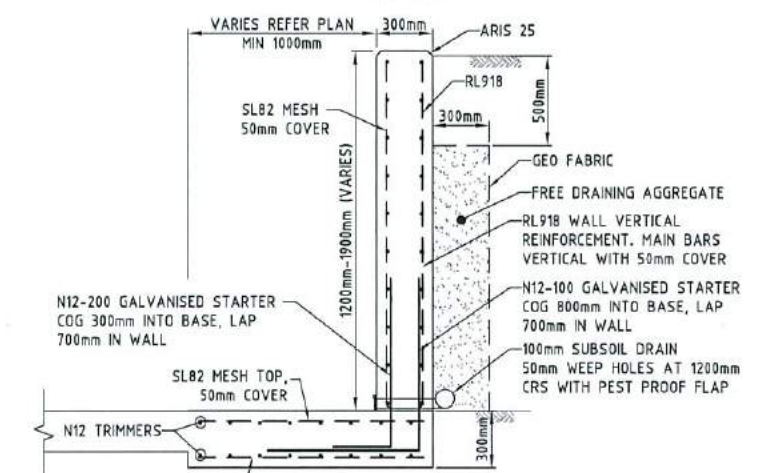
STRIP WALL SECTION
SECTION L-L
SCALE 1:10
LAP OR DOWEL 2-N12 TOP & BOTTOM EACH END INTO COLUMN & CULVERT HEADWALL



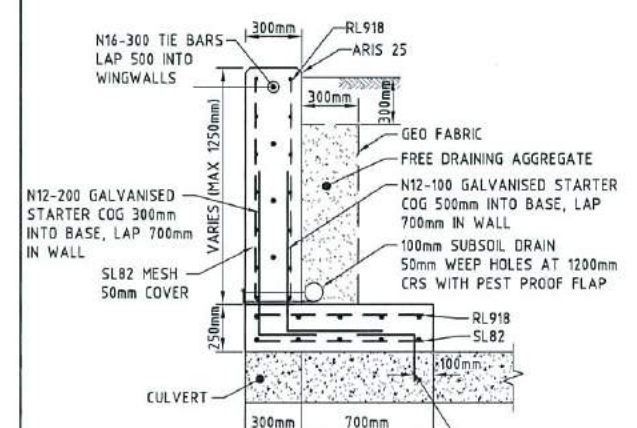
SECTION H-H
SCALE 1:20



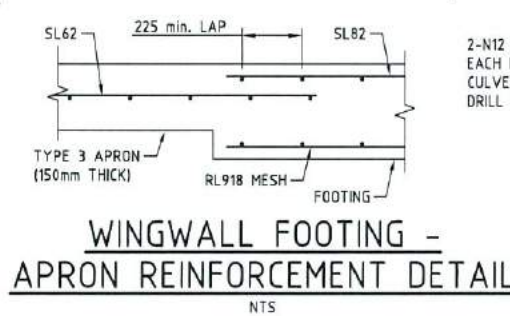
STRIP WALL DETAIL
SECTION G-G
SCALE 1:50



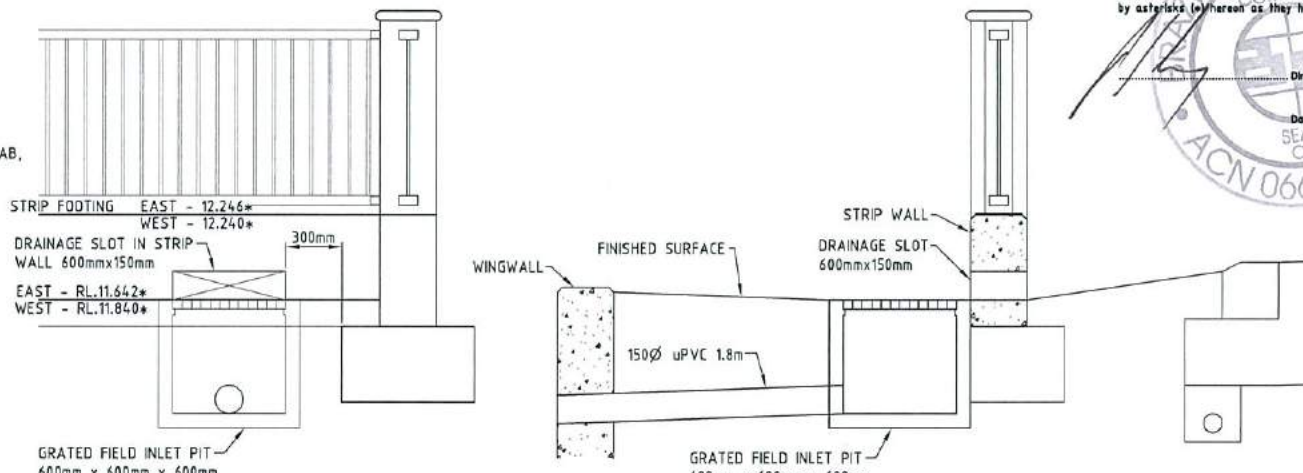
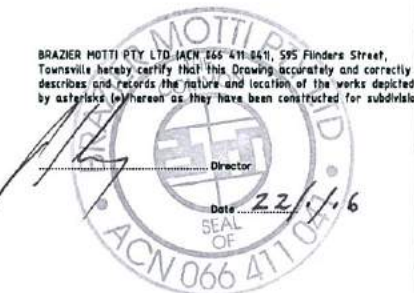
SECTION I-I
SCALE 1:20



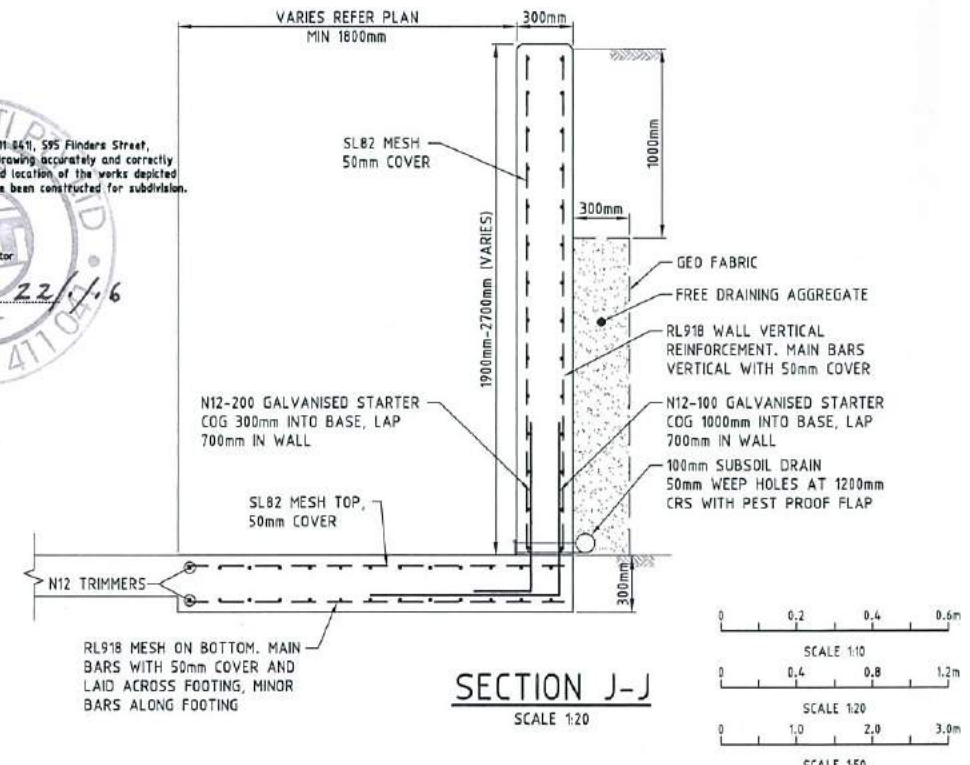
SECTION K-K
SCALE 1:20



WINGWALL FOOTING -
APRON REINFORCEMENT DETAIL
NTS



TYPICAL DRAINAGE SLOT
& FIELD INLET DETAIL
SCALE 1:20



SECTION J-J
SCALE 1:20

- NOTES:**
- FOR CULVERT CONSTRUCTION DETAILS, REFER TO DMR STD DRAWINGS 1316, 1317, 1318 AND 1359.
 - CONCRETE STRENGTH = 32MPa.
 - REINFORCEMENT COVER = 55mm UNLESS NOTED OTHERWISE.
 - RECTANGULAR MESH MAIN BAR DIRECTION:
WALLS = VERTICAL, FOOTING = PERPENDICULAR TO WALL.
 - DESIGN SURCHARGE LOAD BEHIND WALL: 5kPa
 - ALL WEEP HOLES/SUBSOIL DRAIN OUTLETS ARE FITTED WITH PEST PROOF FLAPS TO PREVENT INGRESS OF WATER.

AS-CONSTRUCTED ISSUE	
REV.	DATE REVISIONS
A	20/01/16 AS CONSTRUCTED ISSUE

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595 Flinders Street, Townsville
Phone: 4772 1144 Fax: 4772 2557
Email: townsville@braziermotti.com.au
Job No: 26700/128-01

REAL PROPERTY DESCRIPTION:
LOT 5010 ON SP257312

DRAWN: M.MOTTI	DATUM: AHD (DERIVED)
DESIGNED:	PSM131673
CHECKED: G.CAMPBELL	RL.11.997
PROJECT MANAGER: P.PETERSEN	DALRYMPLE ROAD
	PROJECT DIRECTOR: D.GIBSON RPEQ 13230

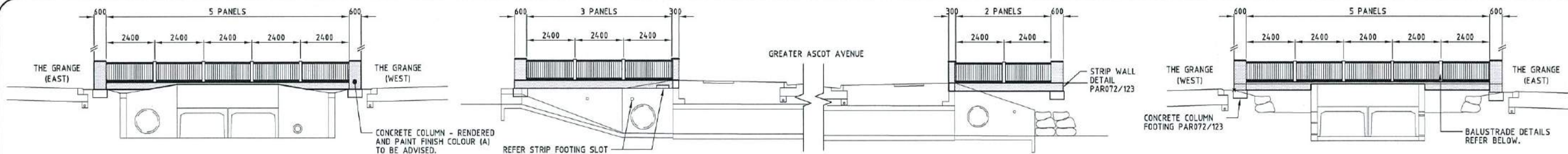
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Phone: (07) 4772 0665
Fax: (07) 4772 0566
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Web: www.udpgroup.com.au

PARKSIDE DEVELOPMENT PTY LTD
GREATER ASCOT PRECINCT 3 - STAGE 301
GREATER ASCOT AVENUE, SHAW
CULVERT DETAILS PLAN - SHEET 2 OF 3

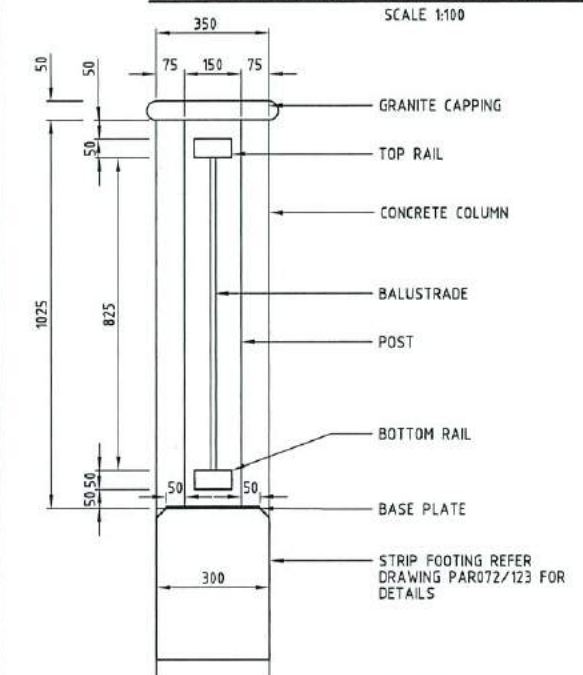
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A1	XREF	PAR072-XR-ASCON	PAR072/123	A



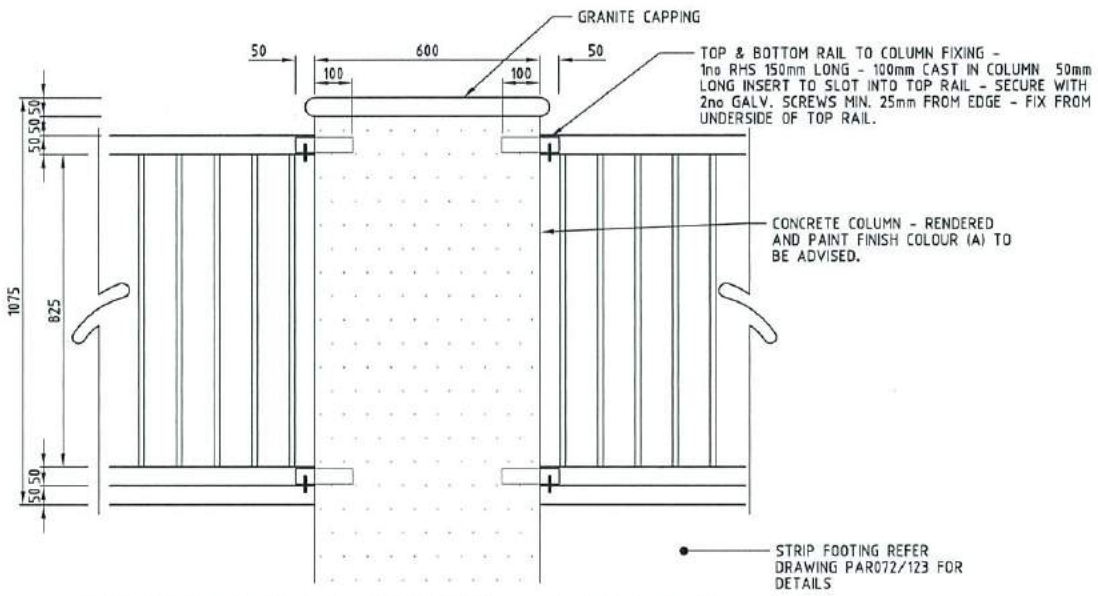
BALUSTRADE ELEVATION (SOUTH)

BALUSTRADE ELEVATION

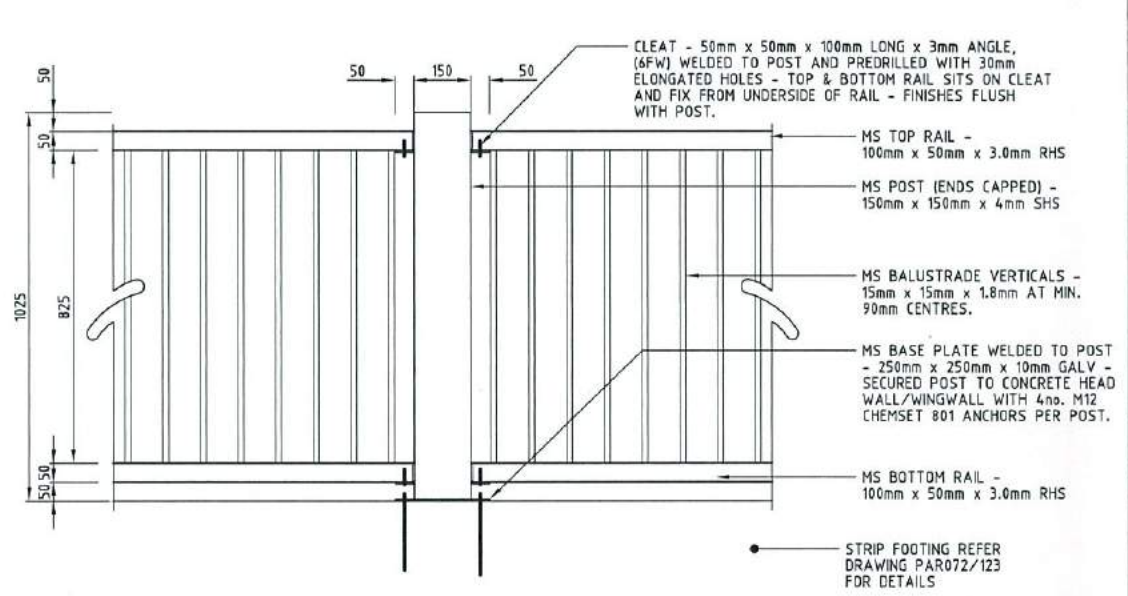
BALUSTRADE ELEVATION (NORTH)



BALUSTRADE - PROFILE

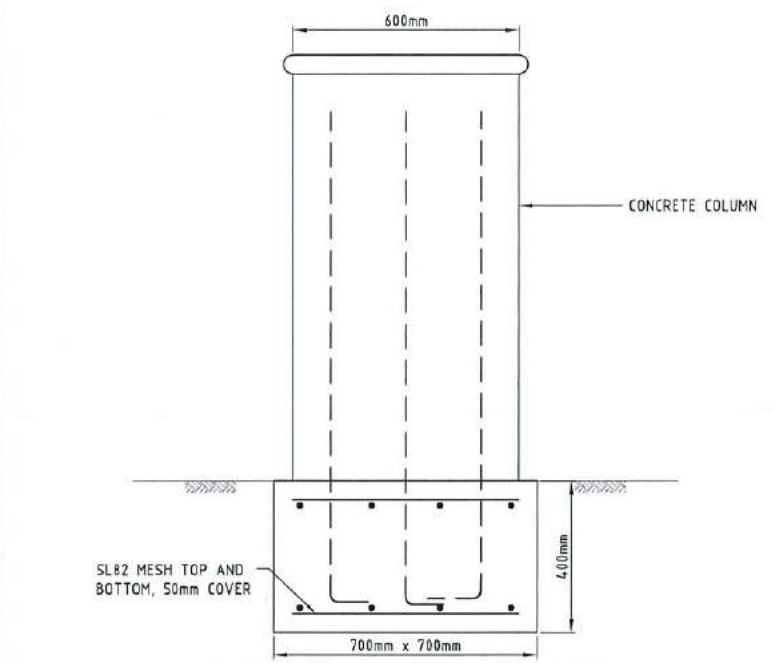


BALUSTRADE TO COLUMN - ELEVATION

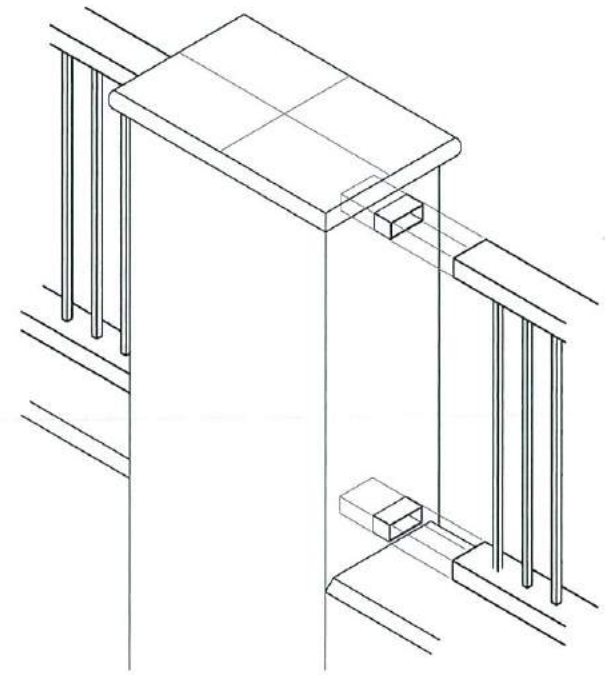


BALUSTRADE TO POST - ELEVATION

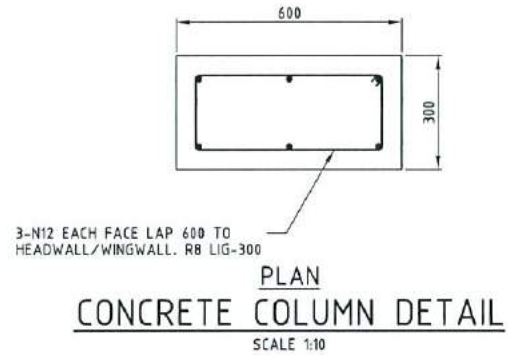
NOTE:
ALL STEEL WORK GALV. MS FINISHED IN POWDER COAT, BLACK.



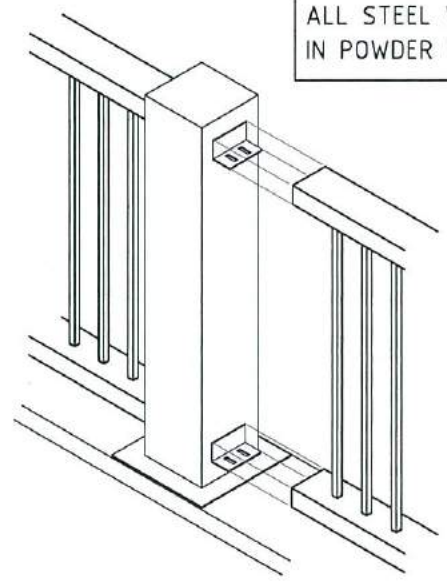
COLUMN FOOTING DETAIL



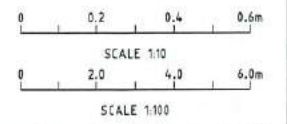
BALUSTRADE TO COLUMN - ISOMETRIC VIEW



PLAN CONCRETE COLUMN DETAIL



BALUSTRADE TO POST - ISOMETRIC VIEW



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Phone: 4772 1144 Fax: 4772 2557
Email: townsville@braziermotti.com.au
Job No: 26700/128-01

REAL PROPERTY DESCRIPTION:
LOT 5000 DN SP257312

DRAWN: M.MOTTI	DATUM: AHD (DERIVED)
DESIGNED:	PSM131673
CHECKED: G.CAMPBELL	RL.11.997
PROJECT MANAGER: P.PETERSEN	DALRYMPLE ROAD
	PROJECT DIRECTOR: D.GIBSON RPEQ 13230

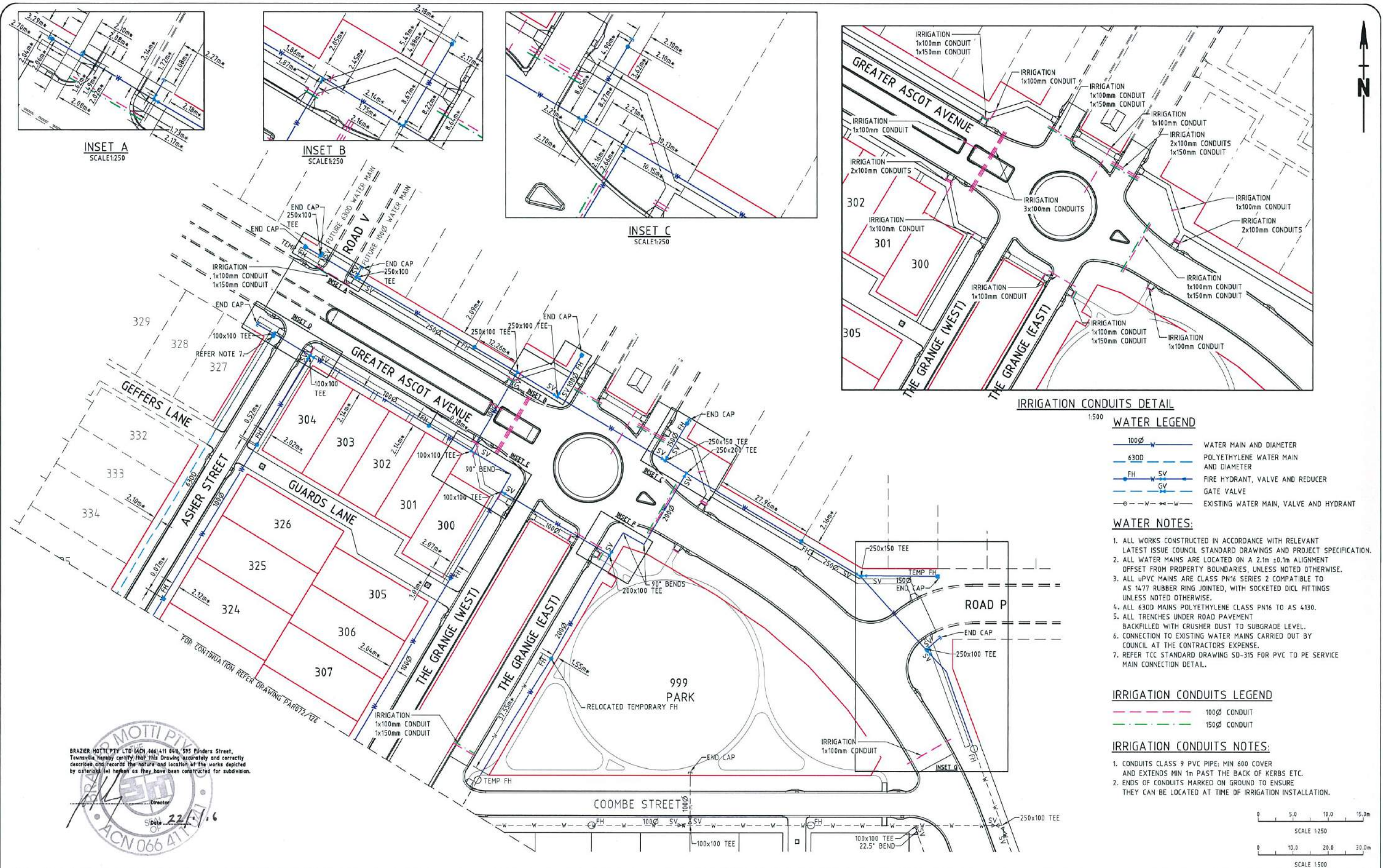
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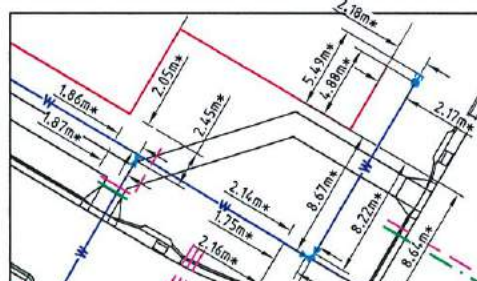
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PARKSIDE DEVELOPMENT PTY LTD
GREATER ASCOT PRECINCT 3 - STAGE 301
GREATER ASCOT AVENUE, SHAW
CULVERT DETAILS PLAN - SHEET 3 OF 3

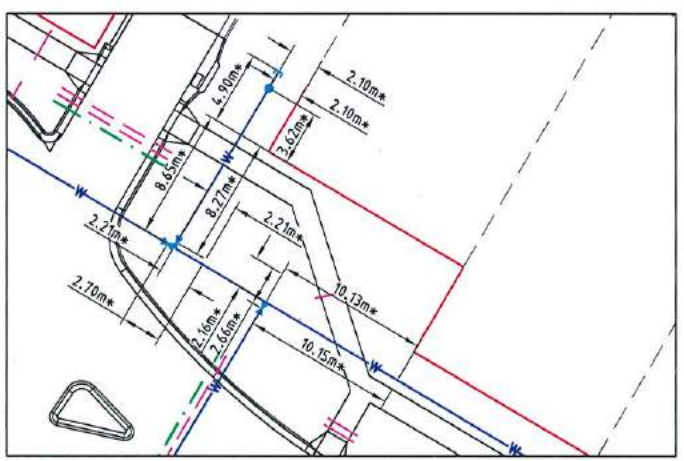
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A1	XREF	-	PAR072/124	A



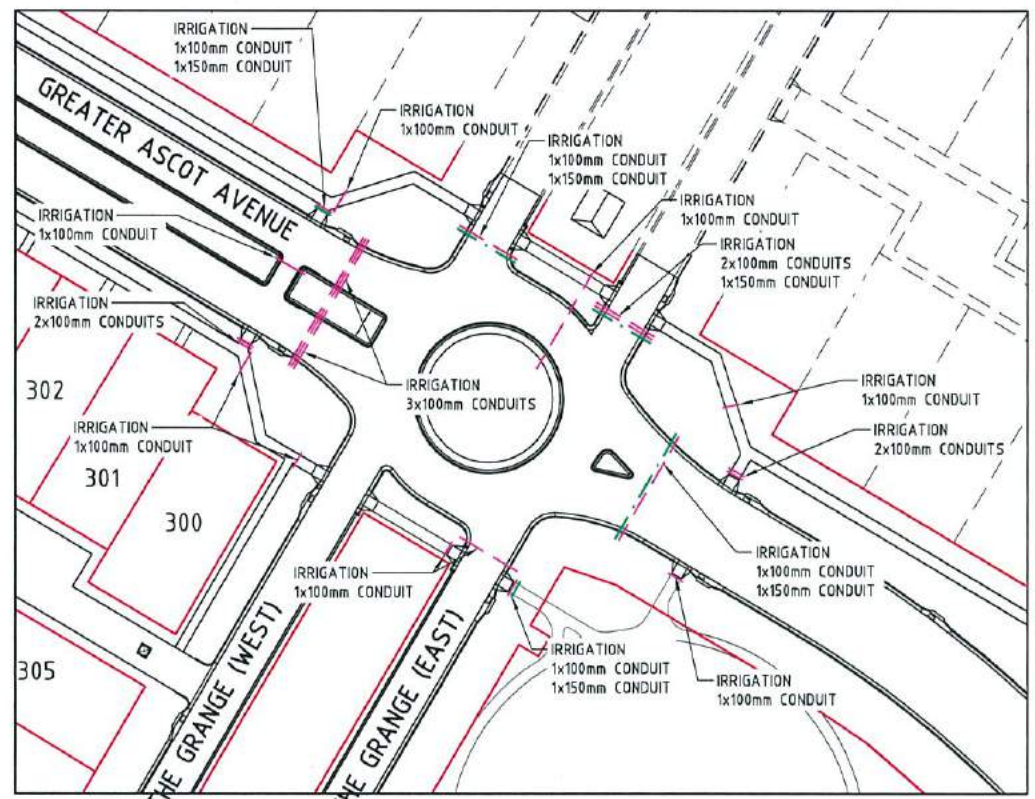
INSET A
SCALE:1:250



INSET B
SCALE:1:250



INSET C
SCALE:1:250



IRRIGATION CONDUITS DETAIL
1:500

WATER LEGEND

- 100Ø WATER MAIN AND DIAMETER
- 630Ø POLYETHYLENE WATER MAIN AND DIAMETER
- FH FIRE HYDRANT, VALVE AND REDUCER
- SV GATE VALVE
- EXISTING WATER MAIN, VALVE AND HYDRANT

WATER NOTES:

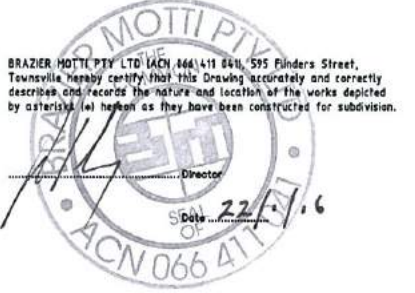
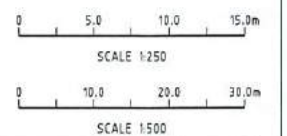
1. ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND PROJECT SPECIFICATION.
2. ALL WATER MAINS ARE LOCATED ON A 2.1m ±0.1m ALIGNMENT OFFSET FROM PROPERTY BOUNDARIES, UNLESS NOTED OTHERWISE.
3. ALL uPVC MAINS ARE CLASS PN16 SERIES 2 COMPATIBLE TO AS 1477 RUBBER RING JOINTED, WITH SOCKETED DICL FITTINGS UNLESS NOTED OTHERWISE.
4. ALL 630 MAINS POLYETHYLENE CLASS PN16 TO AS 4130.
5. ALL TRENCHES UNDER ROAD PAVEMENT BACKFILLED WITH CRUSHER DUST TO SUBGRADE LEVEL.
6. CONNECTION TO EXISTING WATER MAINS CARRIED OUT BY COUNCIL AT THE CONTRACTORS EXPENSE.
7. REFER TCC STANDARD DRAWING SD-315 FOR PVC TO PE SERVICE MAIN CONNECTION DETAIL.

IRRIGATION CONDUITS LEGEND

- 100Ø CONDUIT
- 150Ø CONDUIT

IRRIGATION CONDUITS NOTES:

1. CONDUITS CLASS 9 PVC PIPE; MIN 600 COVER AND EXTENDS MIN 1m PAST THE BACK OF KERBS ETC.
2. ENDS OF CONDUITS MARKED ON GROUND TO ENSURE THEY CAN BE LOCATED AT TIME OF IRRIGATION INSTALLATION.



AS-CONSTRUCTED ISSUE	
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Job No: 26700/128-01

REAL PROPERTY DESCRIPTION:
LOT 5000 ON SP257312

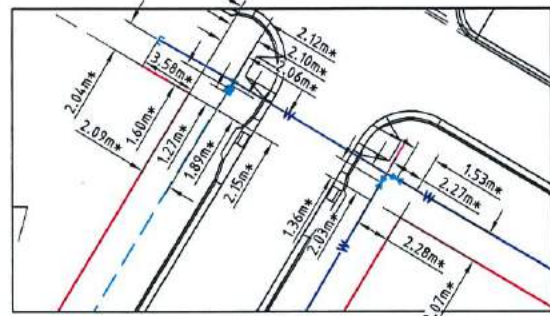
DRAWN: M.MOTTI	DATUM: AHD (DERIVED)
DESIGNED:	PSM131673
CHECKED: G.CAMPBELL	RL.11.997
PROJECT MANAGER: P.PETERSEN	DALRYMPLE ROAD
	PROJECT DIRECTOR: D.GIBSON RPEQ 13230

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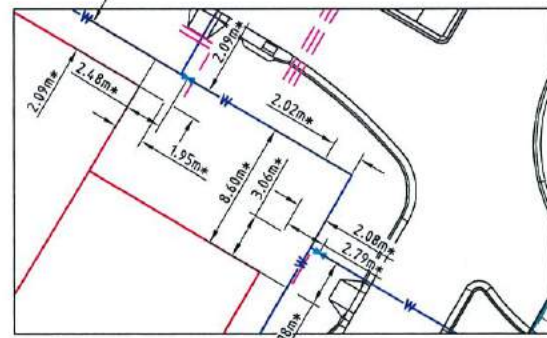
DALGETY PLACE
84 DENHAM STREET
PO BOX 1110
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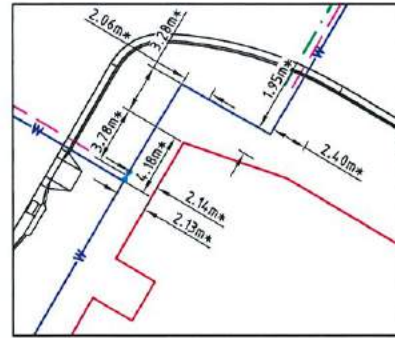
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GREATER ASCOT AVENUE, SHAW		SCALE		DRAWING No.		REV	
WATER RETICULATION PLAN - SHEET 1 OF 2		A1		PAR072-XR-ASCON		A	



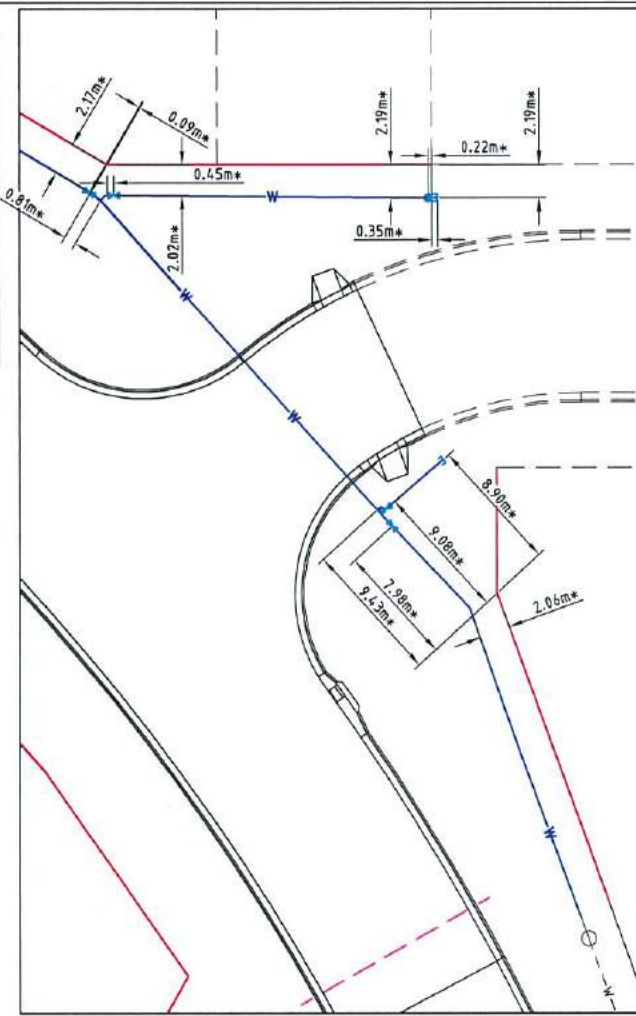
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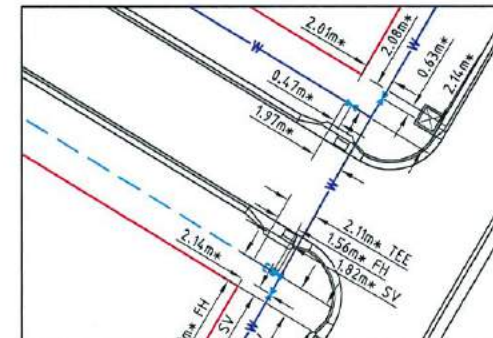
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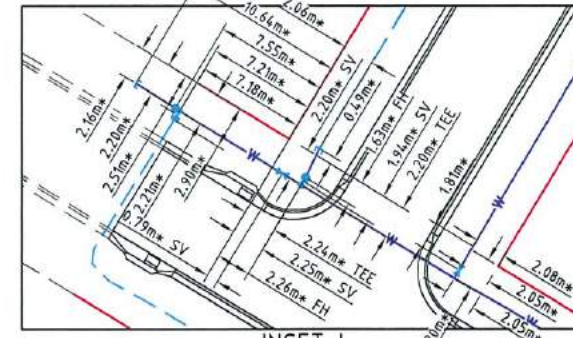
INSET F
SCALE:1:250



INSET G
SCALE:1:250



INSET H
SCALE:1:250



INSET I
SCALE:1:250

WATER LEGEND

- 100Ø WATER MAIN AND DIAMETER
- 630D POLYETHYLENE WATER MAIN AND DIAMETER
- FH SV FIRE HYDRANT, VALVE AND REDUCER
- GV GATE VALVE
- EXISTING WATER MAIN, VALVE AND HYDRANT

WATER NOTES:

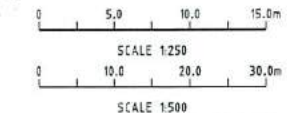
1. ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND PROJECT SPECIFICATION.
2. ALL WATER MAINS ARE LOCATED ON A 2.1m ±0.1m ALIGNMENT OFFSET FROM PROPERTY BOUNDARIES, UNLESS NOTED OTHERWISE.
3. ALL UPVC MAINS ARE CLASS PN16 SERIES 2 COMPATIBLE TO AS 1477 RUBBER RING JOINTED, WITH SOCKETED DICI FITTINGS UNLESS NOTED OTHERWISE.
4. ALL 630D MAINS POLYETHYLENE CLASS PN16 TO AS 4130.
5. ALL TRENCHES UNDER ROAD PAVEMENT BACKFILLED WITH CRUSHER DUST TO SUBGRADE LEVEL.
6. CONNECTION TO EXISTING WATER MAINS CARRIED OUT BY COUNCIL AT THE CONTRACTORS EXPENSE.
7. REFER TCC STANDARD DRAWING SD-315 FOR PVC TO PE SERVICE MAIN CONNECTION DETAIL.

IRRIGATION CONDUITS LEGEND

- 100Ø CONDUIT
- 150Ø CONDUIT

IRRIGATION CONDUITS NOTES:

1. CONDUITS CLASS 9 PVC PIPE; MIN 600 COVER AND EXTENDS MIN 1m PAST THE BACK OF KERBS ETC.
2. ENDS OF CONDUITS MARKED ON GROUND TO ENSURE THEY CAN BE LOCATED AT TIME OF IRRIGATION INSTALLATION.



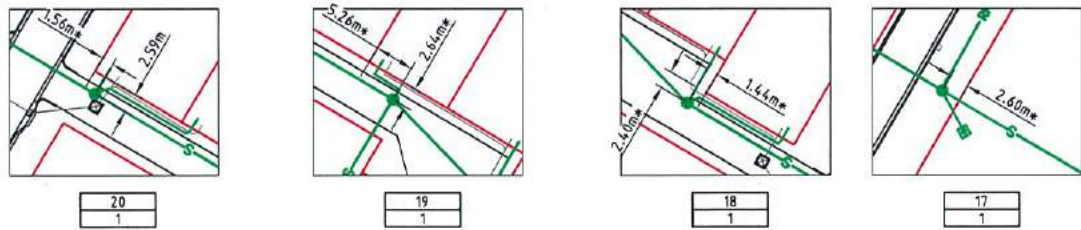
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REV.	DATE
A	20/01/16 AS CONSTRUCTED ISSUE

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DESIGNED:
CHECKED: G.CAMPBELL
PROJECT MANAGER: P.PETERSEN
DATUM: AHD (DERIVED)
PSM131673
RL.11.997
DALRYMPLE ROAD
PROJECT DIRECTOR: D.GIBSON RPEQ 13230

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Excellence Through Partnerships
DALGETY PLACE
B4 DENHAM STREET
PO BOX 1110
TOWNSVILLE QLD 4810
Phone: (07) 4772 0868
Fax: (07) 4772 0566
Email: main@udpgroup.com.au
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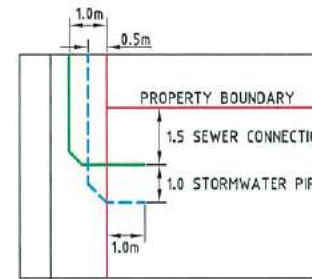
PARKSIDE DEVELOPMENT PTY LTD
GREATER ASCOT PRECINCT 3 - STAGE 301
GREATER ASCOT AVENUE, SHAW
WATER RETICULATION PLAN - SHEET 2 OF 2
DRAWING SIZE: A1
SCALE: AS SHOWN
XREF: PAR072-XR-ASCON
DRAWING No.: PAR072/126
REV: A



SEWER MANHOLE DETAILS

SEWER LEGEND:

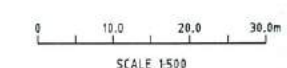
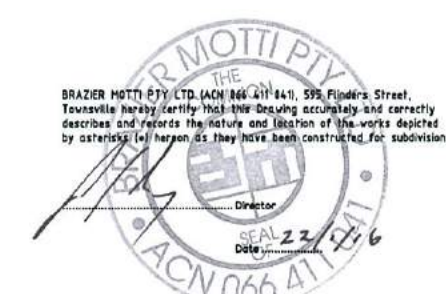
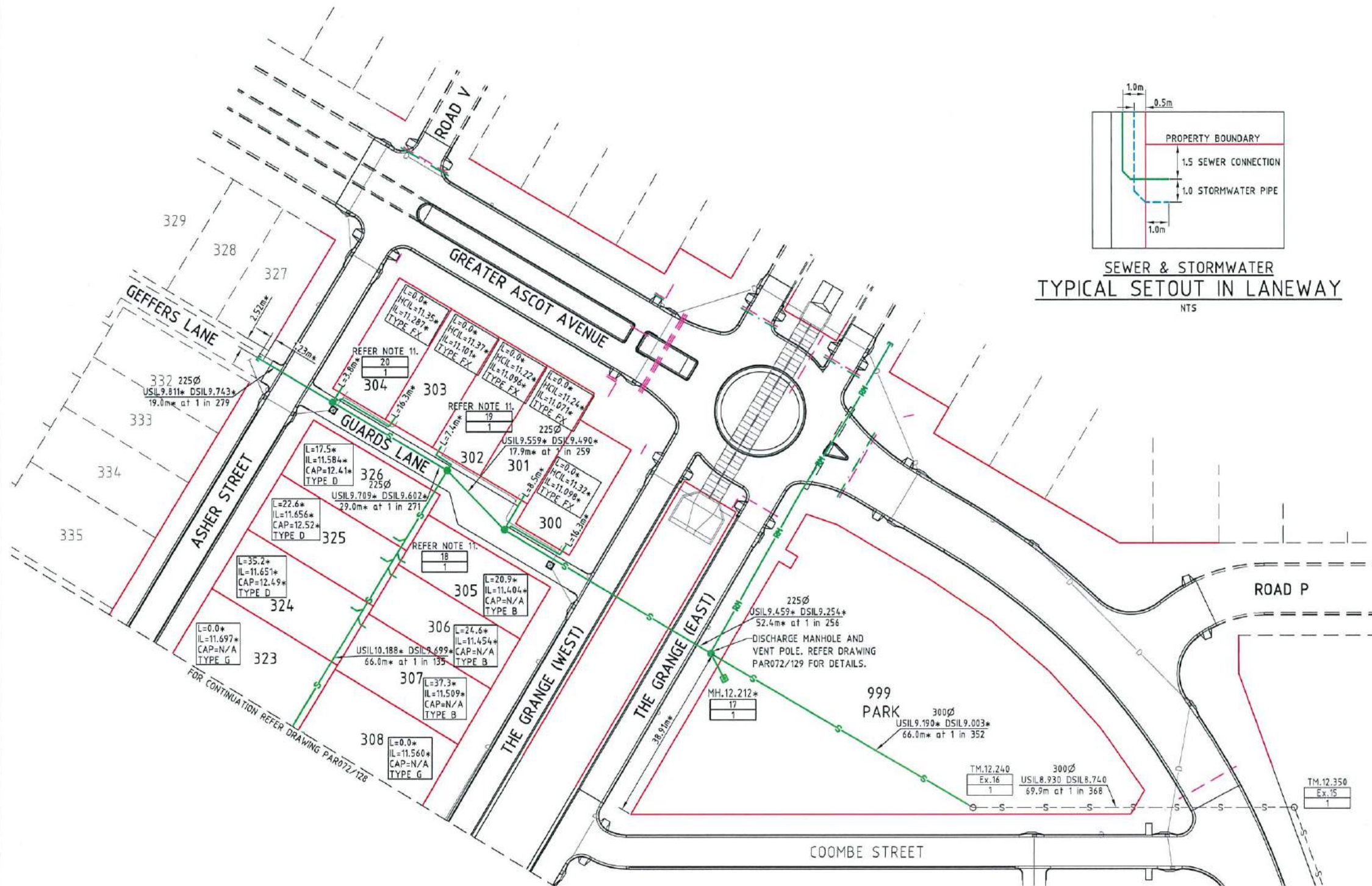
- SEWER MAIN AND MANHOLE
- EZI PIT WITH TYPE G HOUSE CONNECTION
- SEWER RISING MAIN (150 PVC)
- DN100 SEWER HOUSE DRAIN
- EXISTING SEWER MAIN AND MANHOLE
- CERTIFIED MANHOLE TYPE AND MANHOLE RL
MANHOLE NUMBER
LINE NUMBER
- HOUSE CONNECTION (X&Y DIMENSIONS AS PER
RELEVANT COUNCIL STANDARD DRAWING U.N.O.)
CERTIFIED DISTANCE FROM DOWNSTREAM MANHOLE
CERTIFIED INVERT LEVEL OF HOUSE CONNECTION POINT
CERTIFIED LEVEL OF CAP FOR 'TYPE D' CONNECTION
HOUSE CONNECTION TYPE
TYPE A - ACROSS BOUNDARY 'SLOPE DROP'
TYPE B - ACROSS BOUNDARY 'JUMP UP'
TYPE C - WITHIN LOT 'DIRECT CONNECTION'
TYPE D - WITHIN LOT 'JUMP UP'
TYPE E - MANHOLE 'DIRECT CONNECTION'
TYPE F - MANHOLE 'INTERNAL DROP'
TYPE FX - MANHOLE 'JUMP UP' EXTENDED (LANES)
TYPE G - 100mm dia. POLY PIT CONNECTION
TYPE EX - EXISTING HOUSE CONNECTION



SEWER & STORMWATER
TYPICAL SETOUT IN LANEWAY
NTS

SEWER NOTES:

1. ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND PROJECT SPECIFICATION
2. ALL SEWERAGE MAINS LOCATED ON 1.5m ±0.1m ALIGNMENT OFFSET FROM THE PROPERTY BOUNDARIES, UNLESS NOTED OTHERWISE.
3. ALL SEWERAGE MAINS DN150, UNLESS NOTED OTHERWISE.
4. ALL DN150 AND DN225 SEWERAGE MAINS UPVC DWV S/NB, UNLESS NOTED OTHERWISE.
5. ALL DN100 HOUSE DRAINS UPVC DWV S/NB, UNLESS NOTED OTHERWISE. (MAXIMUM LENGTH 10.0m)
6. ALL TRENCHES UNDER ROAD PAVEMENT BACKFILLED WITH CRUSHER DUST TO SUBGRADE LEVEL.
7. CONNECTION/ALTERATIONS TO EXISTING SEWERAGE INFRASTRUCTURE CARRIED OUT BY COUNCIL AT THE CONTRACTORS EXPENSE.
8. ALL MANHOLE INTERNAL DROP 'CORES' ARE NOT LOCATED WITHIN 150mm OF PRECAST WALL JOINTS. IF CLASH OCCURS SUPERINTENDENT TO PROVIDE FURTHER INSTRUCTIONS PRIOR TO MANHOLE BEING 'CORED'.
9. ALL HOUSE DRAINS OVER 10m IN LENGTH DN150.
10. EXTENDED HOUSE DRAINS IN LANES LOCATED ON 1.0m ±0.1m ALIGNMENT OFFSET FROM PROPERTY BOUNDARIES UNO.
11. LANEWAY MANHOLE LIDS CONSTRUCTED FLUSH WITH CONCRETE LANEWAYS WITH TRAFFICABLE LIDS, CONTRACTOR TO VERIFY LEVELS ON SITE.
12. PRESSURE MAIN DISCHARGE AND VENT DETAILS REFER COUNCIL STANDARD DRAWING SD-440 AND SD-450.



AS-CONSTRUCTED ISSUE		
REV.	DATE	REVISIONS
A	20/01/16	AS CONSTRUCTED ISSUE

brazier motti
www.braziermotti.com.au
595 Flinders Street, Townsville
Phone: 4772 1144 Fax: 4772 2557
Email: townsville@braziermotti.com.au
Job No: 26700/128-01

REAL PROPERTY DESCRIPTION:
LOT 5000 ON SP257312

DRAWN: M.MOTTI	DATUM: AHD (DERIVED)
DESIGNED:	PSM131673
CHECKED: G.CAMPBELL	RL.11.997
PROJECT MANAGER: P.PETERSEN	DALRYMPLE ROAD
	PROJECT DIRECTOR: D.GIBSON RPEQ 13230

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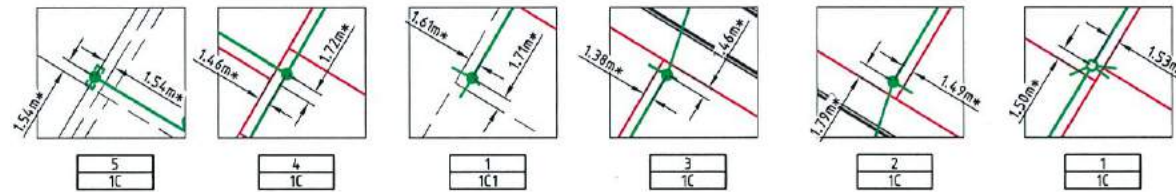
DALGETY PLACE
84 DENHAM STREET
PO BOX 1110
TOWNSVILLE QLD 4810

Phone: (07) 4772 0666
Fax: (07) 4772 0566
Email: main@udpgroup.com.au
Web: www.udpgroup.com.au

PARKSIDE DEVELOPMENT PTY LTD

GREATER ASCOT PRECINCT 3 - STAGE 301
GREATER ASCOT AVENUE, SHAW
SEWERAGE RETICULATION PLAN - SHEET 1 OF 2

DRAWING SIZE A1	SCALE AS SHOWN	DRAWING No. PAR072/127	REV A
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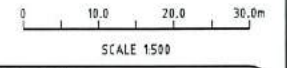
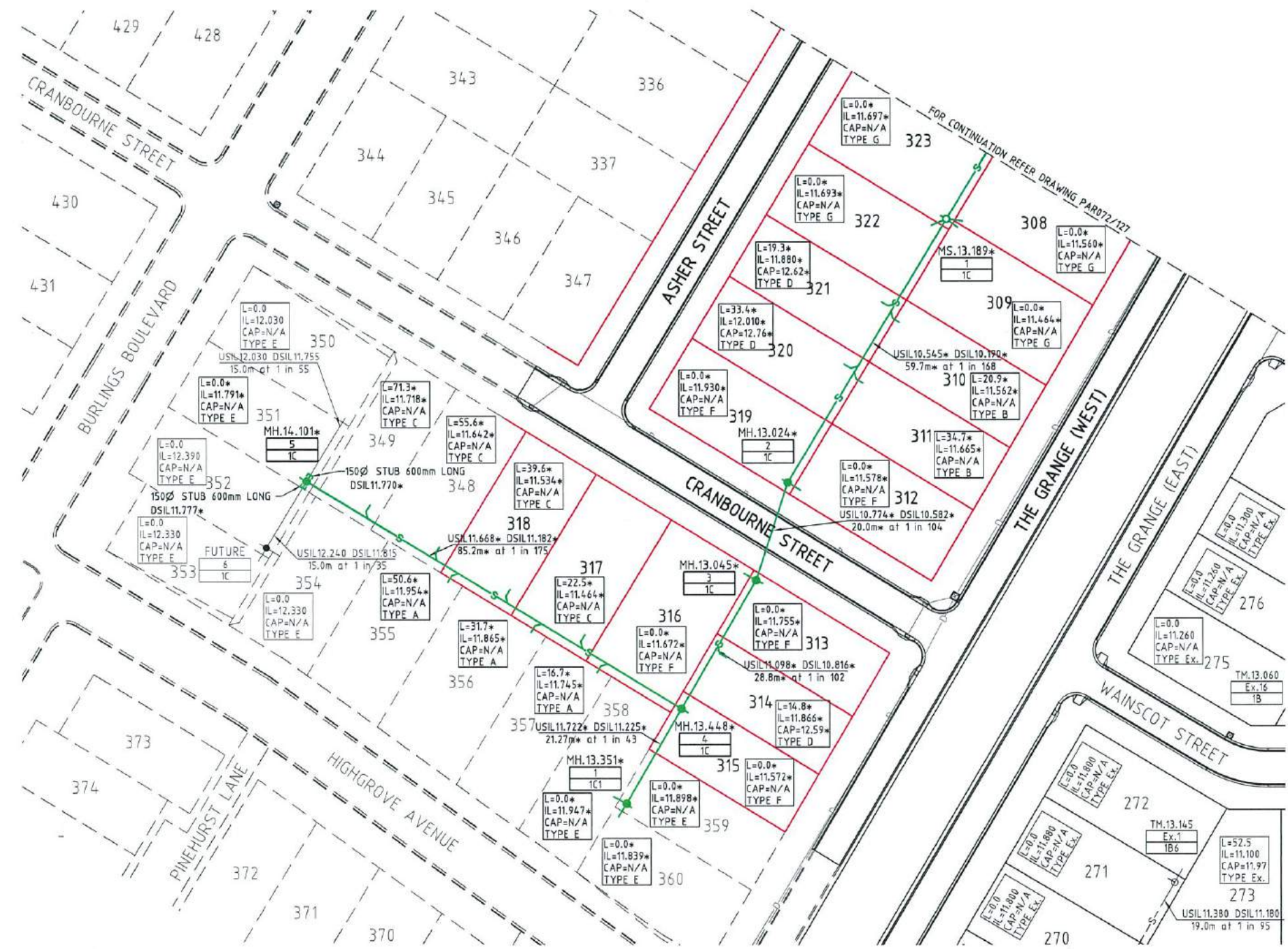
SEWER MANHOLE DETAILS

SEWER LEGEND:

- SEWER MAIN AND MANHOLE
- EZI PIT WITH TYPE G HOUSE CONNECTION
- SEWER RISING MAIN
- DN100 SEWER HOUSE DRAIN
- EXISTING SEWER MAIN AND MANHOLE
- CERTIFIED MANHOLE TYPE AND MANHOLE RL
MANHOLE NUMBER
LINE NUMBER
- HOUSE CONNECTION (X&Y DIMENSIONS AS PER RELEVANT COUNCIL STANDARD DRAWING U.N.O.)
- CERTIFIED DISTANCE FROM DOWNSTREAM MANHOLE
CERTIFIED INVERT LEVEL OF HOUSE CONNECTION POINT
CERTIFIED LEVEL OF CAP FOR 'TYPE D' CONNECTION
HOUSE CONNECTION TYPE
TYPE A - ACROSS BOUNDARY 'SLOPE DROP'
TYPE B - ACROSS BOUNDARY 'JUMP UP'
TYPE C - WITHIN LOT 'DIRECT CONNECTION'
TYPE D - WITHIN LOT 'JUMP UP'
TYPE E - MANHOLE 'DIRECT CONNECTION'
TYPE F - MANHOLE 'INTERNAL DROP'
TYPE FX - MANHOLE 'JUMP UP' EXTENDED (LANES)
TYPE G - 100mm dia. POLY PIT CONNECTION
TYPE Ex. - EXISTING HOUSE CONNECTION

SEWER NOTES:

1. ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND PROJECT SPECIFICATION
2. ALL SEWERAGE MAINS LOCATED ON 1.5m ±0.1m ALIGNMENT OFFSET FROM THE PROPERTY BOUNDARIES, UNLESS NOTED OTHERWISE.
3. ALL SEWERAGE MAINS DN150, UNLESS NOTED OTHERWISE.
4. ALL DN150 AND DN225 SEWERAGE MAINS UPVC DWV S/NB, UNLESS NOTED OTHERWISE.
5. ALL DN100 HOUSE DRAINS UPVC DWV S/N10, UNLESS NOTED OTHERWISE. (MAXIMUM LENGTH 10.0m)
6. ALL TRENCHES UNDER ROAD PAVEMENT BACKFILLED WITH CRUSHER DUST TO SUBGRADE LEVEL.
7. CONNECTION/ALTERATIONS TO EXISTING SEWERAGE INFRASTRUCTURE CARRIED OUT BY COUNCIL AT THE CONTRACTORS EXPENSE.
8. ALL MANHOLE INTERNAL DROP 'CORES' ARE NOT LOCATED WITHIN 150mm OF PRECAST WALL JOINTS. IF CLASH OCCURS SUPERINTENDENT TO PROVIDE FURTHER INSTRUCTIONS PRIOR TO MANHOLE BEING 'CORED'.
9. ALL HOUSE DRAINS OVER 10m IN LENGTH DN150.
10. EXTENDED HOUSE DRAINS IN LANES LOCATED ON 1.0m ±0.1m ALIGNMENT OFFSET FROM PROPERTY BOUNDARIES UNO.
11. LANEWAY MANHOLE LIDS CONSTRUCTED FLUSH WITH CONCRETE LANEWAYS WITH TRAFFICABLE LIDS. CONTRACTOR TO VERIFY LEVELS ON SITE.
12. PRESSURE MAIN DISCHARGE AND VENT DETAILS REFER COUNCIL STANDARD DRAWING SD-440 AND SD-450.



AS-CONSTRUCTED ISSUE	
REV.	DATE
A	20/01/16 AS CONSTRUCTED ISSUE
REVISIONS	

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Job No: 26700/128-01

REAL PROPERTY DESCRIPTION:
LOT 5000 ON SP257312

DRAWN: M.MOTTI
DESIGNED:
CHECKED: G.CAMPBELL
PROJECT MANAGER: P.PETERSEN

DATUM: AHD (DERIVED)
PSM131673
RL.11.997
DALRYMPLE ROAD

PROJECT DIRECTOR: D.GIBSON RPEQ 13230

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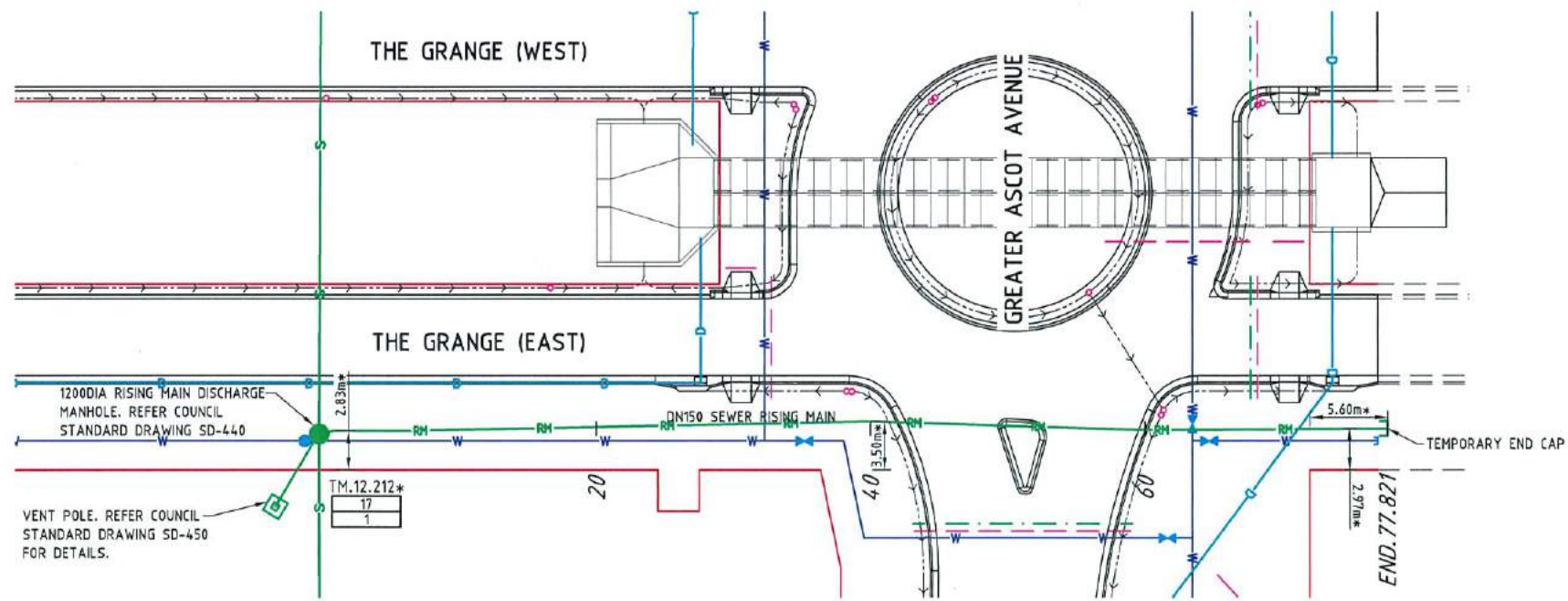
DALGETY PLACE
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PO BOX 1110
TOWNSVILLE QLD 4810

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PARKSIDE DEVELOPMENT PTY LTD
GREATER ASCOT PRECINCT 3 - STAGE 301
GREATER ASCOT AVENUE, SHAW
SEWERAGE RETICULATION PLAN - SHEET 2 OF 2

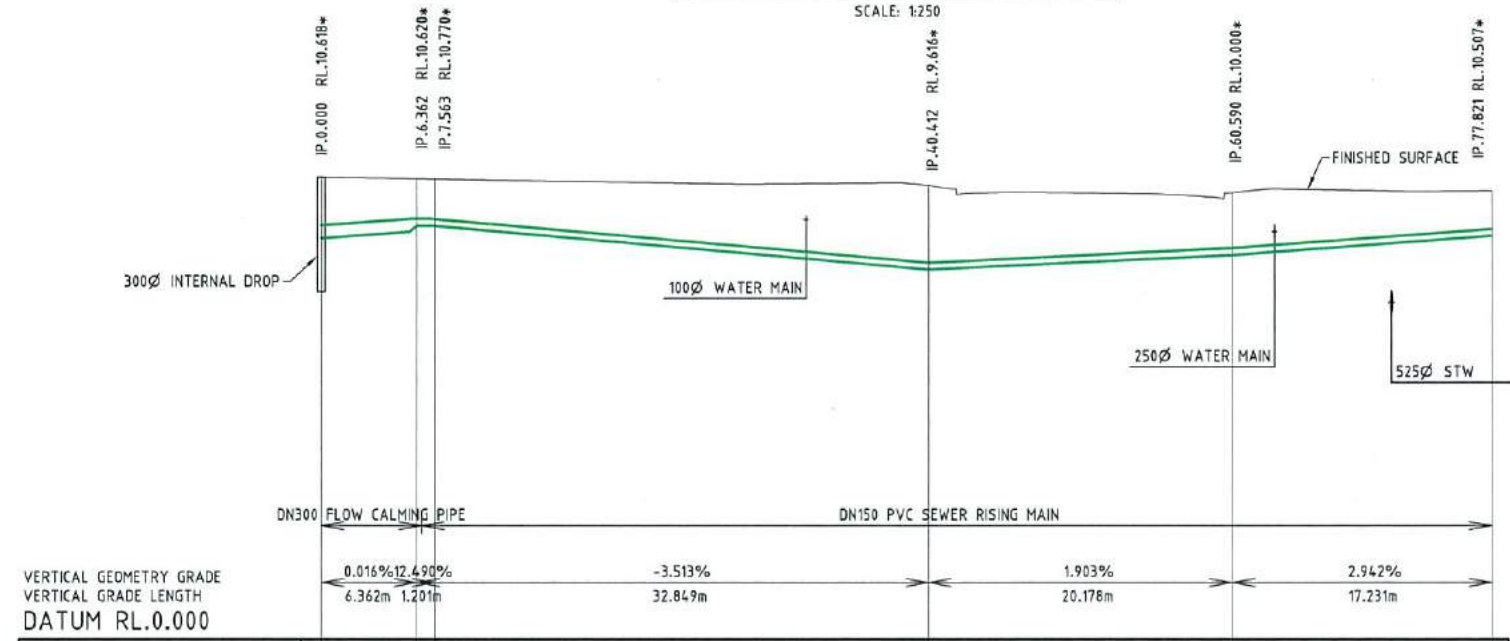
DRAWING SIZE: A1
SCALE: AS SHOWN
XREF: PAR072-XR-ASC0N

DRAWING No. PAR072/128
REV A



RISING MAIN LAYOUT PLAN

SCALE: 1:250



VERTICAL GEOMETRY GRADE		VERTICAL GRADE LENGTH		DATUM RL.0.000	
DESIGN SURFACE LEVEL	12.18*	12.27*	12.20*	11.96*	11.75*
DEPTH TO INVERT	-1.561	-1.590	-1.430	-2.344	-1.750
RISING MAIN INVERT LEVEL	10.619*	10.620*	10.770*	9.616*	10.000*
RISING MAIN CHAINAGE	0	6.362	7.563	40.412	60.590

RISING MAIN LONGITUDINAL SECTION

SCALE: 1:100 VERTICAL; 1:250 HORIZONTAL

LEGEND:

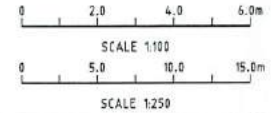
- RM SEWER RISING MAIN
- S SEWER MAIN & MANHOLE
- - - - - EXISTING SEWER MAIN

NOTES:

1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH COUNCIL STANDARD SEWER DRAWINGS AND WSA STANDARD DRAWINGS.
2. SEWAGE RISING MAIN DN150 POLYETHYLENE CLASS PN12.5 TO AS/NZ 4130.
3. ALL DIOL FITTINGS TO AS/NZ 2280.
4. CRUSHER DUST BACKFILL TO TRENCH FOR ROAD RESERVE CROSSINGS OVER 150mm SAND SURROUND.
5. MAXIMUM PIPE DEFLECTIONS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
6. REFER STANDARD DRAWINGS FOR TRENCH DETAILS AND THRUST BLOCKS. THRUST BLOCKS SIZED BASED ON 900kPA TEST PRESSURE AND 50kPA BEARING CAPACITY UNLESS OTHERWISE DIRECTED BY SUPERINTENDENT.
7. MAINTAIN MINIMUM CLEARANCES TO SERVICES: WATER MAIN = 500mm AND STORMWATER = 300mm.

BRAZIER MOTTI PTY LTD (ACN 066 411 641), 595 Flinders Street, Townsville hereby certify that this Drawing accurately and correctly describes and records the nature and location of the works depicted by asterisks (*) hereon as they have been constructed for subdivision.

Director
Date: 22/1/16



AS-CONSTRUCTED ISSUE

REV.	DATE	AS CONSTRUCTED ISSUE

brazier motti
www.braziermotti.com.au
595 Flinders Street, Townsville
Phone: 4772 1144 Fax: 4772 2557
Email: townsville@braziermotti.com.au
Job No: 26700/128-01

REAL PROPERTY DESCRIPTION:
LOT 5000 ON SP257312

DRAWN: M.MOTTI
DESIGNED: [Signature]
CHECKED: G.CAMPBELL
PROJECT MANAGER: P.PETERSEN

DATUM: AHD (DERIVED)
PSM131673
RL.11.997
DALRYMPLE ROAD

PROJECT DIRECTOR: D.GIBSON RPEQ 13230

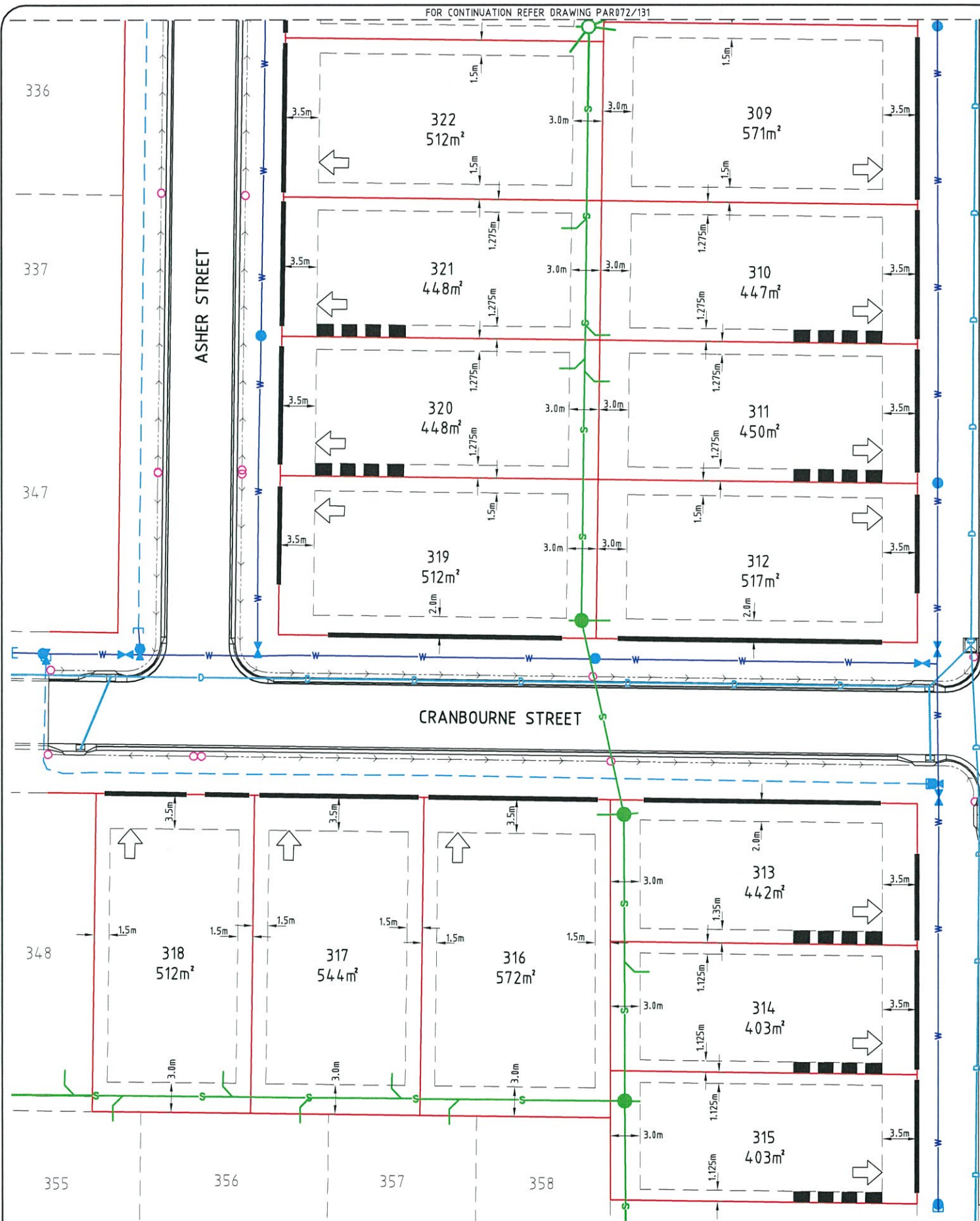
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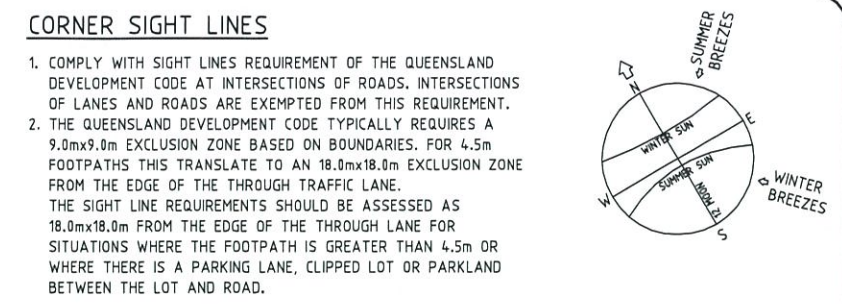
PARKSIDE DEVELOPMENT PTY LTD
GREATER ASCOT PRECINCT 3 - STAGE 301
GREATER ASCOT AVENUE, SHAW
SEWERAGE RISING MAIN LAYOUT & LONGITUDINAL SECTION

DRAWING SIZE	SCALE	AS SHOWN	DRAWING No.	REV
A1	XREF	PAR072-XR-ASCON	PAR072/129	A



- ### LEGEND
- ALLOWABLE DRIVEWAY ACCESS
 - SEWER MAIN & MANHOLE
 - WATER MAIN, FIRE HYDRANT & SLUICE VALVE
 - POLY WATER MAIN
 - STORMWATER, INLET PIT & MANHOLE
 - ROOFWATER HOUSE DRAIN
 - SUBSOIL DRAIN & CLEANOUT POINT

- ### BUILDING SETBACK ENVELOPES
- FOR BUILDING SETBACK ENVELOPES REFER THE LATEST BRAZIER AND MOTTI DRAWINGS 26700/079 & 088 FOR DETAILS
 - DIMENSIONS SHOWN ARE ADAPTED FROM THE QUEENSLAND DEVELOPMENT CODE (11.03.10) PART MP 1.1 & 1.2. DIMENSIONS SHOWN SHALL APPLY TO CLASS 1 SINGLE STOREY STRUCTURES, FOR CLASS 2 TWO STOREY STRUCTURES AND CLASS 10 STRUCTURES REFER TO THE CODE.
 - "SETBACK" MEANS A LINE OR LINES PARALLEL TO ANY BOUNDARY OF A LOT BEYOND WHICH THE BUILDING OR OTHER STRUCTURE SHALL NOT ENCRDACH, AND MEASURED AS THE SHORTEST HORIZONTAL DISTANCE FROM THE OUTERMOST PROJECTION OF THE BUILDING OR OTHER STRUCTURE TO THE VERTICAL PROJECTION OF THE LOT BOUNDARY.
 - THE BUILDING ENVELOPES ARE TO COMPLY WITH THE DESIGN CODE SHOWN ON THIS PLAN. GREATER SETBACKS MAY BE REQUIRED TO ACCOMMODATE THE ZONE OF INFLUENCE OF UNDERGROUND SERVICES AS STATED IN COUNCIL'S POLICY ON BUILDING OVER OR ADJACENT TO SEWERS.
 - DIMENSIONS SHOWN ARE QDC GROUND DWELLING ONLY AND DO NOT ACCOUNT FOR BATTERS OR RETAINING WALLS. A SITE INSPECTION IS REQUIRED PRIOR TO COMMENCEMENT OF DESIGN. REFER DESIGN CODE FOR UPPER FLOOR AND GARAGE SETBACKS.



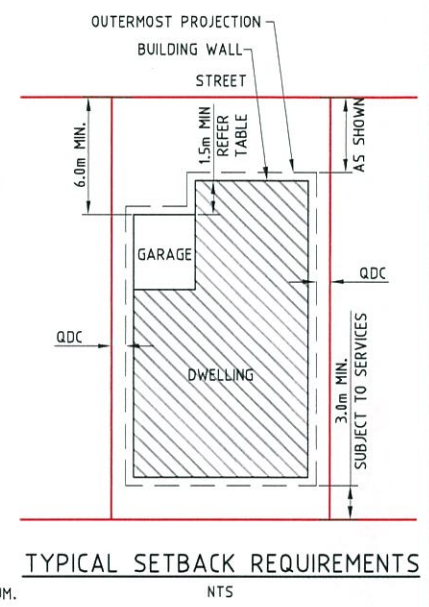
- ### DRIVEWAY ACCESS ENVELOPE
- FOR DRIVEWAY ACCESS ENVELOPE ALLOW 0.5m MINIMUM CLEARANCE TO ALL COUNCIL INFRASTRUCTURE, EXCEPT STORMWATER PITS WHICH REQUIRE 0.6m MINIMUM CLEARANCE AND SEWERAGE HOUSE CONNECTIONS WHICH REQUIRE 1.2m MINIMUM CLEARANCE.
 - ALL DRIVEWAYS REQUIRE A PERMIT FROM COUNCIL PRIOR TO CONSTRUCTION.

- ### ERGON SUBSTATIONS
- HABITABLE ROOMS REQUIRE A CLEARANCE OF 4m TO ERGON SUBSTATION SITES.

- ### ACOUSTICAL REQUIREMENTS
- DWELLINGS SHALL COMPLY WITH THE PROVISIONS IN THE AECOM "GREATER ASCOT DEVELOPMENT - PRECINCT 3 AND 4 ROAD TRAFFIC, INDUSTRIAL & RECREATION NOISE IMPACT ASSESSMENT - REVISION 4 - 16 DECEMBER 2013" OR ANY APPROVED SUBSEQUENT REPORT.

- ### GENERAL ITEMS
- ALL DIMENSIONS ARE IN METRES UNLESS NOTED OTHERWISE.
 - DRIVEWAY SLOPES IN LANES TO BE 12.5% MAXIMUM.

LIGHT POLES & TELSTRA PITS HAVE NOT BEEN SHOWN



DESIGN CODE - ALL ALLOTMENTS

TYPE	HOUSE, FRONT LOADED	HOUSE, REAR LOADED (LANE ACCESSED LOTS)
LOT ACCESS	FRONT	REAR
LOT DEPTH (MIN)	25m (20m WHERE 15m WIDTH PROPOSED)	25m
LOT WIDTH (MIN)	12.5m	10.5m
SITE COVERAGE	50% MAX	MAY EXCEED 50% IN RESPONSE TO CODE REQUIREMENTS, BUT NO MORE THAN 65% SITE COVERAGE.
SETBACK FRONT GROUND (MIN)	3.5m	3.0m
SETBACK FRONT UPPER (MIN)	3.5m	4.5m
SETBACK FRONT GARAGE	6.0m FROM FRONT OF GARAGE WALL & 1.5m MIN FROM DWELLING. AN ALTERNATIVE TO 1.5m MIN FROM DWELLING MAY BE PERMITTED, SUBJECT TO PARKSIDE APPROVAL AT TIME OF COVENANT APPROVAL.	N/A
SETBACK PRINCIPAL SIDE GROUND (MIN)	QDC	QDC
SETBACK PRINCIPAL SIDE UPPER (MIN)	QDC	QDC
SETBACK ROAD/ROAD CORNER (MIN)	QDC	QDC
SETBACK PRINCIPLE REAR (MIN)	3.0m	3.0m
OUTBUILDING # (CARPORT/GARAGE) WIDTH (MAX FROM OUTSIDE WALL)	N/A	6.2m*
OUTBUILDING # (CARPORT/GARAGE) & RESIDENTIAL OVER OUTBUILDING SETBACK TO LANE	N/A	0-1.0m
OUTBUILDING # (CARPORT/GARAGE) & RESIDENTIAL OVER OUTBUILDING SIDE SETBACK OTHER THAN TO LANE (MIN)	QDC	QDC
OUTBUILDING (SHED) WIDTH (MAX)	LESSER OF 50% OF REAR BOUNDARY OR 9m	N/A
OUTBUILDING (SHED) DEPTH (MAX)	9m	N/A
OUTBUILDING (SHED) REAR SETBACK	0-1.0m	N/A
OUTBUILDING (SHED) SIDE SETBACK	ZERO IF LOT 12.5m WIDE. AS PER PRINCIPAL SETBACK IF LOT >12.5m WIDE	N/A
FLOOR HEIGHT PRINCIPAL (MIN)	400mm	400mm
MAXIMUM STOREYS	2 STOREYS	2 STOREYS
PRIVATE OPEN SPACE (MIN) (MAY BE COVERED)	4m x 4m	4m x 4m
PARKING (MIN)	TWO (2), ONE OF WHICH MUST BE COVERED	TWO (2), ONE OF WHICH MUST BE COVERED

*NOTE: OUTBUILDING (CARPORT/GARAGE) - THE BALANCE OF THE LOT BOUNDARY ADJACENT TO THE OUTBUILDINGS WHERE LOCATED ALONG A ROAD RESERVE INCLUDING LANES) MUST REMAIN OPEN WITH NO ADDITIONAL STRUCTURES PERMITTED ALONG THAT BOUNDARY (EXCLUDING BOUNDARY FENCING WHICH ALLOWS AIRFLOW THROUGH THE BARRIER).
 *NOTE: CLEARANCES TO SEWER LINES AND MANHOLES ARE REQUIRED IN ACCORDANCE WITH COUNCIL POLICY.



AS-CONSTRUCTED ISSUE

REV.	DATE	REVISIONS
B	18/03/16	LOT 310 SEWER HC AMENDED AND GARAGE SETBACK NOTE ADDED
A	22/01/16	AS-CONSTRUCTED ISSUE

JAS-ANZ

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REAL PROPERTY DESCRIPTION:
 LOT 5000 ON SP257312

DRAWN: M.MOTTI
 DESIGNED: G.CAMPBELL
 CHECKED: G.CAMPBELL
 PROJECT MANAGER: P.PETERSEN

DATUM: AHD (DERIVED)
 PSM131673
 RL.11.997
 DALRYMPLE ROAD

PROJECT DIRECTOR: D.GIBSON RPEQ 13230

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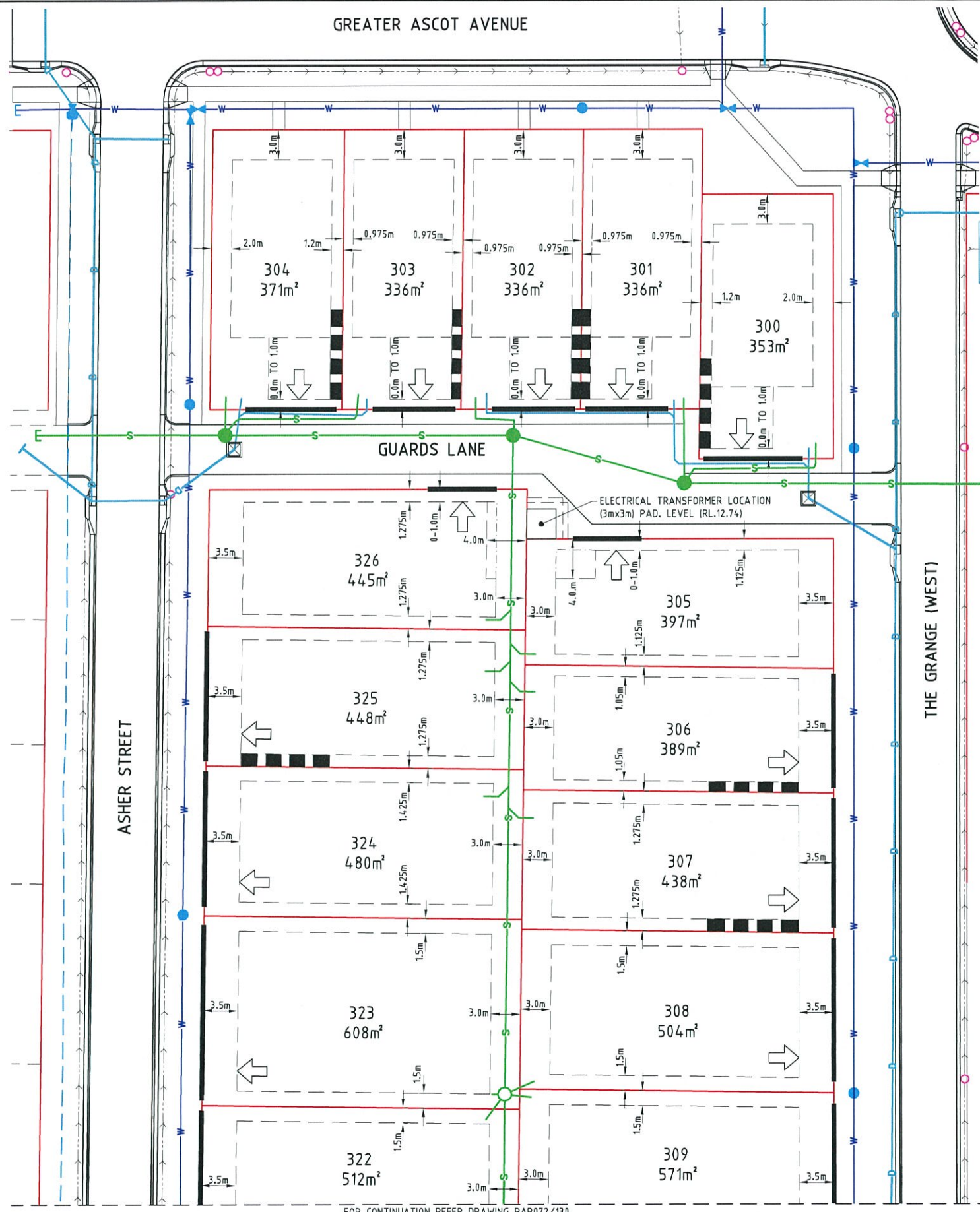
DALGETY PLACE
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 TOWNSVILLE QLD 4810

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PARKSIDE DEVELOPMENT PTY LTD
 GREATER ASCOT PRECINCT 3 - STAGE 301
 GREATER ASCOT AVENUE, SHAW
 LOT CONSTRAINTS PLAN - SHEET 1 OF 2

DRAWING SIZE: A3
 SCALE: 1:500
 XREF: PAR072-XR-ASCON

DRAWING No. PAR072/130
 REV B



FOR CONTINUATION REFER DRAWING PAR072/130

LEGEND

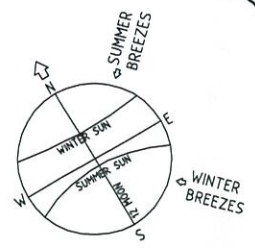
- ALLOWABLE DRIVEWAY ACCESS
- SEWER MAIN & MANHOLE
- WATER MAIN, FIRE HYDRANT & SLUICE VALVE
- POLY WATER MAIN
- STORMWATER, INLET PIT & MANHOLE
- ROOFWATER HOUSE DRAIN
- SUBSOIL DRAIN & CLEANOUT POINT

BUILDING SETBACK ENVELOPES

- FOR BUILDING SETBACK ENVELOPES REFER THE LATEST BRAZIER MOTTI DRAWINGS 26700/079 & 088 FOR DETAILS
- DIMENSIONS SHOWN ARE ADAPTED FROM THE QUEENSLAND DEVELOPMENT CODE (11.03.10) PART MP 1.1 & 1.2. DIMENSIONS SHOWN SHALL APPLY TO CLASS 1 SINGLE STORY STRUCTURES, FOR CLASS 2 TWO STOREY STRUCTURES AND CLASS 10 STRUCTURES REFER TO THE CODE.
- "SETBACK" MEANS A LINE OR LINES PARALLEL TO ANY BOUNDARY OF A LOT BEYOND WHICH THE BUILDING OR OTHER STRUCTURE SHALL NOT ENCOACH, AND MEASURED AS THE SHORTEST HORIZONTAL DISTANCE FROM THE OUTERMOST PROJECTION OF THE BUILDING OR OTHER STRUCTURE TO THE VERTICAL PROJECTION OF THE LOT BOUNDARY.
- THE BUILDING ENVELOPES ARE TO COMPLY WITH THE DESIGN CODE SHOWN ON THIS PLAN. GREATER SETBACKS MAY BE REQUIRED TO ACCOMMODATE THE ZONE OF INFLUENCE OF UNDERGROUND SERVICES AS STATED IN COUNCIL'S POLICY ON BUILDING OVER OR ADJACENT TO SEWERS.
- DIMENSIONS SHOWN ARE QDC GROUND DWELLING ONLY AND DO NOT ACCOUNT FOR BATTERS OR RETAINING WALLS. A SITE INSPECTION IS REQUIRED PRIOR TO COMMENCEMENT OF DESIGN. REFER DESIGN CODE FOR UPPER FLOOR AND GARAGE SETBACKS.

CORNER SIGHT LINES

- COMPLY WITH SIGHT LINES REQUIREMENT OF THE QUEENSLAND DEVELOPMENT CODE AT INTERSECTIONS OF ROADS, INTERSECTIONS OF LANES AND ROADS ARE EXEMPTED FROM THIS REQUIREMENT.
- THE QUEENSLAND DEVELOPMENT CODE TYPICALLY REQUIRES A 9.0m x 9.0m EXCLUSION ZONE BASED ON BOUNDARIES. FOR 4.5m FOOTPATHS THIS TRANSLATE TO AN 18.0m x 18.0m EXCLUSION ZONE FROM THE EDGE OF THE THROUGH TRAFFIC LANE. THE SIGHT LINE REQUIREMENTS SHOULD BE ASSESSED AS 18.0m x 18.0m FROM THE EDGE OF THE THROUGH LANE FOR SITUATIONS WHERE THE FOOTPATH IS GREATER THAN 4.5m OR WHERE THERE IS A PARKING LANE, CLIPPED LOT OR PARKLAND BETWEEN THE LOT AND ROAD.



DRIVEWAY ACCESS ENVELOPE

- FOR DRIVEWAY ACCESS ENVELOPE ALLOW 0.5m MINIMUM CLEARANCE TO ALL COUNCIL INFRASTRUCTURE, EXCEPT STORMWATER PITS WHICH REQUIRE 0.6m MINIMUM CLEARANCE AND SEWERAGE HOUSE CONNECTIONS WHICH REQUIRE 1.2m MINIMUM CLEARANCE.
- ALL DRIVEWAYS REQUIRE A PERMIT FROM COUNCIL PRIOR TO CONSTRUCTION.

ERGON SUBSTATIONS

- HABITABLE ROOMS REQUIRE A CLEARANCE OF 4m TO ERGON SUBSTATION SITES.

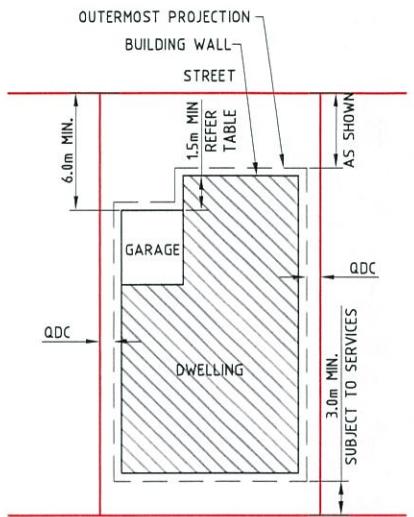
ACOUSTICAL REQUIREMENTS

- DWELLINGS SHALL COMPLY WITH THE PROVISIONS IN THE AECOM "GREATER ASCOT DEVELOPMENT - PRECINCT 3 AND 4 ROAD TRAFFIC, INDUSTRIAL & RECREATION NOISE IMPACT ASSESSMENT - REVISION 4 - 16 DECEMBER 2013" OR ANY APPROVED SUBSEQUENT REPORT.

GENERAL ITEMS

- ALL DIMENSIONS ARE IN METRES UNLESS NOTED OTHERWISE.
- DRIVEWAY SLOPES IN LANES TO BE 12.5% MAXIMUM.

LIGHT POLES & TELSTRA PITS HAVE NOT BEEN SHOWN



TYPICAL SETBACK REQUIREMENTS NTS

DESIGN CODE - ALL ALLOTMENTS

TYPE	HOUSE, FRONT LOADED	HOUSE, REAR LOADED (LANE ACCESSED LOTS)
LOT ACCESS	FRONT	REAR
LOT DEPTH (MIN)	25m (20m WHERE 15m WIDTH PROPOSED)	25m
LOT WIDTH (MIN)	12.5m	10.5m
SITE COVERAGE	50% MAX	MAY EXCEED 50% IN RESPONSE TO CODE REQUIREMENTS, BUT NO MORE THAN 65% SITE COVERAGE.
SETBACK FRONT GROUND (MIN)	3.5m	3.0m
SETBACK FRONT UPPER (MIN)	3.5m	4.5m
SETBACK FRONT GARAGE	6.0m FROM FRONT OF GARAGE WALL & 1.5m MIN FROM DWELLING. AN ALTERNATIVE TO 1.5m MIN FROM DWELLING MAY BE PERMITTED, SUBJECT TO PARKSIDE APPROVAL AT TIME OF COVENANT APPROVAL.	N/A
SETBACK PRINCIPAL SIDE GROUND (MIN)	QDC	QDC
SETBACK PRINCIPAL SIDE UPPER (MIN)	QDC	QDC
SETBACK ROAD/ROAD CORNER (MIN)	QDC	QDC
SETBACK PRINCIPLE REAR (MIN)	3.0m	3.0m
OUTBUILDING # (CARPORT/GARAGE) WIDTH (MAX FROM OUTSIDE WALL)	N/A	6.2m*
OUTBUILDING # (CARPORT/GARAGE) & RESIDENTIAL OVER OUTBUILDING SETBACK TO LANE	N/A	0-1.0m
OUTBUILDING # (CARPORT/GARAGE) & RESIDENTIAL OVER OUTBUILDING SIDE SETBACK OTHER THAN TO LANE (MIN)	QDC	QDC
OUTBUILDING (SHED) WIDTH (MAX)	LESSER OF 50% OF REAR BOUNDARY OR 9m	N/A
OUTBUILDING (SHED) DEPTH (MAX)	9m	N/A
OUTBUILDING (SHED) REAR SETBACK	0-1.0m	N/A
OUTBUILDING (SHED) SIDE SETBACK	ZERO IF LOT 12.5m WIDE. AS PER PRINCIPAL SETBACK IF LOT >12.5m WIDE	N/A
FLOOR HEIGHT PRINCIPAL (MIN)	400mm	400mm
MAXIMUM STOREYS	2 STOREYS	2 STOREYS
PRIVATE OPEN SPACE (MIN) (MAY BE COVERED)	4m x 4m	4m x 4m
PARKING (MIN)	TWO (2), ONE OF WHICH MUST BE COVERED	TWO (2), ONE OF WHICH MUST BE COVERED

*NOTE: OUTBUILDING (CARPORT/GARAGE) - THE BALANCE OF THE LOT BOUNDARY ADJACENT TO THE OUTBUILDINGS WHERE LOCATED ALONG A ROAD RESERVE INCLUDING LANES) MUST REMAIN OPEN WITH NO ADDITIONAL STRUCTURES PERMITTED ALONG THAT BOUNDARY (EXCLUDING BOUNDARY FENCING WHICH ALLOWS AIRFLOW THROUGH THE BARRIER).
 *NOTE: CLEARANCES TO SEWER LINES AND MANHOLES ARE REQUIRED IN ACCORDANCE WITH COUNCIL POLICY.



AS-CONSTRUCTED ISSUE



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 LOT 5000 ON SP257312
 DRAWN: M.MOTTI
 DESIGNED:
 CHECKED: G.CAMPBELL
 PROJECT MANAGER: P.PETERSEN
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 PSM131673
 RL.11.997
 DALRYMPLE ROAD
 PROJECT DIRECTOR: D.GIBSON RPEQ 13230



DALGETY PLACE
 84 DENHAM STREET
 PO BOX 1110
 TOWNSVILLE QLD 4810
 Phone: (07) 4772 0666
 Fax: (07) 4772 0566
 Email: main@udpgroup.com.au
 Web: www.udpgroup.com.au

PARKSIDE DEVELOPMENT PTY LTD
 GREATER ASCOT PRECINCT 3 - STAGE 301
 GREATER ASCOT AVENUE, SHAW
 LOT CONSTRAINTS PLAN - SHEET 2 OF 2

DRAWING SIZE: A3
 SCALE: 1:500
 XREF: PAR072-XR-ASCON

DRAWING No. **PAR072/131**

REV: C

REV.	DATE	REVISIONS
C	18/03/16	GARAGE SETBACK NOTE ADDED
B	05/02/16	RE-ISSUED AS-CONSTRUCTED (STAMP UPDATED)
A	22/01/16	AS-CONSTRUCTED ISSUE