

# PROPOSED RECONFIGURATION

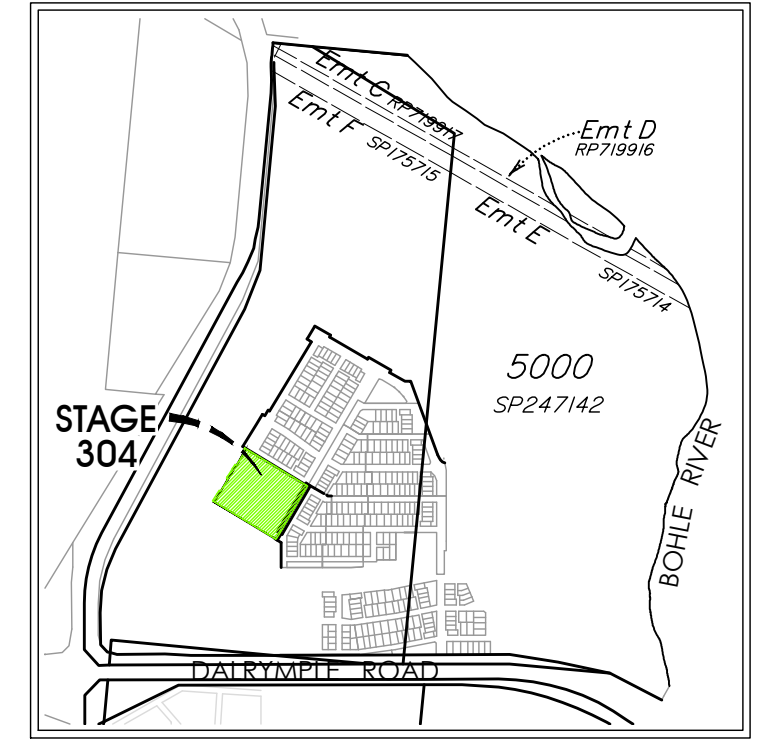
Lots 380,381, 383-390 392-405, 407-419  
 Cancelling Lots 5000 on SP247142

Parish of Bohle  
 County of Elphinstone  
 City of Townsville

## STAGE 304

Total Site Area .....	3.12 ha
Area of Open Space .....	-
Average Lot Area.....	514m <sup>2</sup>
Total Length of New Road ....	711m

- 1.5m path
- 1.0m contour
- 0.5m contour
- Garage with optional residential over



LOCALITY 1:20,000

### Notes

**Corner Sight Lines:**  
 Comply with sight lines requirement of the Queensland Development Code at intersections of roads.  
 Intersections of lanes and roads are exempted from this requirement.  
 The Queensland Development Code typically requires a 9m x 9m exclusion zone based on boundaries. For 4.5m footpaths this translate to an 18m x 18m exclusion zone from the edge of the through traffic lane.  
 The sight line requirements should be assessed as 18m x 18m from the edge of the through lane for situations where the footpath is greater than 4.5m or where there is a parking lane, clipped lot or parkland between the lot and road.

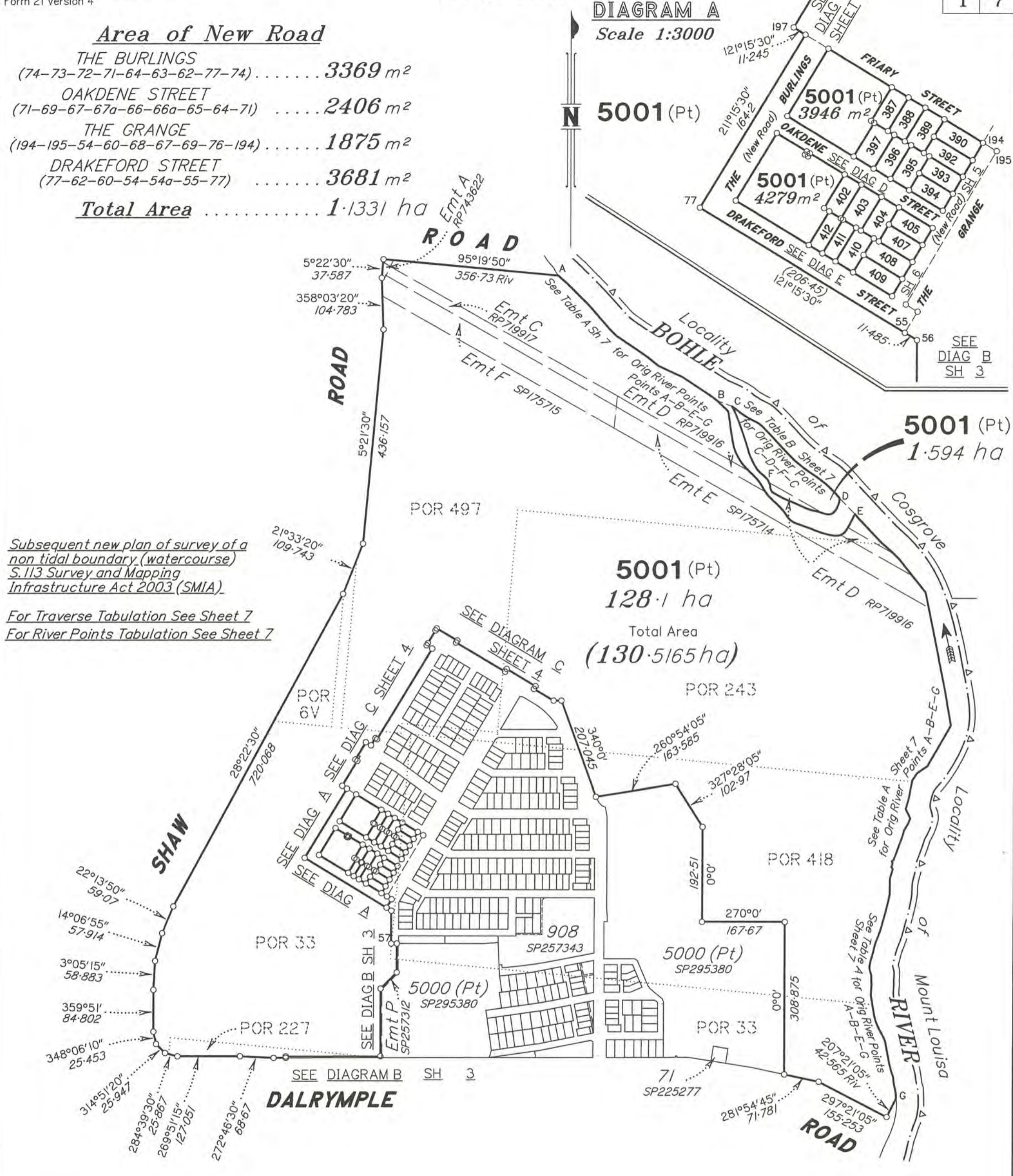
**Area of New Road**

THE BURLINGS (74-73-72-71-64-63-62-77-74) . . . . .	3369 m <sup>2</sup>
OAKDENE STREET (71-69-67-67a-66-66a-65-64-71) . . . . .	2406 m <sup>2</sup>
THE GRANGE (194-195-54-60-68-67-69-76-194) . . . . .	1875 m <sup>2</sup>
DRAKEFORD STREET (77-62-60-54-54a-55-77) . . . . .	3681 m <sup>2</sup>
<b>Total Area</b> . . . . .	<b>1.1331 ha</b>

**DIAGRAM A**  
Scale 1:3000

N 5001 (Pt)

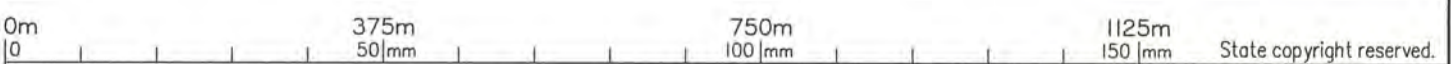
*Subsequent new plan of survey of a non tidal boundary (watercourse) S.113 Survey and Mapping Infrastructure Act 2003 (SMIA).  
For Traverse Tabulation See Sheet 7  
For River Points Tabulation See Sheet 7*



5001 (Pt)  
128.1 ha  
Total Area  
(130.5165 ha)

5001 (Pt)  
1.594 ha

BRAZIER MOTTI PTY LTD (ACN 066 411 041) hereby certify that the corporation, by Peter John MURPHY, Cadastral Surveyor, for whose work the corporation accepts responsibility, has made this plan under Section 16 of the Survey and Mapping Infrastructure Regulation 2014 and pursuant to the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the plan is accurate, and compiled from DP327017 in the Department of Resources.



**Plan of Lots 387-390, 392-397, 402-405, 407-412 & 5001**

Cancelling Lot 5001 on SP268596

LOCAL GOVERNMENT: **TOWNSVILLE CITY COUNCIL**  
LOCALITY: **SHAW**  
Meridian: **MGA (Zone 55) DP327017**  
Survey Records: **No**

Scale: **1:7500**  
Format: **STANDARD**



**SP327696**



Director  
Date: **11/1/21**

JMS 02/10/17 25700220

**WARNING : Folded or Mutilated Plans will not be accepted.**  
Plans may be rolled.  
Information may not be placed in the outer margins.

(Dealing No.)

4. Lodged by

(Include address, phone number, email, reference, and Lodger Code)

i. Existing		Created		
Title Reference	Description	New Lots	Road	Secondary Interests
50973846	Lot 5001 on SP268596	387-390, 392-397, 402-405, 407-412 & 5001	New Rd	

**ENCUMBRANCE EASEMENT ALLOCATIONS**

Easement	Lots to be Encumbered
601363709 (Emt A on RP743622)	5001
601363708 (Emt C on RP719917)	5001
601398181 (Emt D on RP719916)	5001
709012260 (Emt E on SP175714)	5001
709012260 (Emt F on SP175715)	5001


5001 390 & 392-394 387-389, 395-397, 402-405 & 407-412	Pors 6V, 33, 227, 243, 418 & 497 Pors 33 & 418 Por 33
Lots	Orig

2. Orig Grant Allocation :

3. References :

Dept File :  
Local Govt :  
Surveyor : 26700/157-01 - 26700\_220A.dwg - SLR - 07/2021

5. Passed & Endorsed :

By : BRAZIER MOTTI PTY LTD  
Date : 8/1/21  
Signed :   
Designation : Liaison Officer

6. Building Format Plans only.

I certify that :  
\* As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or road.  
\* Part of the building shown on this plan encroaches onto adjoining \* lots and road

.....  
Cadastral Surveyor/Director \* Date  
\*delete words not required

7. Lodgement Fees :

Survey Deposit	\$	.....
Lodgement	\$	.....
..... New Titles	\$	.....
Photocopy	\$	.....
Postage	\$	.....
TOTAL	\$	.....

8. Insert Plan Number **SP327696**

SLR 02/00152

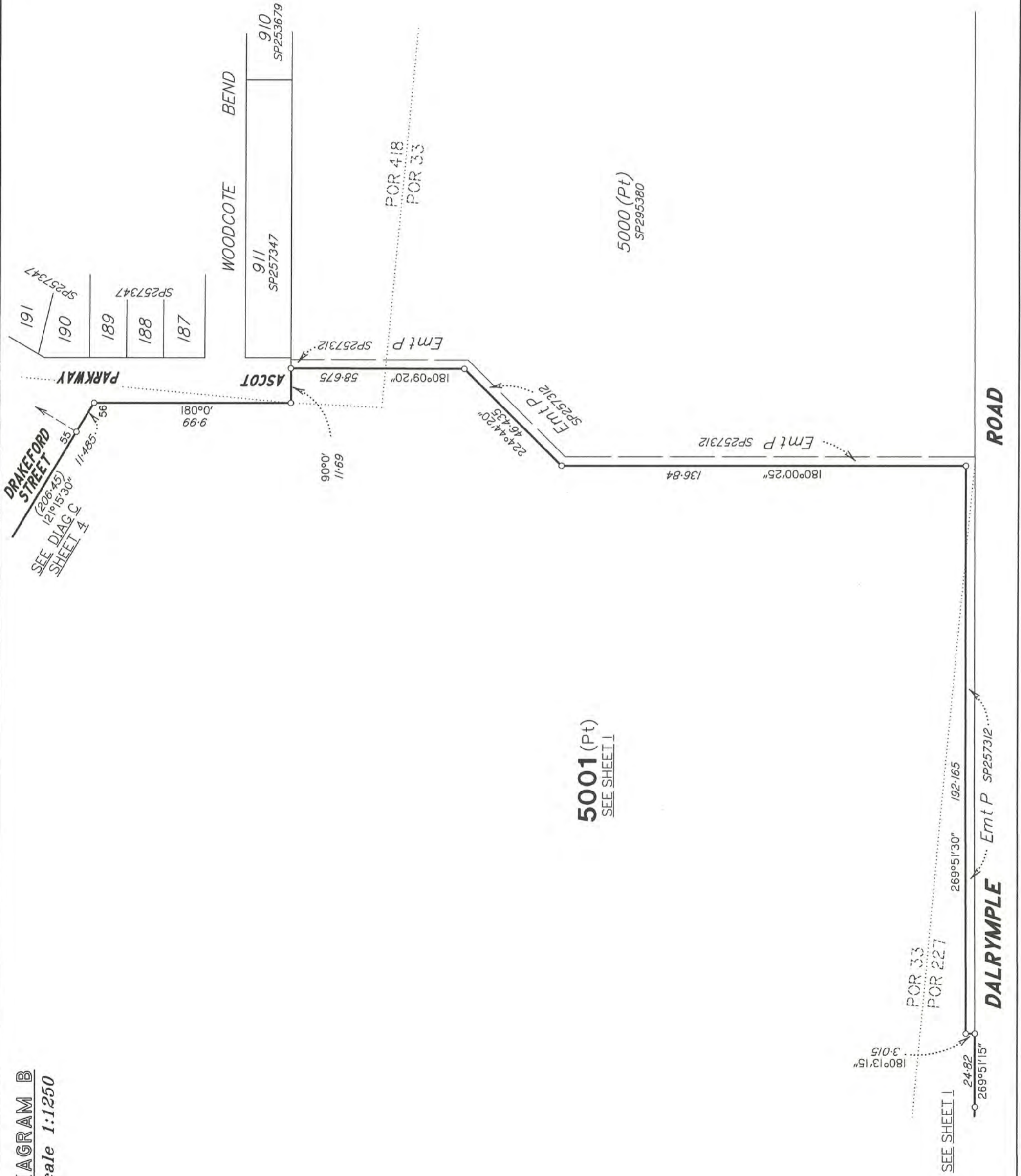


DIAGRAM B  
Scale 1:1250



State copyright reserved.

Insert Plan Number **SP327696**

26700/270 SK





**DIAGRAM D**  
Scale 1:600



State copyright reserved.

Insert Plan Number **SP327696**

SEE DIAG E  
SH 6

SEE DIAG E  
SH 6

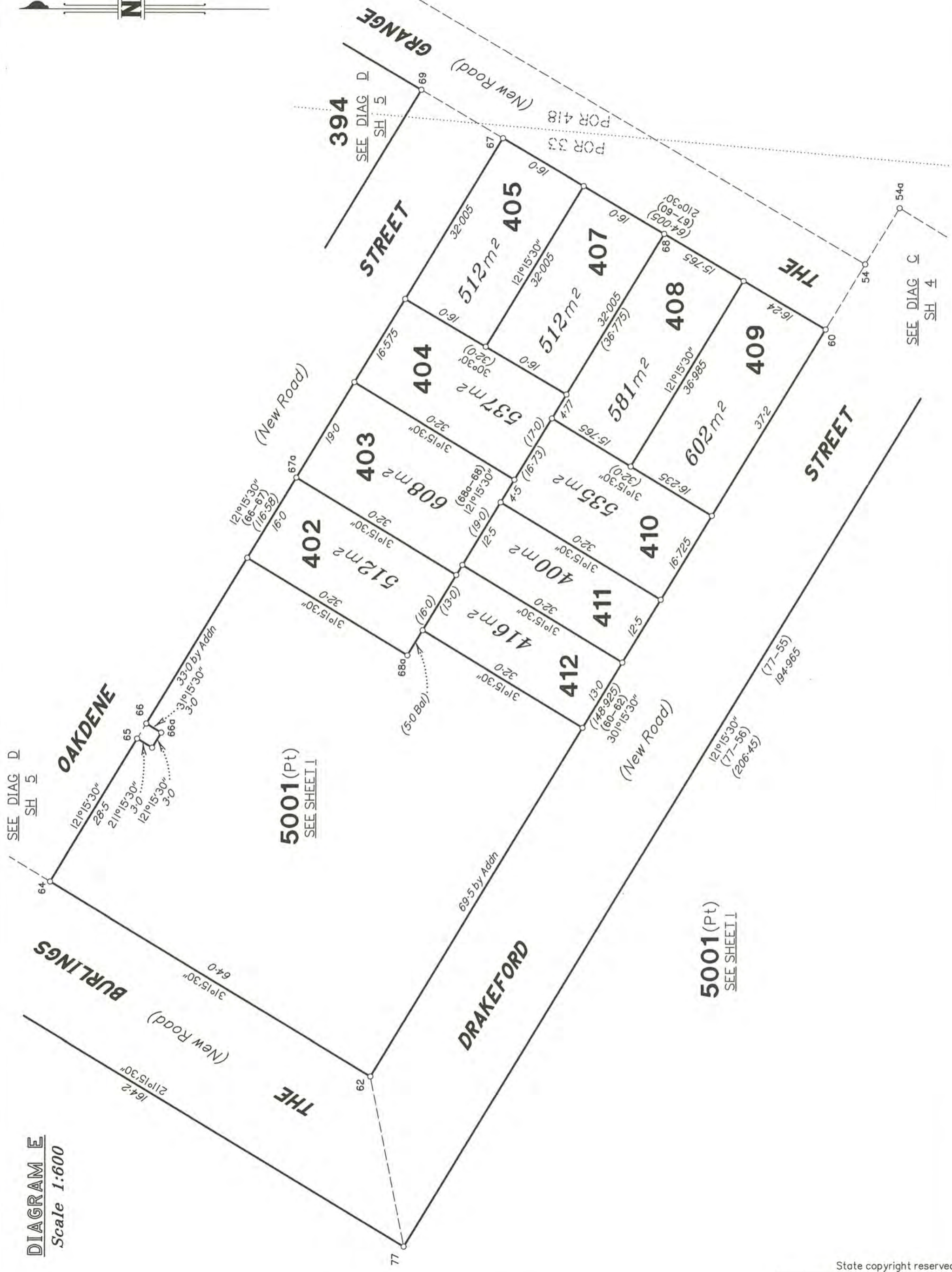
SEE DIAG A  
SH 1

5001 (Pt)  
SEE SHEET I

5001 (Pt)  
SEE SHEET I

5001 (Pt)  
SEE SHEET I

26/10/2012 JMS



SEE DIAG D  
SH 5

OAKDENE

5001(Pt)  
SEE SHEET I

BURLINGS

DRAKEFORD

5001(Pt)  
SEE SHEET I

GRANGE

THE

STREET

SEE DIAG C  
SH 4

DIAGRAM E  
Scale 1:600



State copyright reserved.

Insert Plan Number  
**SP327696**

26/00/220 SUR

TABLE A

ORIG RIVER POINTS		
BEARING	DISTANCE	
A	131°43'	26.62
	135°00'30"	61.435
	139°04'	63.21
	134°33'	19.52
	123°56'	40.67
	124°15'	36.92
	129°31'	26.1
	115°00'30"	55.06
	123°28'30"	64.4
	124°49'	19.7
B	134°45'	33.54
	173°15'	70.65
	154°30'30"	20.165
	149°01'	27.168
	129°26'	39.47
	155°30'	29.28
	133°00'30"	53.5
	153°13'40"	25.82
	102°05'	24.97
	112°40'30"	92.1
	16°06'30"	30.81
	27°29'30"	30.96
E	139°57'	13.26
	136°11'	50.6
	136°53'	14.39
	131°34'	36.615
	131°34'	12.38
	142°11'	87.2
	164°14'	34.15
	169°22'	167.7
	170°17'	73.28
	210°02'	94.86
	235°14'	25.46
	213°30'	17.65
	190°22'	36.04
	196°09'	22.75
	154°15'	21.17
	201°25'	11.89
	212°15'	15.6
	196°41'	25.27
	200°57'	21.79
	200°48'	16.83
	196°26'	11.3
	167°21'	8.15
	197°12'	19.94
	180°44'	32.72
	193°23'	48.3
	194°29'	28.79
	203°35'	22.92
	193°43'	29.825
	198°37'	16.84
	176°55'	14.265
	152°11'	9.21
	186°18'	12.045
	167°52'	5.08
	184°10'	25.54
	169°04'	16.99
	169°59'	16.99
	170°28'	17.81
	151°22'30"	40.98
	169°27'30"	60.67
	162°25'	23.94
	168°35'	28.0
	182°15'	9.92

TRAVERSES ETC

LINE	BEARING	DISTANCE
54-54a	121°15'30"	11.19
54-60	301°15'30"	13.0
54-195	30°30'	144.215
54a-55	211°15'30"	20.0
62-77	258°47'20"	29.62
64-71	31°15'30"	16.2
65-66	121°15'30"	3.0
67-69	30°30'	16.2
73-74	301°15'30"	21.85
194-195	121°15'30"	13.0
B-C	111°37'	32.44
D-E	135°51'	44.74

Subsequent new plan of survey of a non tidal boundary (watercourse)  
s.113 Survey and Mapping Infrastructure Act 2003 (SMIA)  
Compiled from registered and authoritative information  
Section 112 SMIA

A first new Plan of Survey SP243799 was registered for the subject land on 14/11/2011 pursuant to s.108 of the Survey and Mapping Infrastructure Act 2003.

On the first Plan of Survey, the high bank of the river was adopted as the boundary. Between stations A-B-E-G and C-D-F the boundary was compiled using the definition of the non-tidal boundary (watercourse) on SP243799 as the original Plan of Survey.

Definition of non-tidal watercourse boundary

The boundary of the subject land is the high bank of the river adopted on SP243799.

Compiled Plan

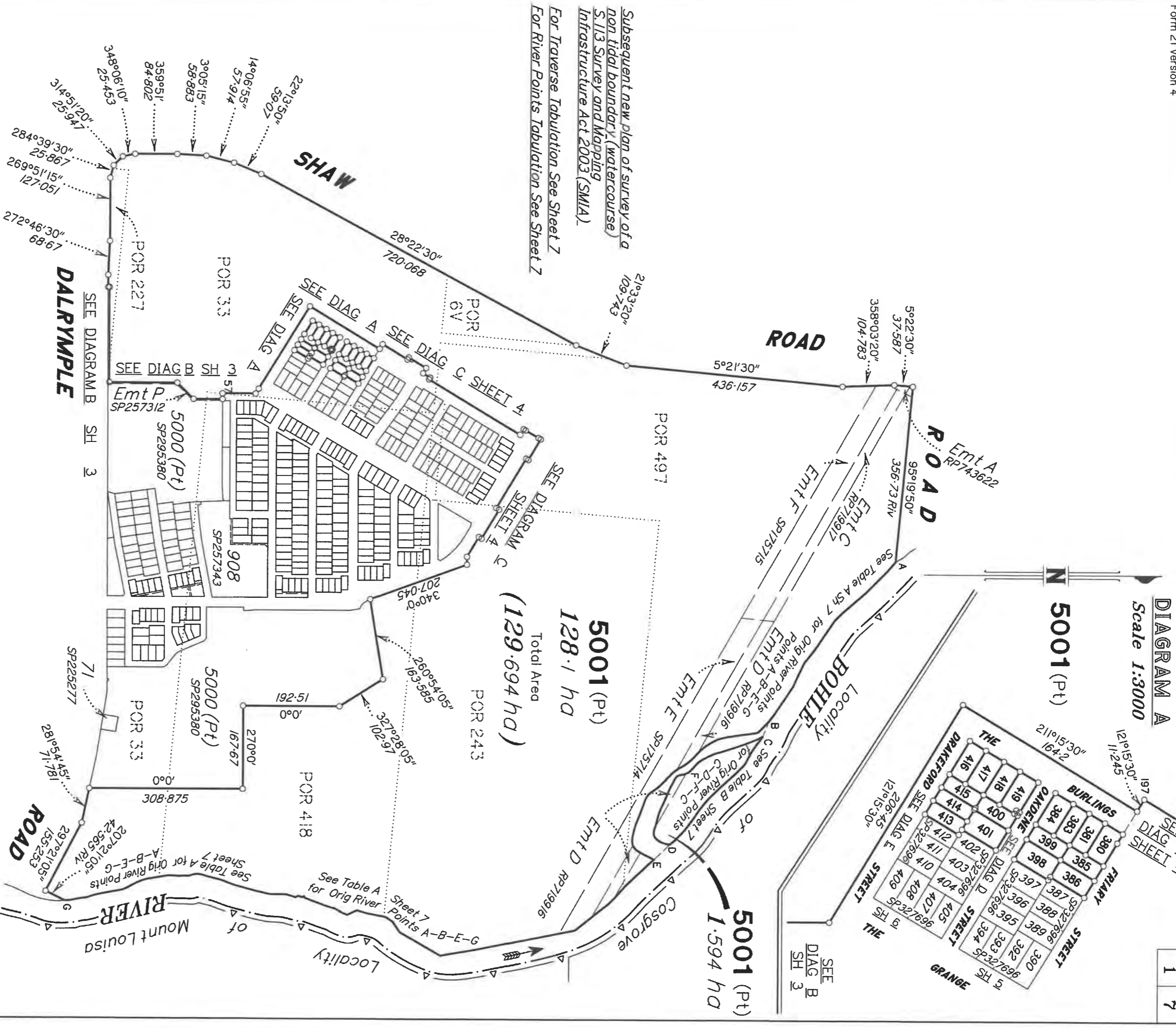
The location of the boundary at law on SP327696 is consistent with the location of the boundary depicted on SP243799. This has been confirmed by site inspection.

TABLE B

ORIG RIVER POINTS		
BEARING	DISTANCE	
C	124°16'	13.3
	133°40'30"	13.93
	117°41'	33.46
	114°32'30"	9.775
	137°57'	61.87
	136°51'	61.84
	117°58'	56.935
	141°13'	40.64
D	179°46'40"	13.44
	210°20'	29.725
	296°57'	25.34
	278°05'30"	25.35
	297°37'	29.03
	289°54'	26.84
	302°00'30"	18.06
F	292°23'	14.16
	2°38'30"	23.13
	303°45'	30.22
	334°02'	44.04
	348°41'	17.57
	340°42'	71.33
	322°07'	10.895

SP327696





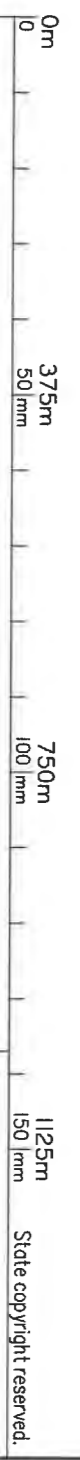
Subsequent new plan of survey of a non tidal boundary (watercourse) S.113 Survey and Mapping Infrastructure Act 2003 (SMA).  
For Traverse Tabulation See Sheet Z  
For River Points Tabulation See Sheet Z

BRAZIER MOTTI PTY LTD (ACN 066 411 041) hereby certify that the corporation, by Peter John MURPHY, Cadastral Surveyor, for whose work, the corporation accepts responsibility, has made this plan under Section 16 of the Survey and Mapping Infrastructure Regulation 2014 and pursuant to the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the plan is accurate, and compiled from DP327017 & SP327696 in the Department of Resources.



Director  
Date 24/5/21

DIAGRAM A  
Scale 1:3000



Plan of Lots 380, 381, 383-386,  
398-401, 413-419 & 5001

Cancelling Lot 5001 on SP327696

LOCAL TOWNSVILLE CITY GOVERNMENT: COUNCIL  
LOCALITY: SHAW  
Meridian: MGA (Zone 55) DP327017

Scale: 1:7500  
Format: STANDARD



SP331005

Survey Records: No

26700/22 5K

**WARNING : Folded or Mutilated Plans will not be accepted.**  
Plans may be rolled.  
Information may not be placed in the outer margins.

(Deeding No.)

4. Lodged by

(Include address, phone number, email, reference, and Lodger Code)

Existing		Created	
Title Reference	Description	New Lots	Road Secondary Interests
51261675	Lot 5001 on SP327696	Lots 380, 381, 383-386, 398-401, 413-419 & 5001	-


**ENCUMBRANCE EASEMENT ALLOCATIONS**

Easement	Lots to be Encumbered
601363709 (Emt A on RP743622)	5001
601363708 (Emt C on RP719917)	5001
601398181 (Emt D on RP719916)	5001
709012260 (Emt E on SP175714)	5001
709012260 (Emt F on SP175715)	5001

5001 380, 381, 383-386, 398-401, 413-419	Pors 6V, 33, 227, 243, 418 & 497 Por 33
Lots	Orig

2. Orig Grant Allocation :

3. References :  
Dept File :  
Local Govt :  
Surveyor : 26700/157-01 - 26700\_222A.dwg - SLR - 09/2021

5. Passed & Endorsed :  
By : BRAZIER MOTTI PTY LTD  
Date : 24/9/21  
Signed :   
Designation : Liaison Officer

**6. Building Format Plans only.**

I certify that :  
\* As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or road.  
\* Part of the building shown on this plan encroaches onto adjoining \* lots and road

Cadastral Surveyor/Director \* Date .....  
\* delete words not required

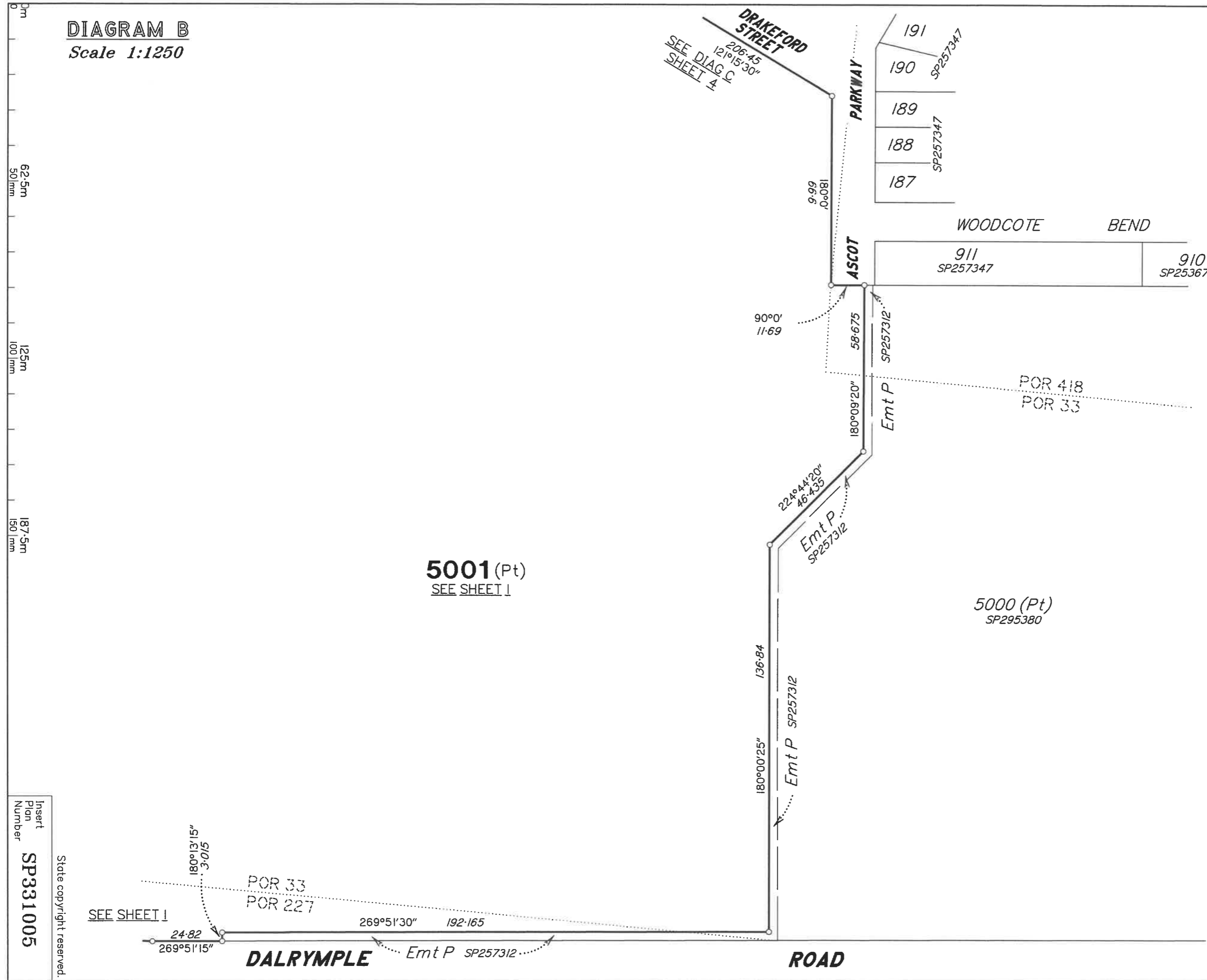
**7. Lodgement Fees :**

Survey Deposit \$ .....  
Lodgement \$ .....  
..... New Titles \$ .....  
Photocopy \$ .....  
Postage \$ .....  
TOTAL \$ .....

8. Insert Plan Number **SP331005**



**DIAGRAM B**  
Scale 1:1250



Insert Plan Number  
**SP331005**  
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26700/222 S-R



5001 (Pt)  
SEE SHEET 1

5001 (Pt)  
SEE SHEET 1

DIAGRAM C  
Scale 1:2000



Insert  
Plan  
Number  
SP331005

State copyright reserved.

**DIAGRAM D**  
Scale 1:600



**5001(Pt)**  
SEE SHEET 1

0m  
30m  
50mm  
60m  
100mm  
90m  
150mm

SEE DIAG A  
SH 1

**419**  
SEE DIAG E  
SH 6

**THE**

**BURLINGS**

**FRIARY**

**OAKDENE**

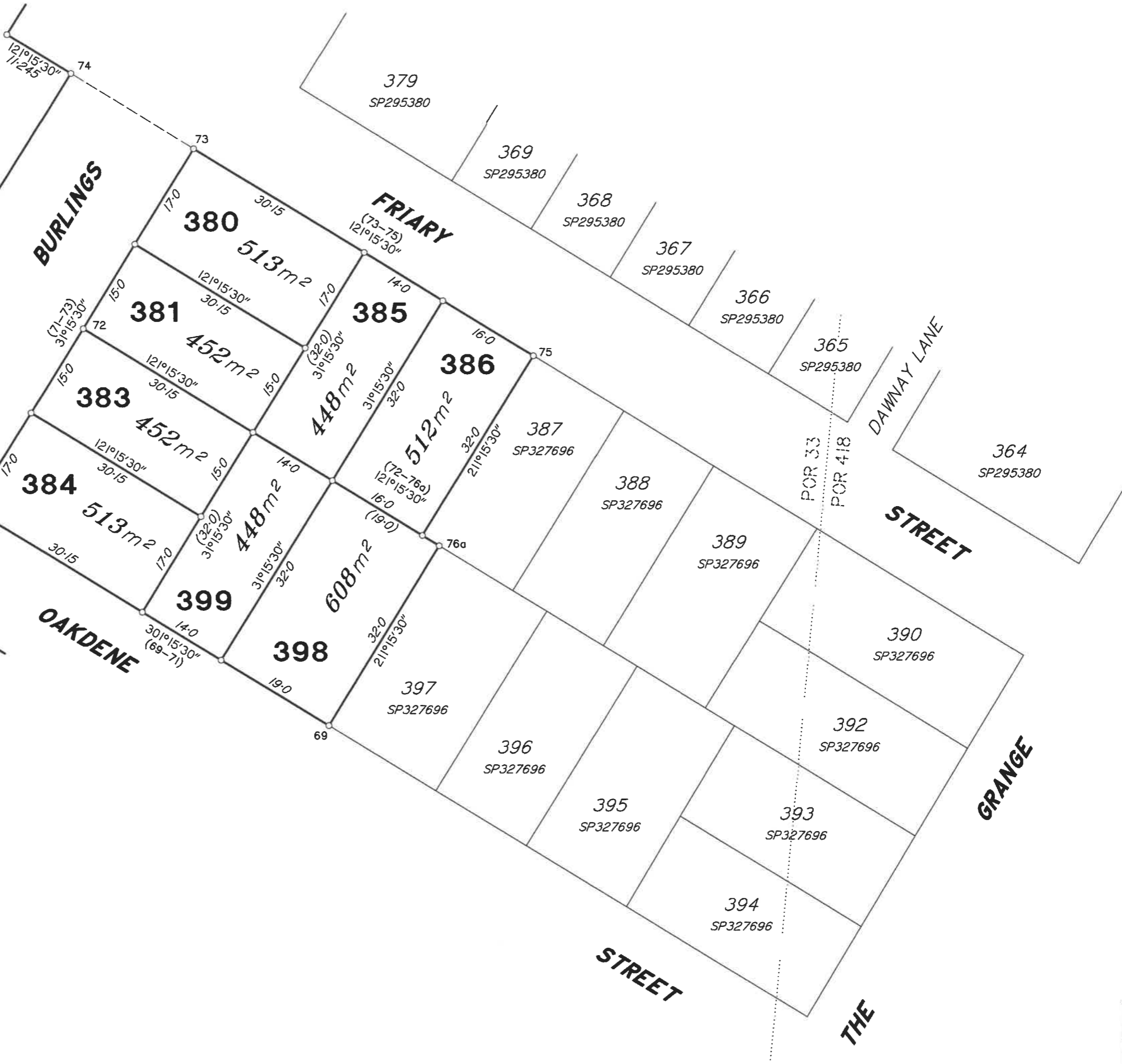
**STREET**

**GRANGE**

**DAWNAY LANE**

**STREET**

**THE**



Insert  
Plan  
Number  
**SP331005**  
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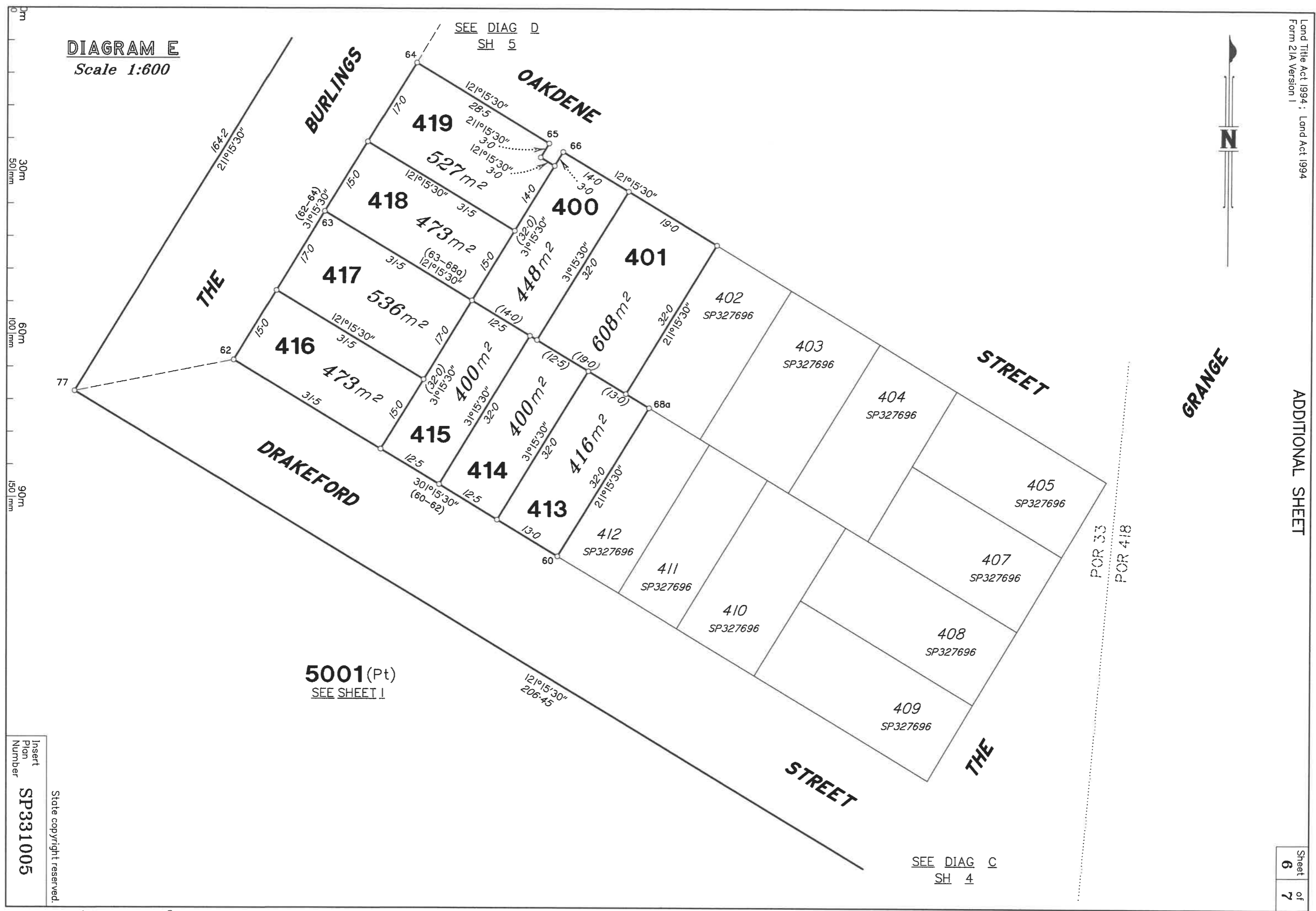
20100922 044



**DIAGRAM E**  
Scale 1:600

SEE DIAG D  
SH 5

SEE DIAG C  
SH 4



Insert  
Plan  
Number  
**SP331005**

State copyright reserved.

TABLE A

ORIG RIVER POINTS	
BEARING	DISTANCE
A	
131°43'	26.62
135°00'30"	61.435
139°04'	63.21
134°33'	19.52
123°56'	40.67
124°15'	36.92
129°31'	26.1
115°00'30"	55.06
123°28'30"	64.4
124°49'	19.7
134°45'	33.54
173°15'	70.65
154°30'30"	20.165
149°01'	27.168
129°26'	39.47
155°30'	29.28
133°00'30"	53.5
153°13'40"	25.82
102°05'	24.97
112°40'30"	92.1
16°06'30"	30.81
27°29'30"	30.96
139°57'	13.26
136°11'	50.6
136°53'	14.39
131°34'	36.615
142°11'	12.38
164°14'	87.2
169°22'	34.15
170°17'	167.7
210°02'	73.28
235°14'	94.86
213°30'	25.46
190°22'	17.65
196°09'	36.04
154°15'	22.75
201°25'	21.17
212°15'	11.89
196°41'	15.6
200°57'	25.27
200°48'	21.79
196°26'	16.83
167°21'	11.3
197°12'	8.15
180°44'	19.94
193°23'	32.72
194°29'	48.3
203°35'	28.79
193°43'	22.92
198°37'	29.825
176°55'	16.84
152°11'	14.265
186°18'	9.21
167°52'	12.045
184°10'	5.08
169°04'	25.54
169°59'	16.99
170°28'	17.81
151°22'30"	40.98
169°27'30"	60.67
162°25'	23.94
168°35'	28.0
182°15'	9.92

TRAVERSES ETC		
LINE	BEARING	DISTANCE
62-77	258°47'20"	29.62
64-71	31°15'30"	16.2
73-74	301°15'30"	21.85
B-C	111°37'	32.44
D-E	135°51'	44.74

G

Subsequent new plan of survey of a non tidal boundary (watercourse)  
s.113 Survey and Mapping Infrastructure Act 2003 (SMIA)  
Compiled from registered and authoritative information  
Section 112 SMIA

A first new Plan of Survey SP243799 was registered for the subject land on 14/11/2011 pursuant to s.108 of the Survey and Mapping Infrastructure Act 2003.

On the first Plan of Survey, the high bank of the river was adopted as the boundary. Between stations A-B-E-G and C-D-F the boundary was compiled using the definition of the non-tidal boundary (watercourse) on SP243799 as the original Plan of Survey.

**Definition of non-tidal watercourse boundary**

The boundary of the subject land is the high bank of the river adopted on SP243799.

**Compiled Plan**

The location of the boundary at law on SP331005 is consistent with the location of the boundary depicted on SP243799. This has been confirmed by site inspection.

TABLE B

ORIG RIVER POINTS	
BEARING	DISTANCE
C	
124°16'	13.3
133°40'30"	13.93
117°41'	33.46
114°32'30"	9.775
137°57'	61.87
136°51'	61.84
117°58'	56.935
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278°05'30"	25.35
297°37'	29.03
289°54'	26.84
302°00'30"	18.06
292°23'	14.16
2°38'30"	23.13
303°45'	30.22
334°02'	44.04
348°41'	17.57
340°42'	71.33
322°07'	10.895

C

0 Solmm

100 mm

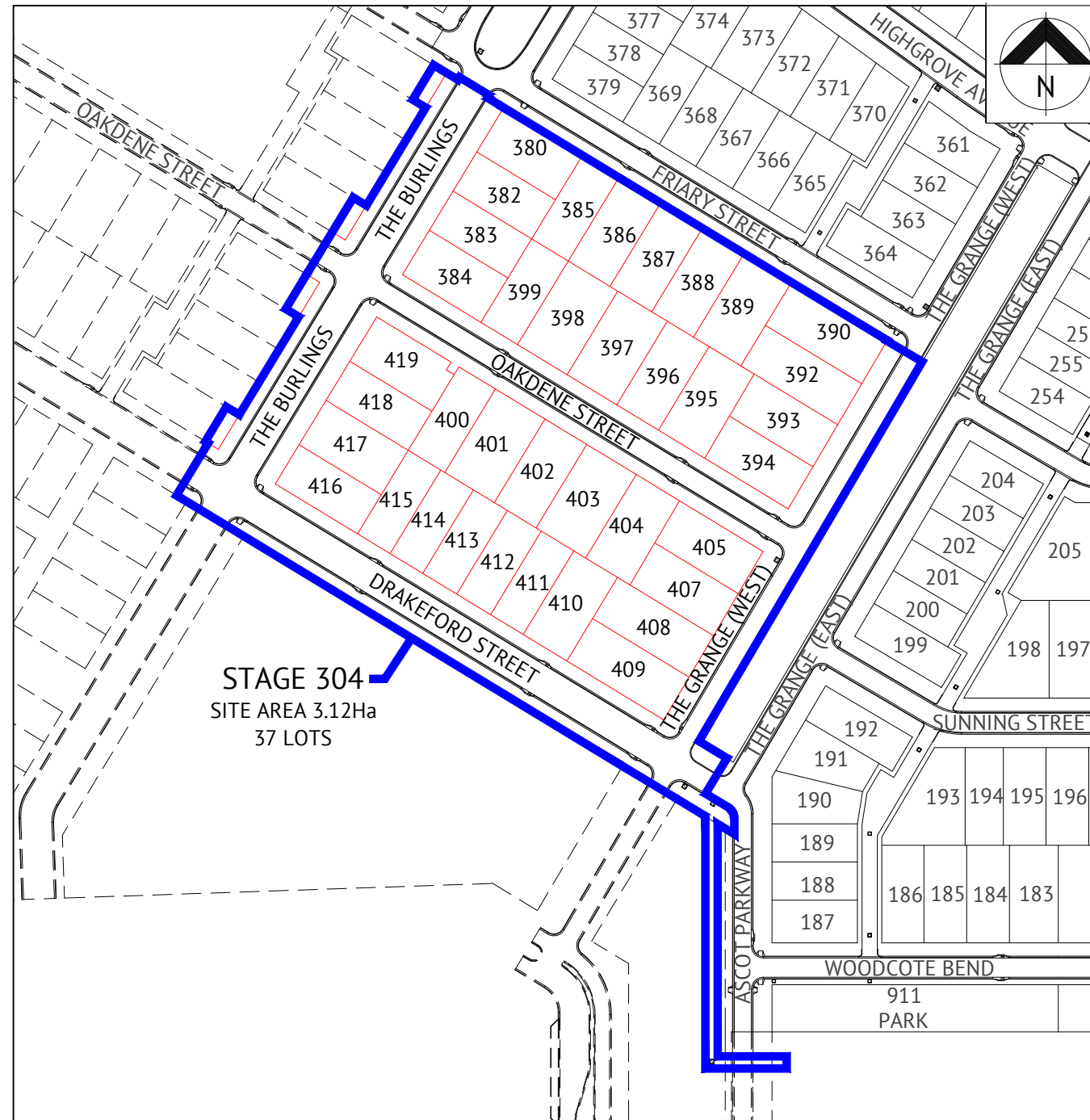
150 mm

26100/522 268

# PAR-0075 GREATER ASCOT -STAGE 304

## GREATER ASCOT AVENUE, SHAW

### FOR PARKSIDE DEVELOPMENT PTY LTD



LOCALITY PLAN

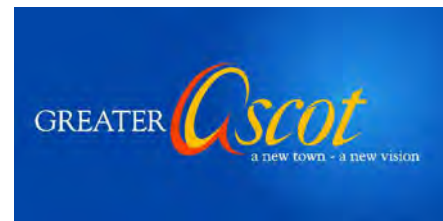
DRAWING SCHEDULE	
SHEET NO.	SHEET TITLE
194	LOCALITY PLAN AND DRAWING SCHEDULE
195	EARTHWORKS LAYOUT PLAN
196	ROADWORKS AND STORMWATER DRAINAGE PLAN
197	THE GRANGE (WEST) LONGITUDINAL AND CROSS SECTIONS
198	THE BURLINGS LONGITUDINAL AND CROSS SECTIONS
199	OAKDENE STREET LONGITUDINAL AND CROSS SECTIONS
200	DRAKEFORD STREET LONGITUDINAL SECTION
201	ROADWORKS DETAILS PLAN
202	LINEMARKING AND SIGNAGE DETAILS PLAN
203	STORMWATER LONGITUDINAL SECTION - SHEET 1 OF 2
204	STORMWATER LONGITUDINAL SECTION - SHEET 2 OF 2
205	WATER RETICULATION PLAN
206	SEWERAGE RETICULATION PLAN

TOWNSVILLE EARTHMOVING DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

AUTHORISED DELEGATE .....  
DATE 19/07/21

PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

RPEQ 13231 .....  
DATE 19/07/21



Revisions			
No.	Date	Details	Check
A	16.07.21	Original Issue	GEO

Level Datum: AHD (DERIVED)  
B.M. Used: PSM193553 RL.13.035  
Coordinate Projection: Plane  
Coordinate Datum: Arbitrary  
Origin of Coordinates: PSM193553 E: -  
Meridian: MGA94 (Zone 55) N: -  
Map Reference: 8259-31131  
Contour Interval:  
Job No: 26700-158-01  
File No: 26700\_194A.dwg

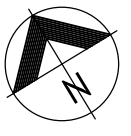
Surveyed by: BM  
Drawn: MJM  
Approved:

Client:	PARKSIDE DEVELOPMENT PTY LTD
Project:	AS CONSTRUCTED - GREATER ASCOT STAGE 304 GREATER ASCOT AVENUE - SHAW LOCALITY PLAN, SITE PLAN & DRAWING SCHEDULE
Local Authority:	Townsville City Council
Locality:	Shaw

Date:	16th July, 2021
Sheet:	1 of 1 Sheets
Scale:	AS SHOWN
Plan No:	26700/194 A

braziermott.com.au  
SURVEYING  
TOWNPLANNING  
PROJECTMANAGEMENT  
MAPPING&GIS





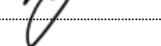
### EARTHWORKS LEGEND

- 6.32\* CERTIFIED FINISHED ALLOTMENT LEVEL
- x DENOTES EXISTING ALLOTMENT LEVEL
- 6.41 DENOTES Q100 FLOOD LEVEL
- x DENOTES Q100 FLOOD LEVEL
- TOP OF BATTER
- BOTTOM OF BATTER
- DIRECTION OF KERB & CHANNEL FLOW

### EARTHWORKS NOTES

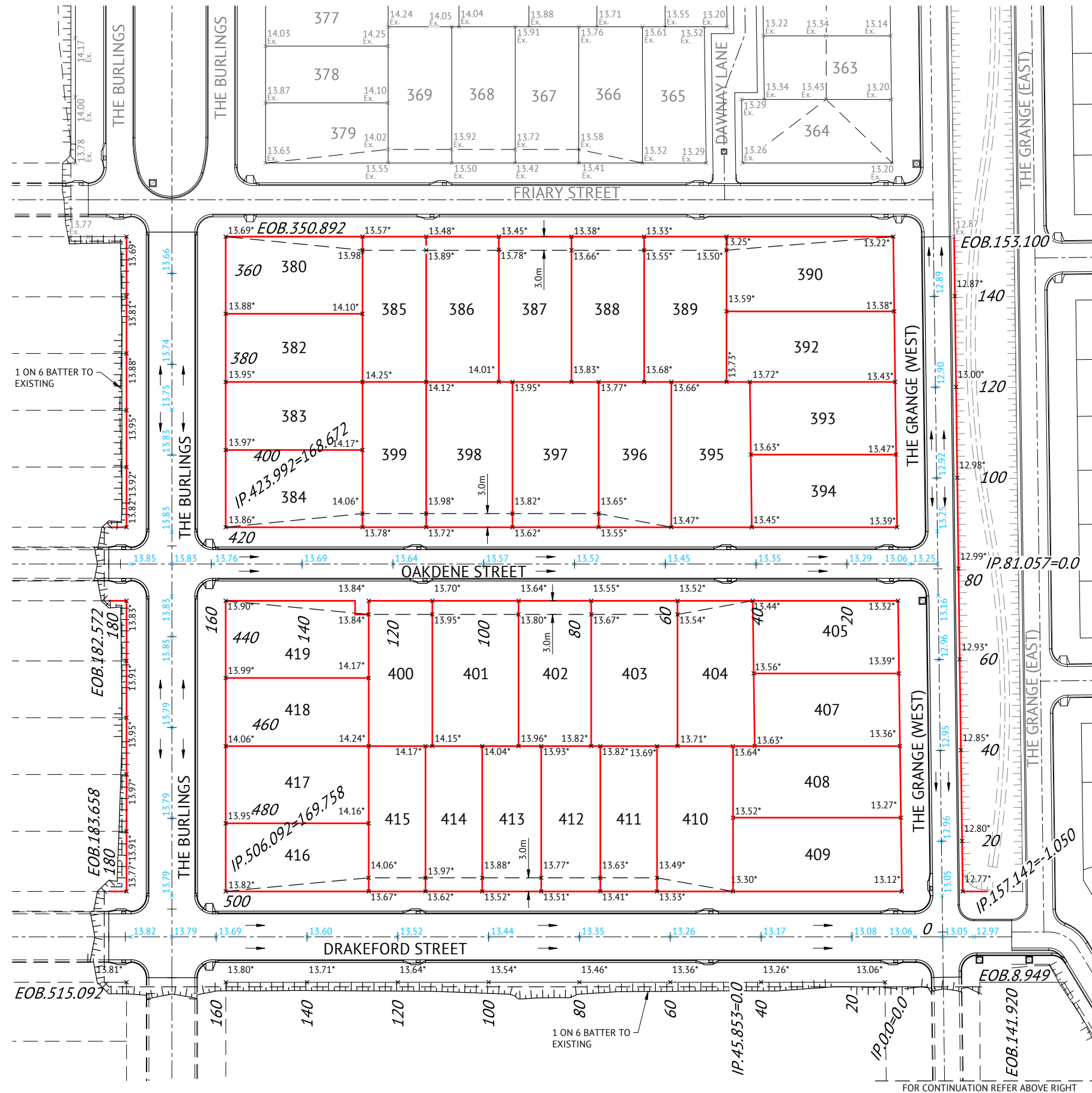
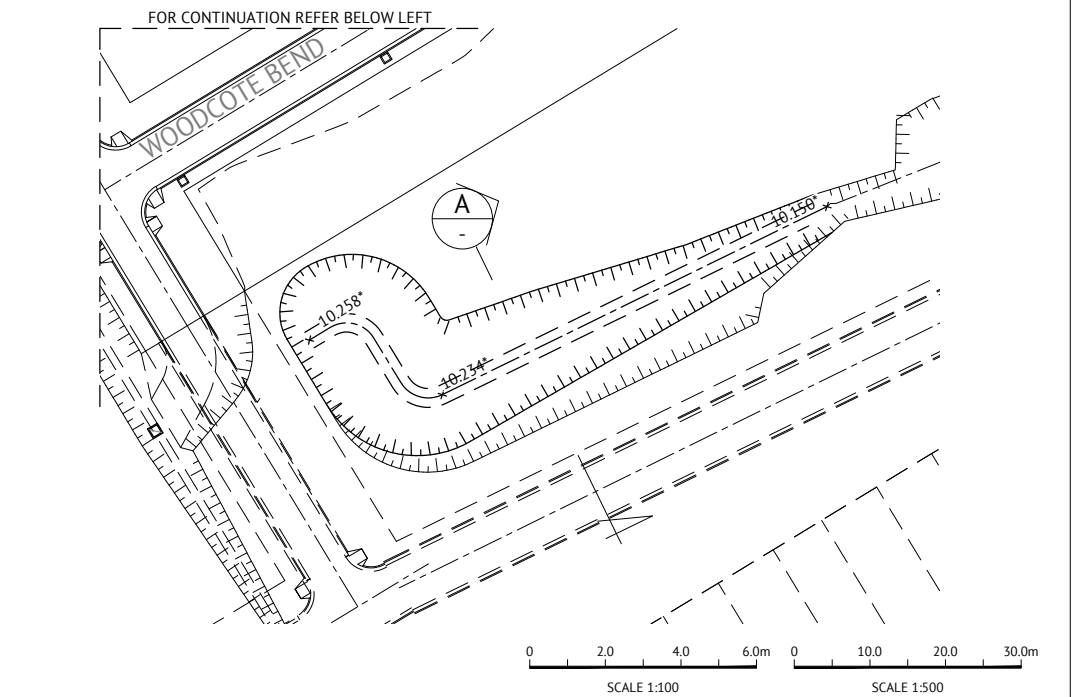
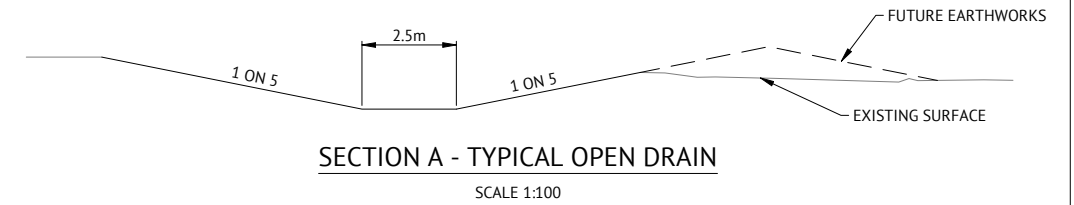
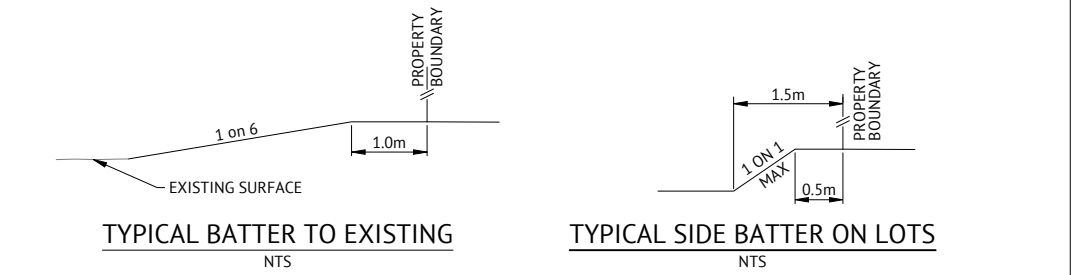
1. ALL EARTHWORKS OPERATIONS ARE UNDERTAKEN IN ACCORDANCE WITH THE PROJECT SPECIFICATION.
2. ALLOTMENTS GRADED EVENLY BETWEEN LEVELS SHOWN. MINIMUM FINISHED ALLOTMENT GRADE TO BE 1:200.

TOWNSVILLE EARTHMOVING DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

AUTHORISED DELEGATE   
DATE 19/07/21

PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

RPEQ 13231   
DATE 19/07/21



No.	Date	Details	Check
A	16.07.21	Original Issue	GEO

Level Datum: AHD (DERIVED)  
B.M. Used: PSM193553 RL.13.035  
Coordinate Projection: Plane  
Coordinate Datum: Arbitrary  
Origin of Coordinates: PSM193553  
Meridian: MGA94 (Zone 55)  
Map Reference: 8259-31131  
Contour Interval:  
Job No: 26700-158-01  
File No: 26700\_195A.dwg

Surveyed by: BM  
Drawn: MJM  
Approved:

BRAZIER MOTTI PTY LTD (ACN 066 411 041), 595 Flinders Street, Townsville hereby certify that this drawing accurately and correctly describes and records the nature and location of the works depicted by asterisks (\*) which they have been constructed or subdivision.


  
Director  
Date: 16-07-21

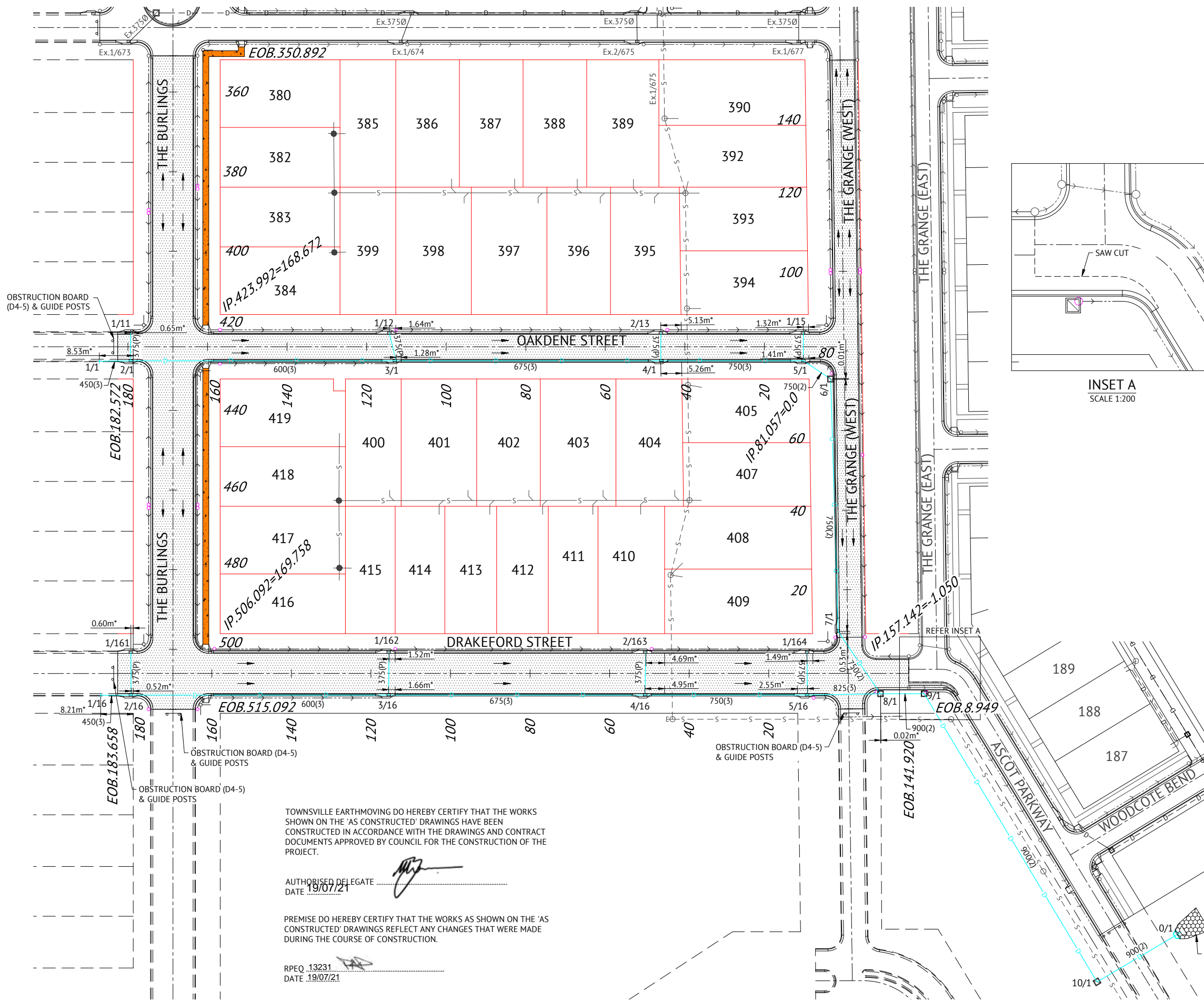
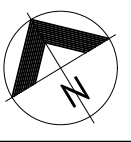
Client: PARKSIDE DEVELOPMENT PTY LTD  
Project: AS CONSTRUCTED - GREATER ASCOT STAGE 304  
GREATER ASCOT AVENUE - SHAW  
EARTHWORKS LAYOUT PLAN

Local Authority: Townsville City Council  
Locality: Shaw

Date: 16th July, 2021  
Sheet 1 of 1 Sheets  
Scale: AS SHOWN  
Plan No: 26700/195 A

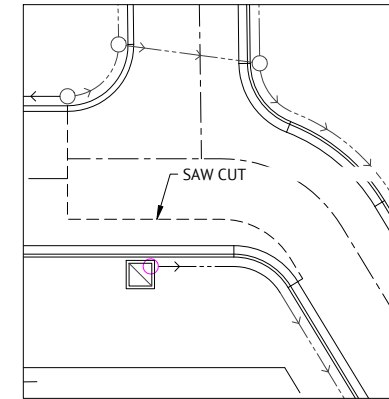
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SURVEYING  
TOWNSHIP  
PROJECT MANAGEMENT  
MAPPING & GIS





### ROADWORKS LEGEND

- LAYBACK KERB AND CHANNEL (TYPE L1)
- BARRIER KERB AND CHANNEL (TYPE B1)
- 900mm WIDE DISH DRAIN (TYPE D1)
- FLUSH KERB. REFER DRAWING
- DOUBLE STREET NAME PLATE
- DIRECTION OF KERB & CHANNEL FLOW
- SUBSOIL DRAIN & CLEANOUT POINT
- 30mm THICK ASPHALT  
REFER PAVEMENT DESIGN FOR DETAILS
- CONCRETE PAVEMENT  
REFER PAVEMENT DESIGN FOR DETAILS
- 1.5m WIDE KERB RAMP
- 1.2m WIDE KERB RAMP
- 1.5m CONCRETE PATH - REFER PATHWAY DESIGN



INSET A  
SCALE 1:200

### ROADWORKS NOTES

- ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
- ALL SUBSOIL DRAINS GRADED AT MINIMUM 0.5% FROM HIGH POINT TO OUTLET, UNLESS NOTED OTHERWISE.

### CONCRETE PATHWAY DESIGN

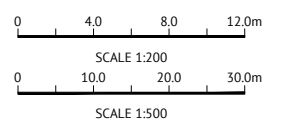
150mm THICK N32 CONCRETE  
SL82 MESH 50mm TOP COVER  
50mm CRUSHER DUST  
ADOPT DRIVEWAY CONSTRUCTION FOR ENTIRE PATHWAY

### STORMWATER LEGEND

- SEWER MAIN
- EXISTING SEWER MAIN
- STORMWATER DRAINAGE LINE
- STORMWATER MANHOLE (MANHOLE NO./LINE NO.)
- KERB INLET PIT (PIT NO./LINE NO.)
- DN150 (1 ALLOTMENT) & DN225 (2 ALLOTMENTS) uPVC STORMWATER PIPE & INVERT LEVEL. EXTEND 1.0m INTO ALLOTMENT. OFFSET 1.0m FROM SEWER HOUSE DRAIN GRADE AT 0.5% TO PITS. ALIGNMENT 0.5m FROM PROPERTY BOUNDARY.
- EXISTING STORMWATER DRAINAGE LINE
- EXISTING STORMWATER MANHOLE (MANHOLE NO./LINE NO.)
- EXISTING KERB INLET PIT (PIT NO./LINE NO.)

### STORMWATER NOTES

- ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
- ALL PIPE CUTS MADE USING A MASONRY SAW.
- ALL TRENCHES UNDER ROAD PAVEMENT (INCLUDING FUTURE) BACKFILLED WITH CRUSHER DUST TO SUBGRADE LEVEL. REFER PROJECT SPECIFICATION FOR COMPACTION AND COMPLIANCE TESTING REQUIREMENTS.



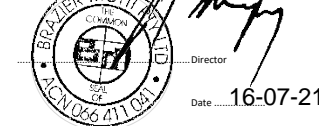
TOWNSVILLE EARTHMOVING DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

AUTHORISED DELEGATE  
DATE 19/07/21

PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

RPEQ 13231  
DATE 19/07/21

BRAZIER MOTTI PTY LTD (ACN 066 411 041), 595 Finders Street, Townsville hereby certify that this Drawing accurately and correctly describes and records the nature and location of the works depicted by asterisks (\*) that have been constructed for subdivision.



No.	Date	Details	Check
A	16.07.21	Original Issue	GEO

Level Datum: AHD (DERIVED)  
B.M. Used: PSM193553 RL.13.035  
Coordinate Projection: Plane  
Coordinate Datum: Arbitrary  
Origin of Coordinates: PSM193553  
Meridian: MGA94 (Zone 55)  
Map Reference: 8259-31131  
Contour Interval:  
Job No: 26700-158-01  
File No: 26700\_196A.dwg

Surveyed by: BM  
Drawn: MJM  
Approved:

Client: **PARKSIDE DEVELOPMENT PTY LTD**

Project: **AS CONSTRUCTED - GREATER ASCOT STAGE 304  
GREATER ASCOT AVENUE - SHAW  
ROADWORKS AND STORMWATER DRAINAGE PLAN**

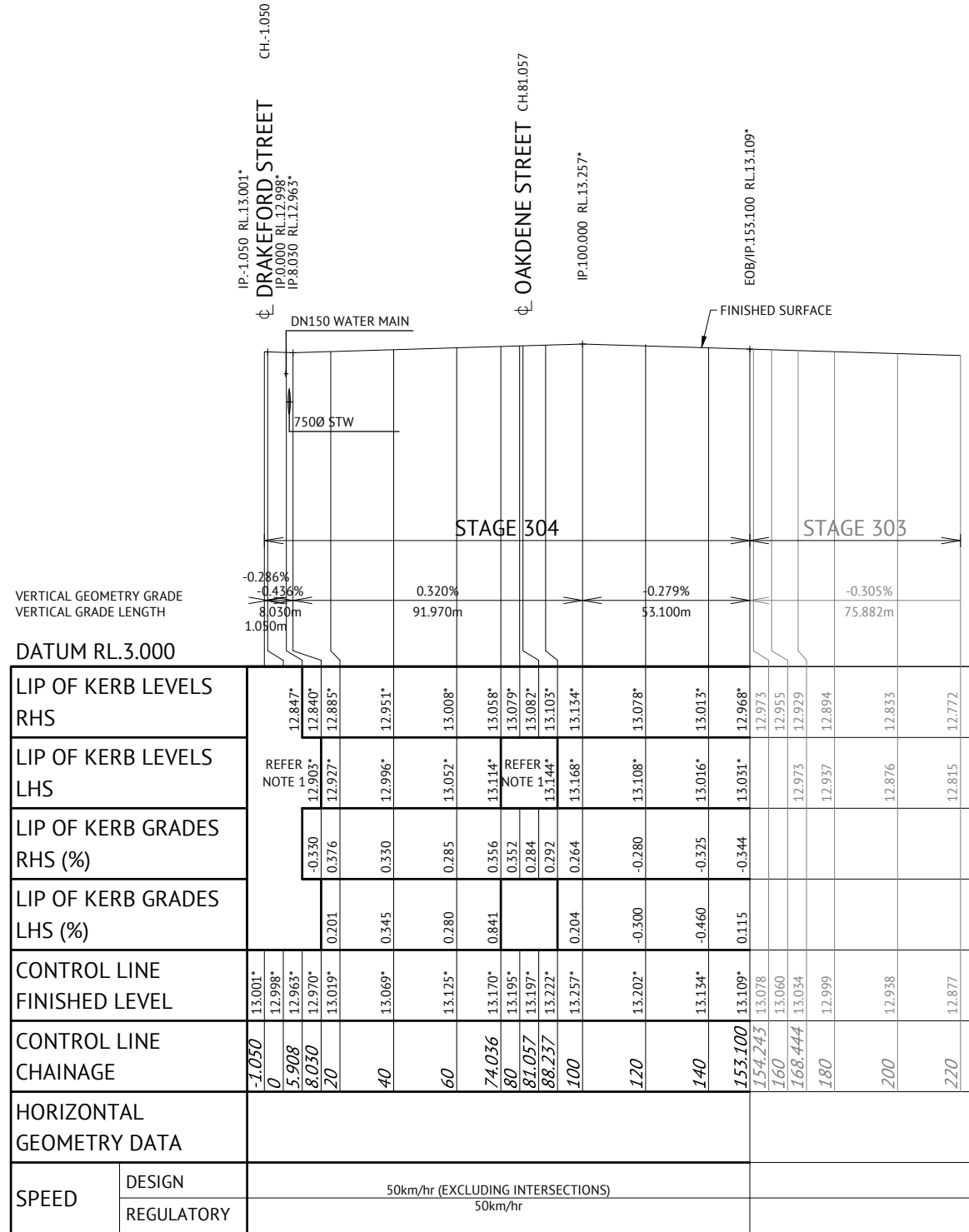
Local Authority: Townsville City Council      Locality: Shaw

Date: 16th July, 2021  
Sheet 1 of 1 Sheets  
Scale: AS SHOWN      A1  
Plan No: 26700/196 A

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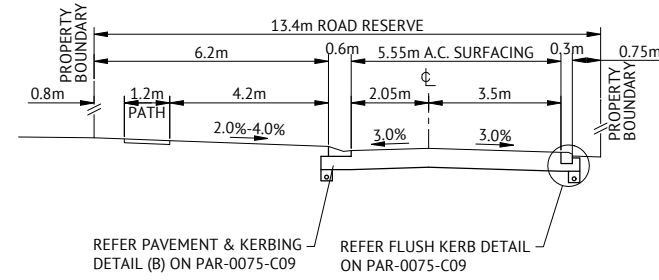
**APPROVED PAVEMENT DESIGN  
THE GRANGE (WEST)**

30mm ASPHALT SURFACING (AC10M)  
PRIME COAT 1.1L/m<sup>2</sup> (AMCO)  
145mm BASE COURSE (DMR TYPE 2.1)  
235mm SUB BASE COURSE (DMR TYPE 2.3)



**THE GRANGE (WEST) LONGITUDINAL SECTION**

SCALE 1:100 VERTICAL, SCALE 1:1000 HORIZONTAL



**TYPICAL SECTION**

**THE GRANGE (WEST) CROSS SECTIONS**

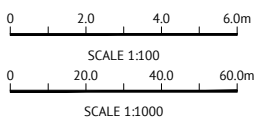
SCALE 1:100

TOWNSVILLE EARTHMOVING DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

AUTHORISED DELEGATE .....  
DATE 19/07/21

PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

RPEQ 13231 .....  
DATE 19/07/21



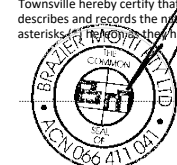
No.	Date	Details	Check
A	16.07.21	Original Issue	GE0

Level Datum: AHD (DERIVED)  
B.M. Used: PSM193553 RL.13.035  
Coordinate Projection: Plane  
Coordinate Datum: Arbitrary  
Origin of Coordinates: PSM193553  
Meridian: MGA94 (Zone 55)  
Map Reference: 8259-31131  
Contour Interval:  
Job No: 26700-158-01  
File No: 26700\_197A.dwg

Surveyed by: BM  
Drawn: MJM  
Approved:

BRAZIER MOTTI PTY LTD (ACN 066 411 041), 595 Finders Street,  
Townsville hereby certifies that the drawings accurately and correctly  
describes and records the nature and location of the works depicted by  
asterisks (\*) if they have been constructed or subdivision.

Director  
Date: 16-07-21



Client:	<b>PARKSIDE DEVELOPMENT PTY LTD</b>
Project:	<b>AS CONSTRUCTED - GREATER ASCOT STAGE 304 GREATER ASCOT AVENUE - SHAW THE GRANGE (WEST) LONGITUDINAL AND CROSS SECTIONS</b>
Local Authority:	Townsville City Council
Locality:	Shaw

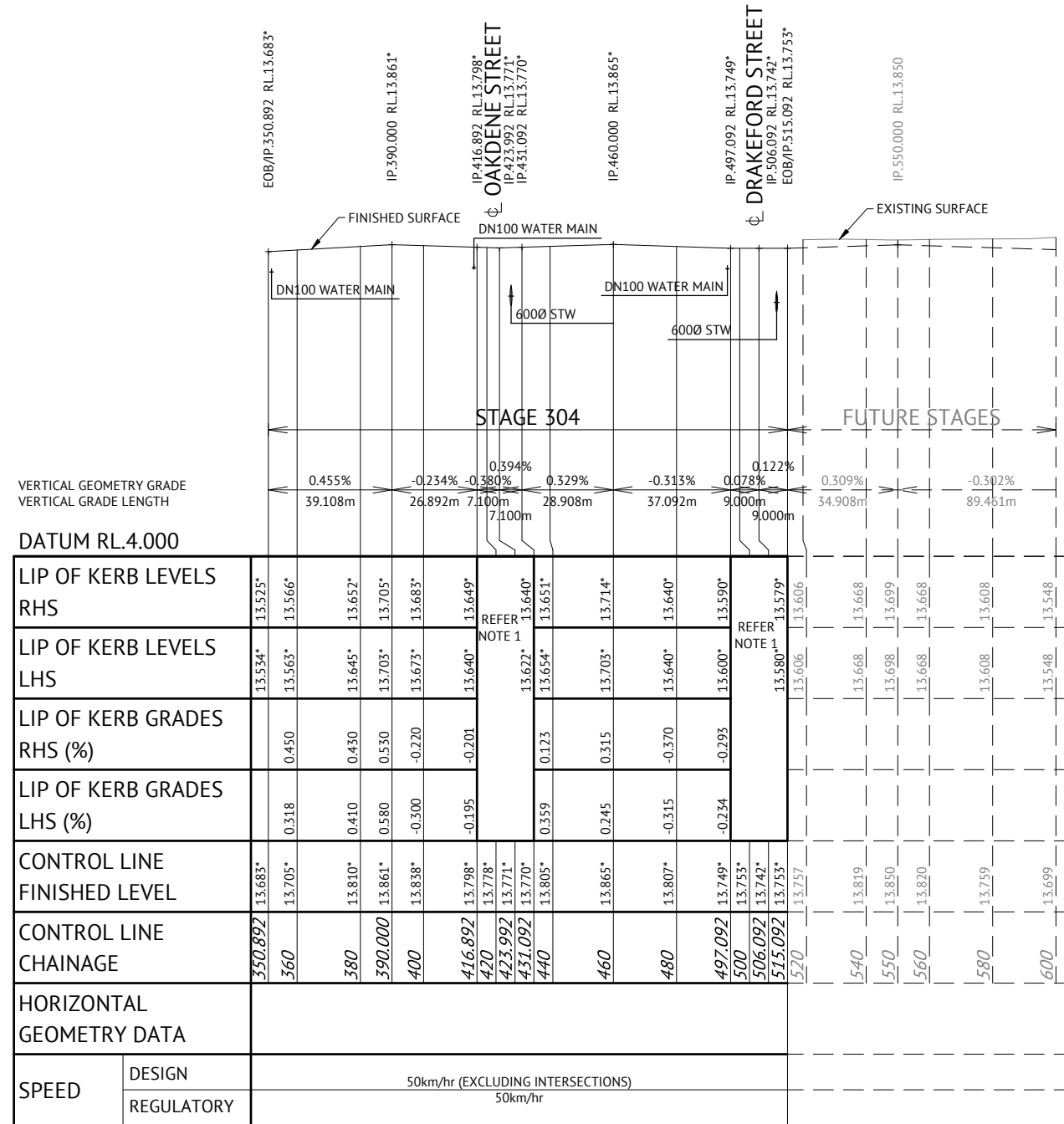
Date:	16th July, 2021
Sheet:	1 of 1 Sheets
Scale:	AS SHOWN
Plan No:	26700/197 A

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SURVEYING  
TOWNPLANNING  
PROJECT MANAGEMENT  
MAPPING & GIS

**APPROVED PAVEMENT DESIGN  
THE BURLINGS**

30mm ASPHALT SURFACING (AC10M)  
PRIME COAT 1.1L/m<sup>2</sup> (AMCO)  
125mm BASE COURSE (DMR TYPE 2.1)  
170mm SUB BASE COURSE (DMR TYPE 2.3 @ 1.5% GB)  
200mm LOWER SUB BASE (TYPE 2.3 @ 3.0% GB)



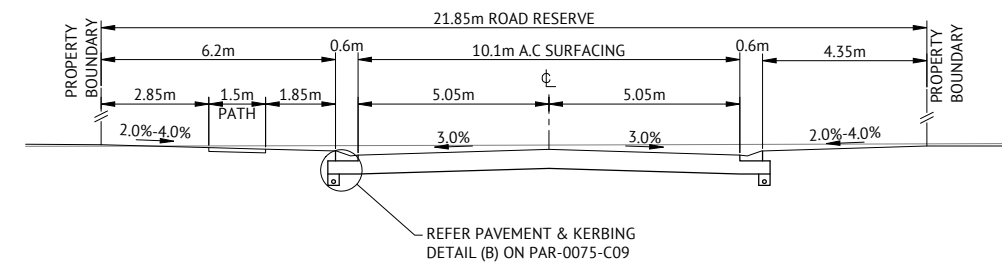
**THE BURLINGS LONGITUDINAL SECTION**  
SCALE 1:100 VERTICAL, SCALE 1:1000 HORIZONTAL

TOWNSVILLE EARTHMOVING DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

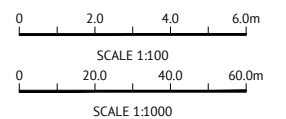
AUTHORISED DELEGATE .....  
DATE 19/07/21

PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

RPEQ 13231 .....  
DATE 19/07/21



**TYPICAL SECTION  
THE BURLINGS CROSS SECTIONS**  
SCALE 1:100



No.	Date	Details	Check
A	16.07.21	Original Issue	GEO

Level Datum: AHD (DERIVED)	B.M. Used: PSM193553 RL.13.035
Coordinate Projection: Plane	Coordinate Datum: Arbitrary
Origin of Coordinates: PSM193553	Meridian: MGA94 (Zone 55)
Map Reference: 8259-31131	Contour Interval:
Job No: 26700-158-01	File No: 26700_198A.dwg
Surveyed by: BM	Drawn: MJM
Approved:	

BRAZIER MOTTI PTY LTD (ACN 066 411 041), 595 Finders Street, Townsville hereby certify that this Drawing accurately and correctly describes and records the nature and location of the works depicted by asterisks (\*) as they have been constructed for subdivision.

Director: [Signature]  
Date: 16-07-21

Client:	PARKSIDE DEVELOPMENT PTY LTD
Project:	AS CONSTRUCTED - GREATER ASCOT STAGE 304 GREATER ASCOT AVENUE - SHAW THE BURLINGS LONGITUDINAL AND CROSS SECTIONS
Local Authority:	Townsville City Council
Locality:	Shaw

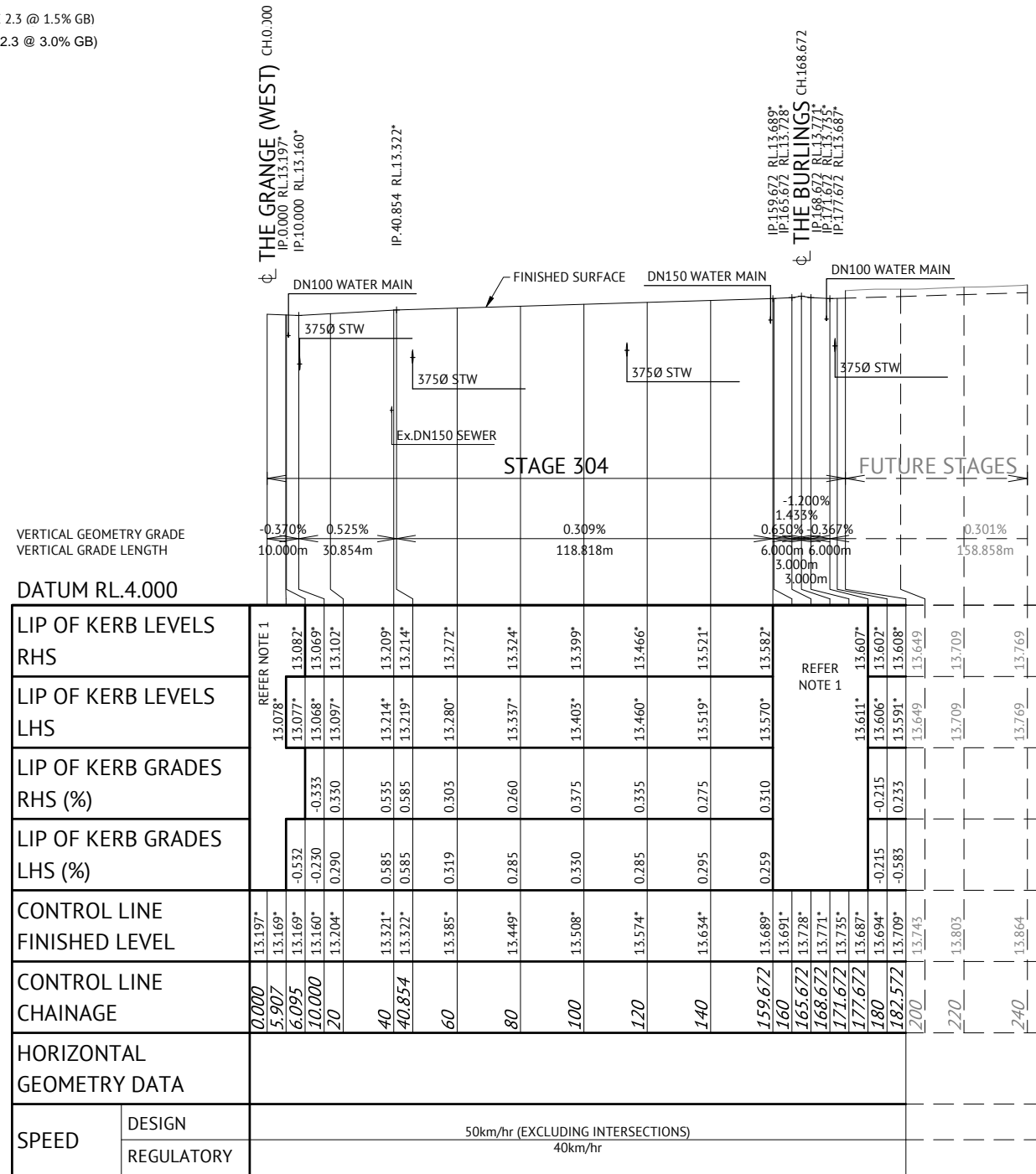
Date:	16th July, 2021
Sheet:	1 of 1 Sheets
Scale:	AS SHOWN
Plan No:	26700/198 A
braziermotti.com.au	
SURVEYING TOWNPLANNING PROJECT MANAGEMENT MAPPING&GIS	

**APPROVED PAVEMENT DESIGN**  
**OAKDENE STREET CH3.000 - CH120.000**

30mm ASPHALT SURFACING (AC10M)  
 PRIME COAT 1.1L/m<sup>2</sup> (AMCO)  
 125mm BASE COURSE (DMR TYPE 2.1)  
 140mm SUB BASE COURSE (DMR TYPE 2.3 @ 1.5% GB)

**APPROVED PAVEMENT DESIGN**  
**OAKDENE STREET CH120.000 - CH164.000**

**AND CH174.000-CH183.000**  
 30mm ASPHALT SURFACING (AC10M)  
 PRIME COAT 1.1L/m<sup>2</sup> (AMCO)  
 125mm BASE COURSE (DMR TYPE 2.1)  
 145mm SUB BASE COURSE (DMR TYPE 2.3 @ 1.5% GB)  
 150mm LOWER SUB BASE (TYPE 2.3 @ 3.0% GB)



**OAKDENE STREET LONGITUDINAL SECTION**

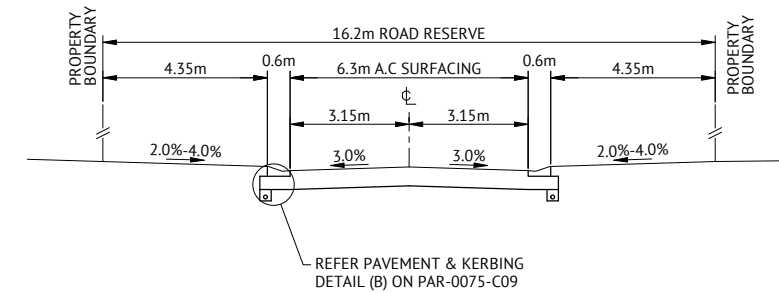
SCALE 1:100 VERTICAL, SCALE 1:1000 HORIZONTAL

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AUTHORISED DELEGATE .....  
 DATE 19/07/21

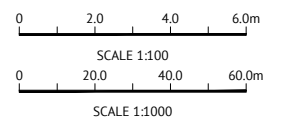
PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

RPEQ 13231.....  
 DATE 19/07/21



**OAKDENE STREET CROSS SECTIONS**

SCALE 1:100



No.	Date	Details	Check
A	16.07.21	Original Issue	GEO

Level Datum: AHD (DERIVED)  
 B.M. Used: PSM193553 RL.13.035  
 Coordinate Projection: Plane  
 Coordinate Datum: Arbitrary  
 Origin of Coordinates: PSM193553 E: -  
 Meridian: MGA94 (Zone 55) N: -  
 Map Reference: 8259-31131  
 Contour Interval:  
 Job No: 26700-158-01  
 File No: 26700\_199A.dwg

Surveyed by: BM  
 Drawn: MJM  
 Approved:

BRAZIER MOTTI PTY LTD (ACN 066 411 041), 595 Flinders Street, Townsville hereby certify that this Drawing accurately and correctly describes and records the nature and location of the works depicted by asterisks (\*) hereon as they have been constructed for subdivision.

Director  
 Date 16-07-20



Client: **PARKSIDE DEVELOPMENT PTY LTD**  
 Project: **AS CONSTRUCTED - GREATER ASCOT STAGE 304  
 GREATER ASCOT AVENUE - SHAW  
 OAKDENE STREET LONGITUDINAL AND CROSS SECTIONS**  
 Local Authority: Townsville City Council  
 Locality: Shaw

Date: 16th July, 2021  
 Sheet 1 of 1 Sheets  
 Scale: AS SHOWN A1  
 Plan No: 26700/199 A  
 Scale 1:100  
 Scale 1:1000



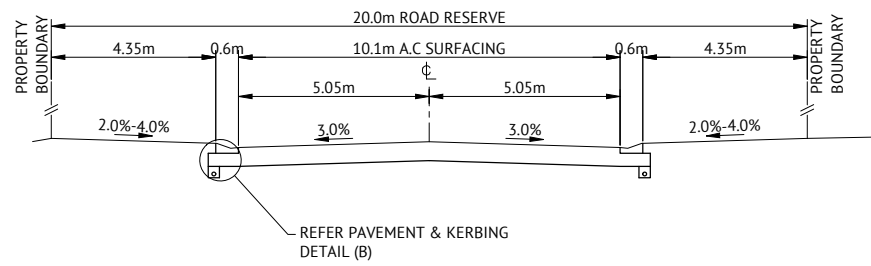
**APPROVED PAVEMENT DESIGN**  
**DRAKEFORD STREET CH3.000-CH120.000**

30mm ASPHALT SURFACING (AC10M)  
 PRIME COAT 1.1L/m<sup>2</sup> (AMCO)  
 125mm BASE COURSE (DMR TYPE 2.1)  
 230mm SUB BASE COURSE (DMR TYPE 2.3 @ 1.5% GB)

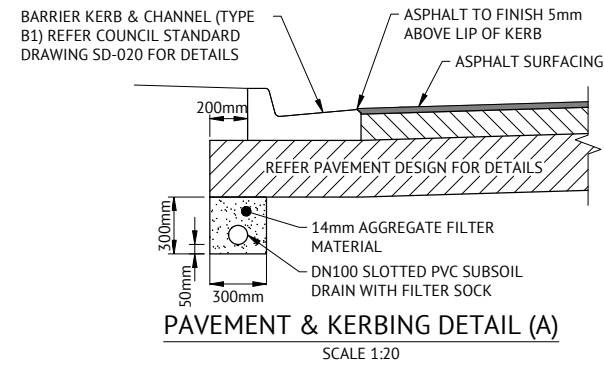
**APPROVED PAVEMENT DESIGN**  
**DRAKEFORD STREET CH120.000-CH165.000**

and CH175.000-184.00

30mm ASPHALT SURFACING (AC10M)  
 PRIME COAT 1.1L/m<sup>2</sup> (AMCO)  
 125mm BASE COURSE (DMR TYPE 2.1)  
 170mm SUB BASE COURSE (DMR TYPE 2.3 @ 1.5% GB)  
 200mm LOWER SUB BASE (TYPE 2.3 @ 3.0% GB)

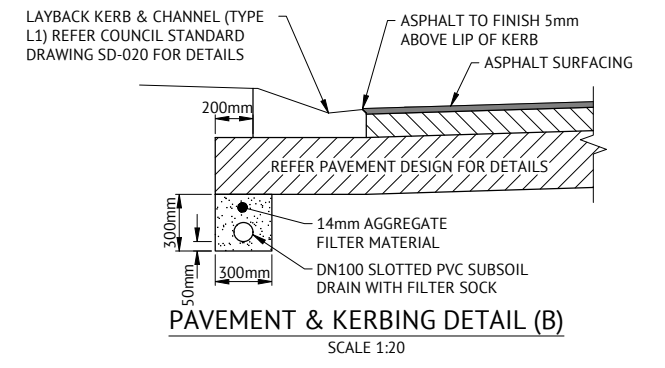


TYPICAL SECTION



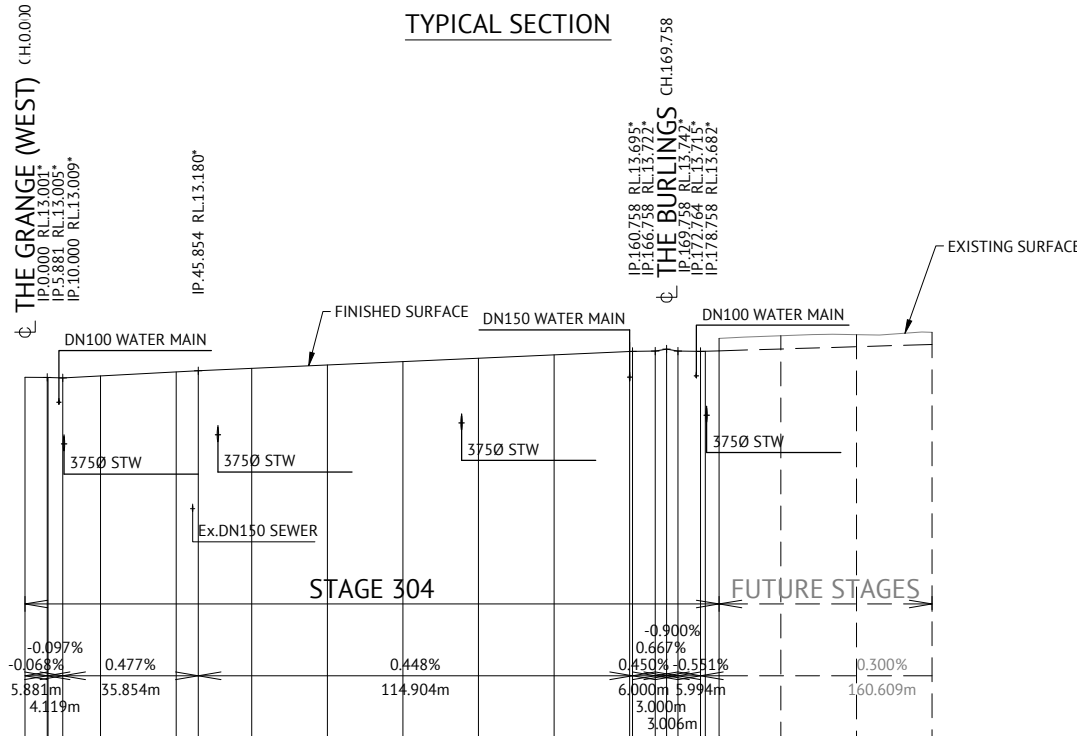
PAVEMENT & KERBING DETAIL (A)

SCALE 1:20



PAVEMENT & KERBING DETAIL (B)

SCALE 1:20



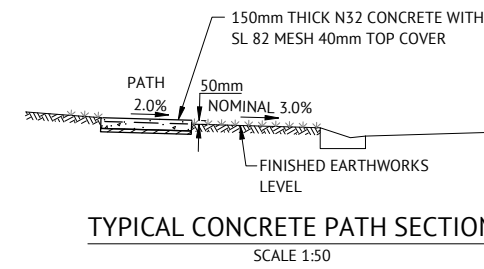
VERTICAL GEOMETRY GRADE  
 VERTICAL GRADE LENGTH

DATUM RL.3.000

STATION	FINISHED SURFACE	EXISTING SURFACE	VERTICAL GRADE LENGTH	VERTICAL GRADE (%)	LIP OF KERB LEVELS RHS	LIP OF KERB LEVELS LHS	LIP OF KERB GRADES RHS (%)	LIP OF KERB GRADES LHS (%)	CONTROL LINE FINISHED LEVEL	CONTROL LINE CHAINAGE
0+000	12.836	12.836	5.883m	-0.097%	12.849	12.836	-0.418	0.418	13.001	0
6+120	12.849	12.849	55.854m	0.477%	12.844	12.849	-0.129	0.129	13.005	60
10+000	12.874	12.874	114.904m	0.448%	12.874	12.874	0.300	0.300	13.009	100
140	13.073	13.073	6.000m	0.450%	13.073	13.073	0.400	0.400	13.012	140
160	13.261	13.261	5.994m	0.667%	13.261	13.261	0.460	0.460	13.017	160
172	13.346	13.346	3.000m	0.551%	13.346	13.346	0.425	0.425	13.073	172
180	13.544	13.544	3.006m	0.300%	13.544	13.544	0.450	0.450	13.073	180
200	13.550	13.550	160.609m		13.550	13.550	-1.449	-1.449	13.544	200
220	13.652	13.652			13.652	13.652			13.544	220
240	13.712	13.712			13.712	13.712			13.544	240

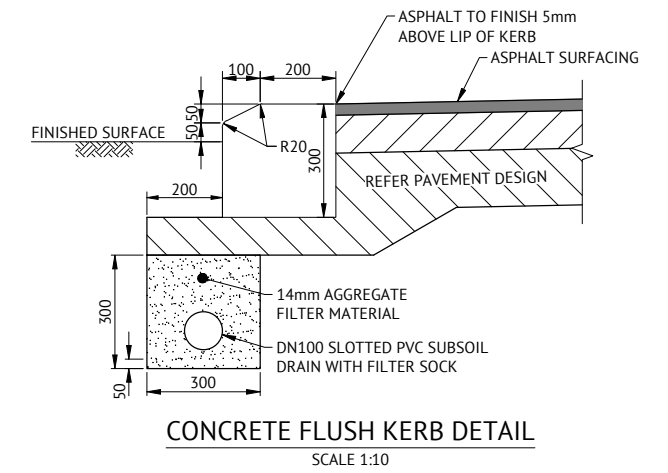
**DRAKEFORD STREET LONGITUDINAL SECTION**

SCALE 1:100 VERTICAL, SCALE 1:1000 HORIZONTAL



TYPICAL CONCRETE PATH SECTION

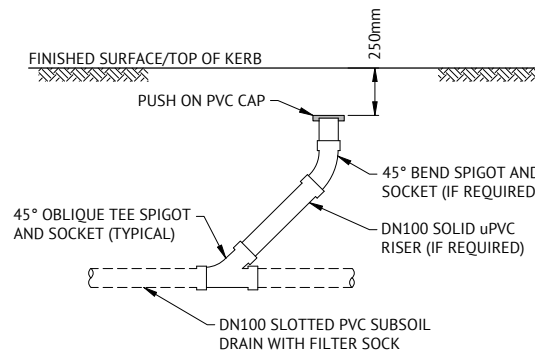
SCALE 1:50



CONCRETE FLUSH KERB DETAIL

SCALE 1:10

NOTE: REFER COUNCIL STANDARD DRAWING SD-020 FOR CONCRETE DETAILS.



TYPICAL SUBSOIL DRAIN CLEANOUT POINT DETAIL

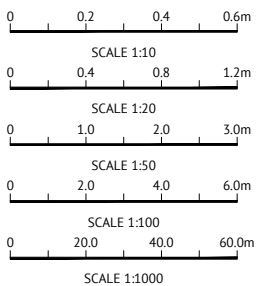
NOTE: PROVIDE "S" BRASS KERB MARKER TO INDICATE LOCATION OF CLEANOUT POINT

TOWNSVILLE EARTHMOVING DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

AUTHORISED DELEGATE  
 DATE 19/07/21

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RPEQ 13231  
 DATE 19/07/21



No.	Date	Details	Check
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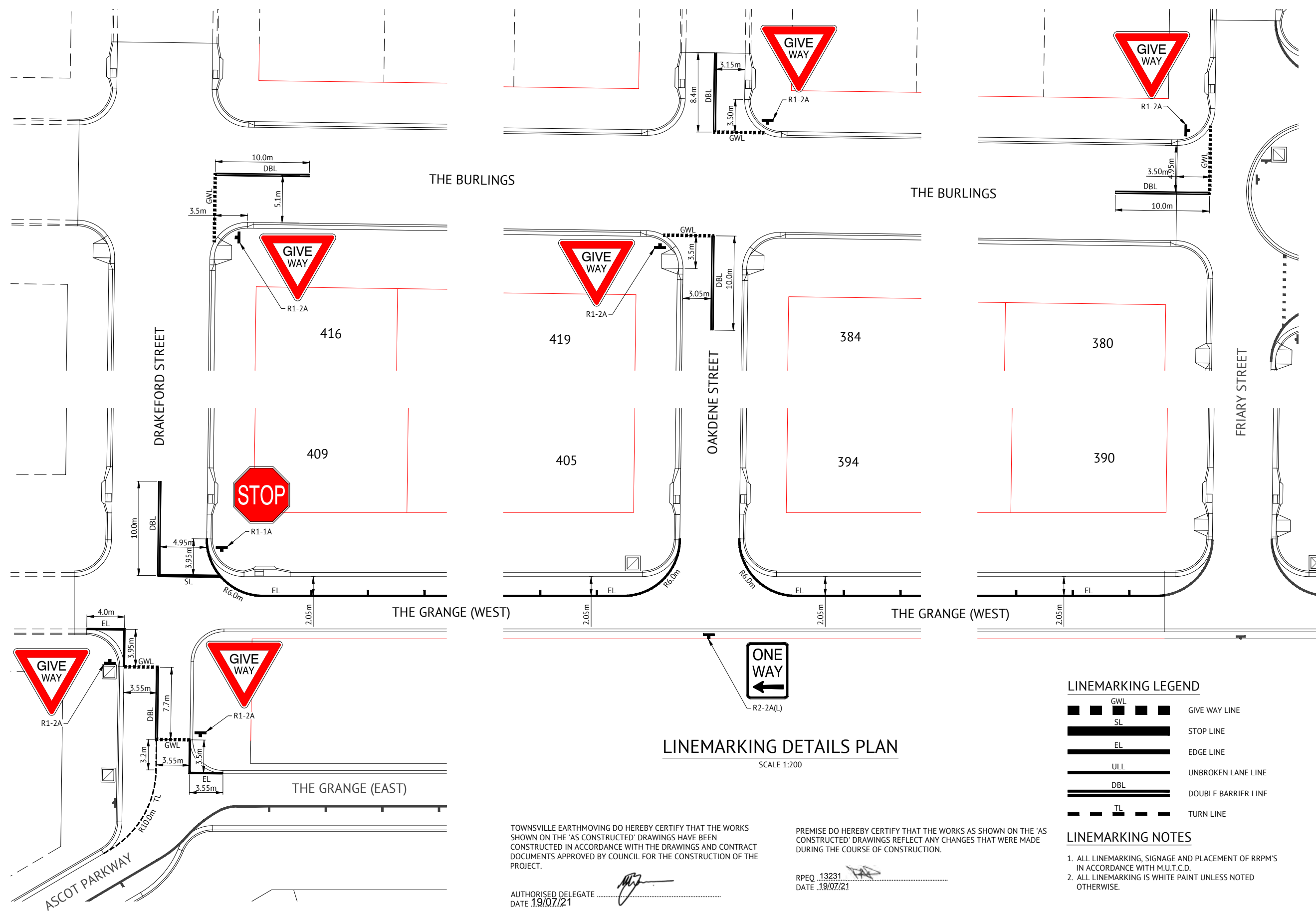
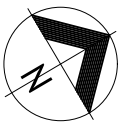
BRAZIER MOTTI PTY LTD (ACN 066 411 041), 595 Flanders Street, Townsville hereby certify that this Drawing accurately and correctly describes and records the nature and location of the works depicted by asterisks (\*) before the name of the works to be constructed for subdivision.

**BRAZIER MOTTI**  
 Director  
 Date: 16-07-20

Client: **PARKSIDE DEVELOPMENT PTY LTD**  
 Project: **AS CONSTRUCTED - GREATER ASCOT STAGE 304 GREATER ASCOT AVENUE - SHAW DRAKEFORD STREET LONGITUDINAL SECTION**  
 Local Authority: Townsville City Council | Locality: Shaw

Date: 16th July, 2021  
 Sheet 1 of 1 Sheets  
 Scale: AS SHOWN | A1  
 Plan No: 26700/200 A  
 braziermotti.com.au  
 SURVEYING TOWNPLANNING PROJECT MANAGEMENT MAPPING&GIS





**LINEMARKING DETAILS PLAN**  
SCALE 1:200

**LINEMARKING LEGEND**

	GWL	GIVE WAY LINE
	SL	STOP LINE
	EL	EDGE LINE
	ULL	UNBROKEN LANE LINE
	DBL	DOUBLE BARRIER LINE
	TL	TURN LINE

**LINEMARKING NOTES**

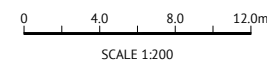
1. ALL LINEMARKING, SIGNAGE AND PLACEMENT OF RRPM'S IN ACCORDANCE WITH M.U.T.C.D.
2. ALL LINEMARKING IS WHITE PAINT UNLESS NOTED OTHERWISE.

TOWNSVILLE EARTHMOVING DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

AUTHORISED DELEGATE  
DATE 19/07/21

PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

RPEQ 13231  
DATE 19/07/21



Revisions			
No.	Date	Details	Check
A	16.07.21	Original Issue	GEO

Level Datum: AHD (DERIVED)  
B.M. Used: PSM193553 RL.13.035  
Coordinate Projection: Plane  
Coordinate Datum: Arbitrary  
Origin of Coordinates: PSM193553  
Meridian: MGA94 (Zone 55)  
Map Reference: 8259-31131  
Contour Interval:  
Job No: 26700-158-01  
File No: 26700\_202A.dwg

Surveyed by: BM  
Drawn: MJM  
Approved:

Client:	<b>PARKSIDE DEVELOPMENT PTY LTD</b>
Project:	<b>AS CONSTRUCTED - GREATER ASCOT STAGE 304 GREATER ASCOT AVENUE - SHAW LINEMARKING AND SIGNAGE DETAILS PLAN</b>
Local Authority: Townsville City Council	Locality: Shaw

Date: 16th July, 2021	Sheet 1 of 1 Sheets
Scale: AS SHOWN	AI
Plan No: 26700/202 A	

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MAPPING&GIS



STRUCTURE NAME
STRUCTURE DESCRIPTION

**STORMWATER NOTES**

1. ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
2. STRUCTURE SETOUT IS TO CENTRE OF MANHOLE OR CENTRE OF STANDARD KERB INLET CHAMBER.
3. FOR STORMWATER ALIGNMENT, REFER TO STORMWATER LAYOUT DRAWING.
4. ALL RCP DRAINAGE PIPES FLUSH JOINTED WITH EXTERNAL RUBBER BAND, UNLESS NOTED OTHERWISE.
5. ALL POLYPROPYLENE DRAINAGE PIPES IN ACCORDANCE WITH AS5065.
6. PIPE CLASS: (3) - RCP CLASS 3 (P) - POLYPROPYLENE

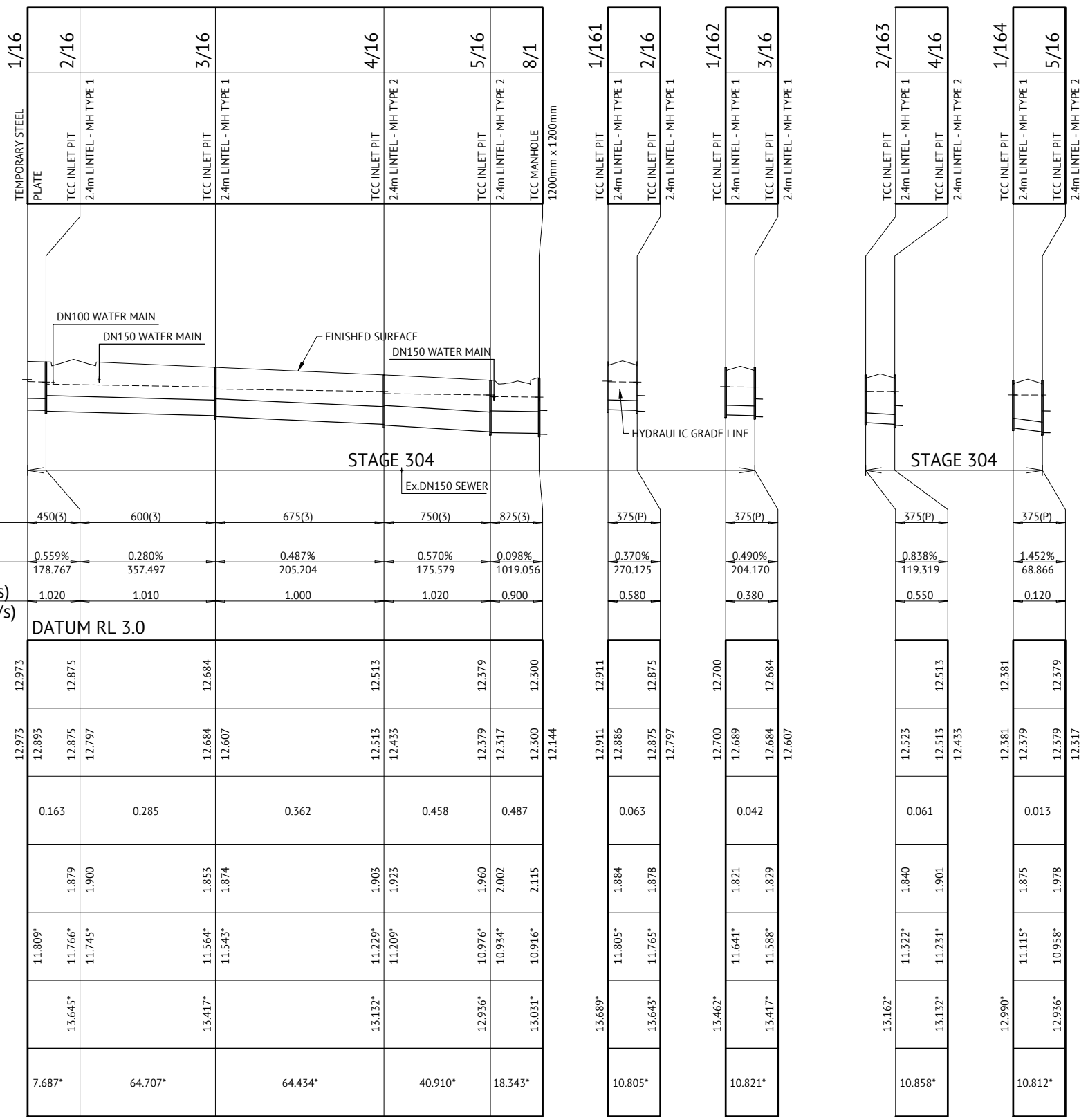
**PIPE SIZEmm (Class)**

**PIPE GRADE %**

**PIPE SLOPE 1 in X  
FULL PIPE FLOW VELOCITY (m/s)  
PART FULL FLOW VELOCITY (m/s)**

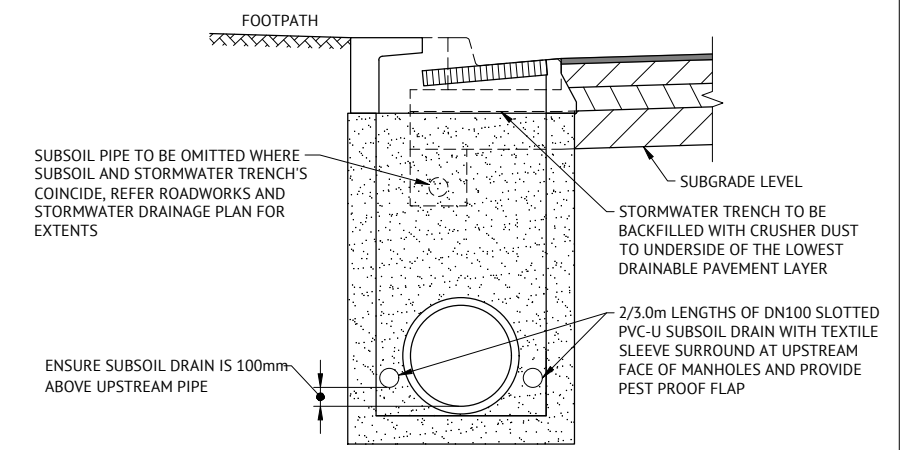
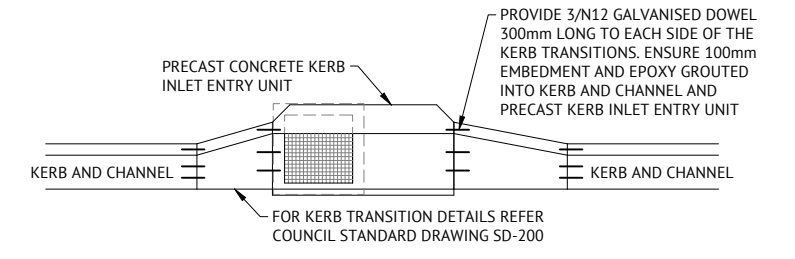
WATER LEVEL IN STRUCTURE
HYDRAULIC GRADE LEVEL
PIPE FLOW (Cumecs)
DEPTH TO INVERT
INVERT LEVEL OF DRAIN
FINISHED SURFACE LEVEL
PIPE LENGTH

LINE



**Q2 STORMWATER LONGITUDINAL SECTIONS**

SCALE 1:100 VERTICAL, SCALE 1:1000 HORIZONTAL

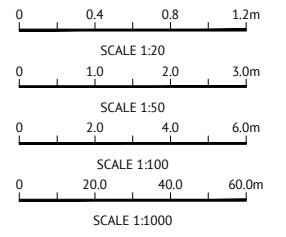


TOWNSVILLE EARTHMOVING DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

AUTHORISED DELEGATE \_\_\_\_\_  
DATE 19/07/21

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RPEQ 13231  
DATE 19/07/21



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Coordinate Projection: Plane  
Coordinate Datum: Arbitrary  
Origin of Coordinates: PSM19353  
Meridian: MGA94 (Zone 55)  
Map Reference: 8259-31131  
Contour Interval:  
Job No: 26700-158-01  
File No: 26700\_203A.dwg

Surveyed by: BM  
Drawn: MJM  
Approved:

BRAZIER MOTTI PTY LTD (ACN 066 411 041), 595 Flinders Street, Townsville hereby certify that this drawing accurately and correctly describes and records the nature and location of the works depicted by asterisks (\*) whenever they have been approved for subdivision.

Director \_\_\_\_\_  
Date 16-07-21

Client:	PARKSIDE DEVELOPMENT PTY LTD
Project:	AS CONSTRUCTED - GREATER ASCOT STAGE 304 GREATER ASCOT AVENUE - SHAW STORMWATER LONGITUDINAL SECTION - SHEET 1 OF 2
Local Authority:	Townsville City Council
Locality:	Shaw

Date:	16th July, 2021
Sheet:	1 of 1 Sheets
Scale:	AS SHOWN
Plan No:	26700/203 A

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STRUCTURE NAME
STRUCTURE DESCRIPTION

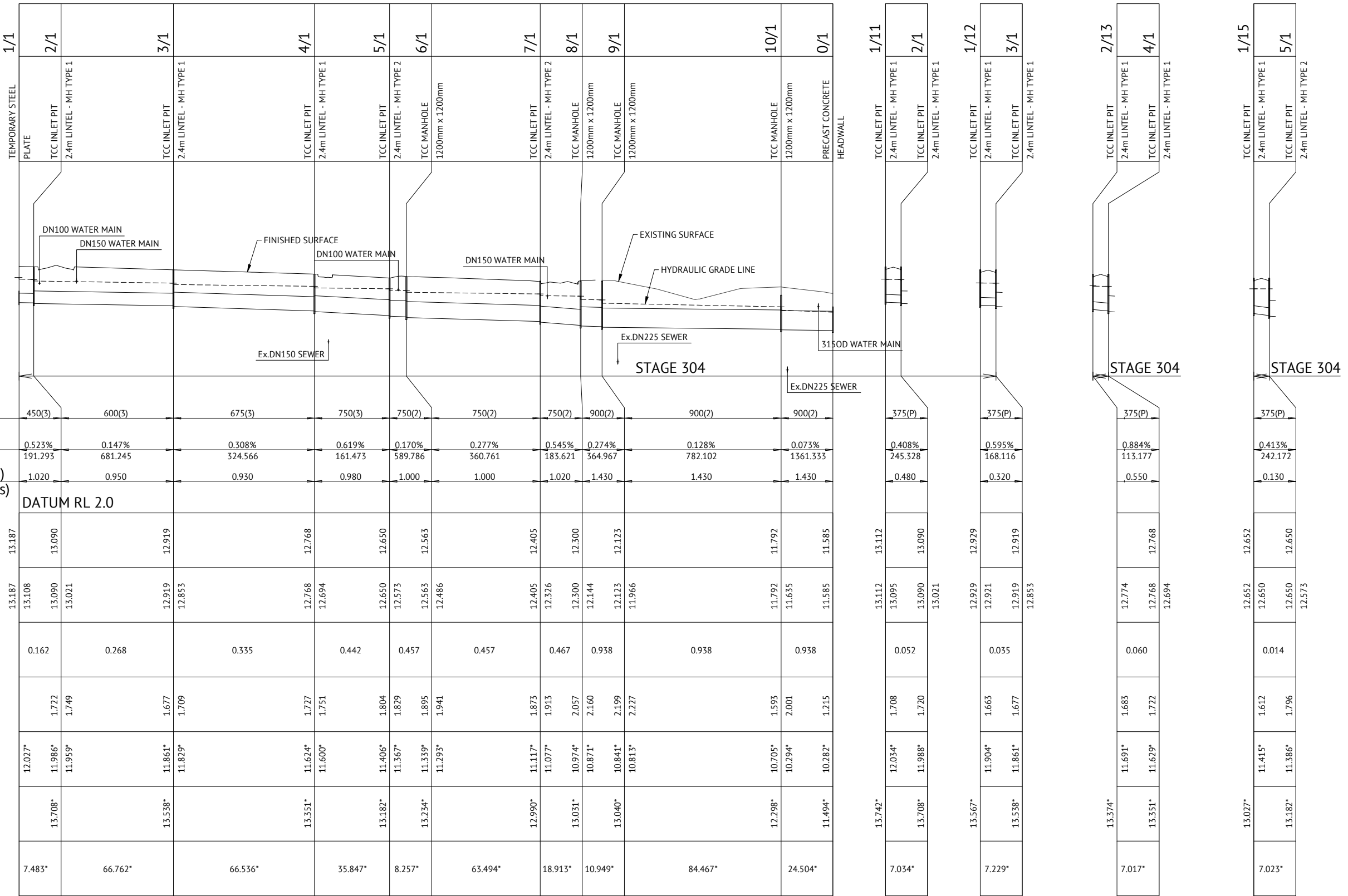
**STORMWATER NOTES**

- ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
- STRUCTURE SETOUT IS TO CENTRE OF MANHOLE OR CENTRE OF STANDARD KERB INLET CHAMBER.
- FOR STORMWATER ALIGNMENT, REFER TO STORMWATER LAYOUT DRAWING.
- ALL RCP DRAINAGE PIPES FLUSH JOINTED WITH EXTERNAL RUBBER BAND, UNLESS NOTED OTHERWISE.
- ALL POLYPROPYLENE DRAINAGE PIPES SHALL ACCORDANCE WITH AS5065.
- PIPE CLASS: (2) - RCP CLASS 2  
(3) - RCP CLASS 3  
(P) - POLYPROPYLENE

**PIPE SIZE** (mm (Class))

PIPE GRADE %	0.523%	0.147%	0.308%	0.619%	0.170%	0.277%	0.545%	0.274%	0.128%	0.073%	0.408%	0.595%	0.884%	0.413%
PIPE SLOPE 1 in X	191.293	681.245	324.566	161.473	589.786	360.761	183.621	364.967	782.102	1361.333	245.328	168.116	113.177	242.172
FULL PIPE FLOW VELOCITY (m/s)	1.020	0.950	0.930	0.980	1.000	1.000	1.020	1.430	1.430	1.430	0.480	0.320	0.550	0.130
PART FULL FLOW VELOCITY (m/s)														

WATER LEVEL IN STRUCTURE	13.187	13.187	13.187	13.187	13.187	13.187	13.187	13.187	13.187	13.187	13.112	12.929	12.768	12.652
HYDRAULIC GRADE LEVEL	13.108	13.090	13.021	12.919	12.853	12.768	12.694	12.650	12.573	12.563	12.486	12.405	12.326	12.300
PIPE FLOW (Cumecs)	0.162	0.268	0.335	0.442	0.457	0.457	0.467	0.938	0.938	0.938	0.052	0.035	0.060	0.014
DEPTH TO INVERT		1.722	1.749	1.677	1.709	1.727	1.751	1.804	1.829	1.895	1.941	1.873	1.913	2.057
INVERT LEVEL OF DRAIN	12.027*	11.986*	11.959*	11.861*	11.829*	11.624*	11.600*	11.406*	11.367*	11.339*	11.293*	11.117*	11.077*	10.974*
FINISHED SURFACE LEVEL	13.708*	13.708*	13.538*	13.538*	13.351*	13.351*	13.182*	13.182*	13.031*	13.040*	13.040*	12.990*	13.031*	13.031*
PIPE LENGTH	7.483*	66.762*	66.536*	35.847*	8.257*	63.494*	18.913*	10.949*	84.467*	24.504*	7.034*	7.229*	7.017*	7.023*



**LINE**

TOWNSVILLE EARTHMOVING DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

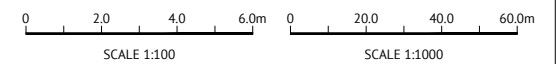
AUTHORISED DELEGATE DATE 19/07/21

PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

RPEQ 13231... DATE 19/07/21

**Q2 STORMWATER LONGITUDINAL SECTIONS**

SCALE 1:100 VERTICAL, SCALE 1:1000 HORIZONTAL



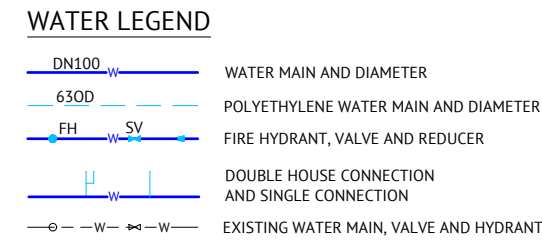
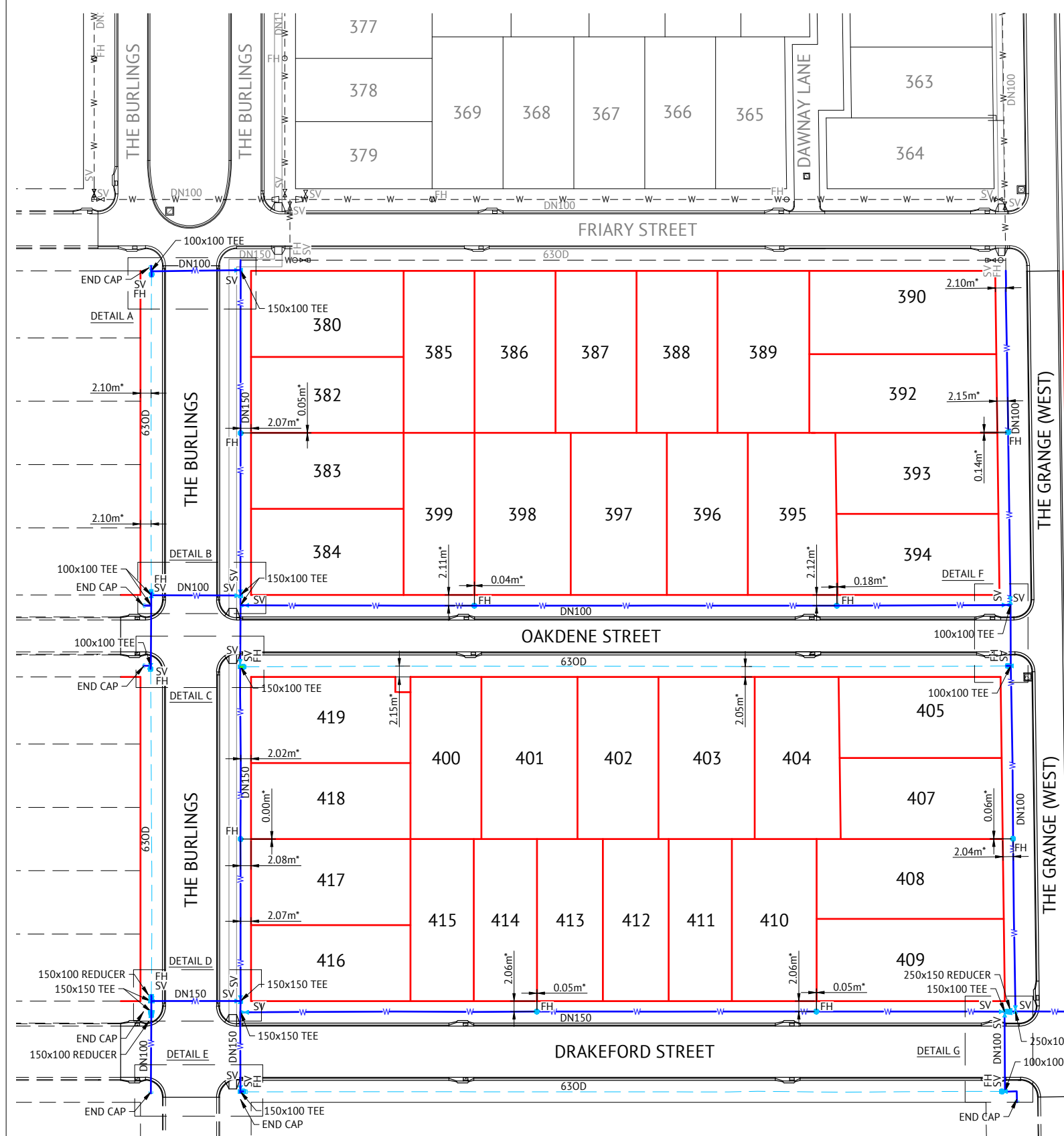
No.	Date	Details	Check
A	16.07.21	Original Issue	Geo

BRAZIER MOTTI PTY LTD (ACN 066 411 041), 595 Flinders Street  
 Townsville hereby certify that this Drawing accurately and correctly describes and records the nature and location of the works depicted by asterisks (\*) insofar as they have been constructed under supervision.

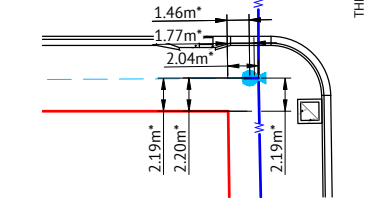
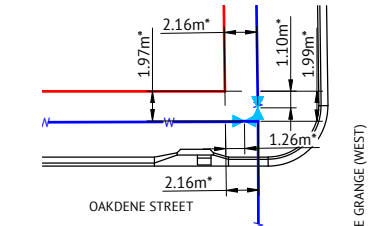
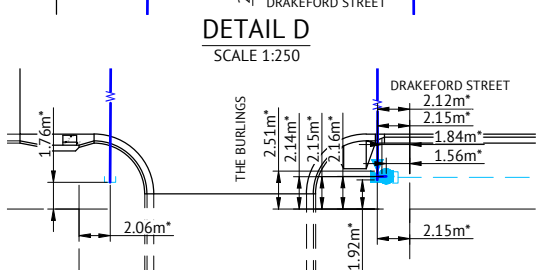
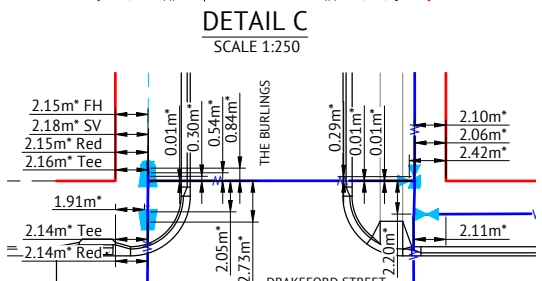
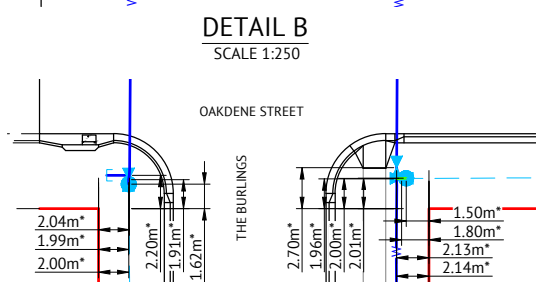
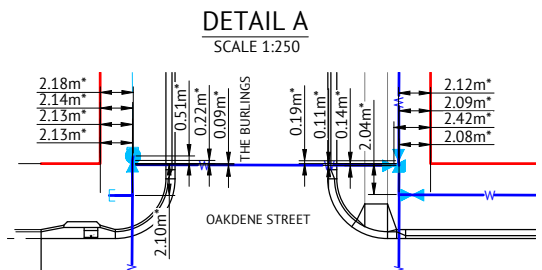
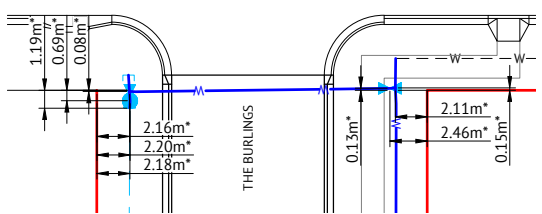
Director Date 16-07-21

Client: PARKSIDE DEVELOPMENT PTY LTD  
 Project: AS CONSTRUCTED - GREATER ASCOT STAGE 304  
 GREATER ASCOT AVENUE - SHAW  
 STORMWATER LONGITUDINAL SECTION - SHEET 2 OF 2  
 Local Authority: Townsville City Council Locality: Shaw

Date: 16th July, 2021  
 Sheet 1 of 1 Sheets  
 Scale: AS SHOWN  
 Plan No: 26700/204 A  
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- ### WATER NOTES
- ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND PROJECT SPECIFICATION.
  - ALL WATER MAINS ARE LOCATED ON A 2.1m ±0.1m ALIGNMENT OFFSET FROM PROPERTY BOUNDARIES, UNLESS NOTED OTHERWISE.
  - ALL FIRE HYDRANTS ARE LOCATED OPPOSITE A SIDE PROPERTY BOUNDARY, UNLESS NOTED OTHERWISE.
  - ALL uPVC MAINS ARE CLASS PN16 SERIES 2 COMPATIBLE TO AS 1477 RUBBER RING JOINTED, WITH SOCKETTED DICL FITTINGS UNLESS NOTED OTHERWISE.
  - ALL 630D MAINS POLYETHYLENE CLASS PN16 TO AS 4130.
  - ALL TRENCHES UNDER ROAD PAVEMENT (INCLUDING FUTURE) BACKFILLED WITH CRUSHER DUST TO SUBGRADE LEVEL. REFER PROJECT SPECIFICATION FOR COMPACTION AND COMPLIANCE TESTING REQUIREMENTS.
  - CONNECTION TO EXISTING WATER MAINS CARRIED OUT BY COUNCIL AT THE CONTRACTORS EXPENSE.
  - REFER TCC STANDARD DRAWING SD-315 FOR PVC TO PE SERVICE MAIN CONNECTION DETAIL.



TOWNSVILLE EARTHMOVING DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

AUTHORISED DELEGATE DATE 19/07/21

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RPEQ 13231 DATE 19/07/21

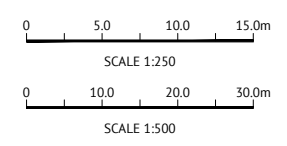
No.	Date	Details	Check
A	16.07.21	Original Issue	GE0

Level Datum: AHD (DERIVED)  
 B.M. Used: PSM193553 RL.13.035  
 Coordinate Projection: Plane  
 Coordinate Datum: Arbitrary  
 Origin of Coordinates: PSM193553  
 Meridian: MGA94 (Zone 55)  
 Map Reference: 8259-31131  
 Contour Interval:  
 Job No: 26700-158-01  
 File No: 26700\_205A.dwg

Surveyed by: BM  
 Drawn: MJM  
 Approved:

BRAZIER MOTTI PTY LTD (ACN 066 411 041), 595 Flinders Street, Townsville hereby certify that this Drawing accurately and correctly describes and records the nature and location of the works depicted by asterisks (\*) if they have been constructed for subdivision.

Director  
 Date: 16-07-21



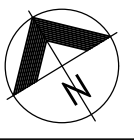
Client: **PARKSIDE DEVELOPMENT PTY LTD**

Project: **AS CONSTRUCTED - GREATER ASCOT STAGE 304 GREATER ASCOT AVENUE - SHAW WATER RETICULATION PLAN**

Local Authority: Townsville City Council | Locality: Shaw

Date: 16th July, 2021  
 Sheet 1 of 1 Sheets  
 Scale: AS SHOWN | A1  
 Plan No: 26700/205 A

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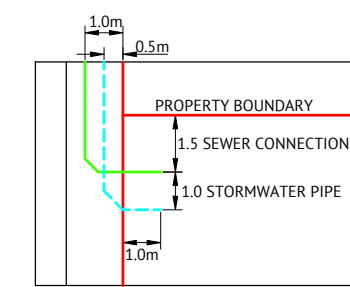


**SEWER LEGEND**

- STORMWATER DRAINAGE LINE
- SEWER MAIN AND MANHOLE (MH)
- DN100 SEWER HOUSE DRAIN
- EXISTING SEWER MAIN AND MANHOLE
- CERTIFIED TYPE & INDICATIVE TOP OF MANHOLE LEVEL  
MANHOLE NUMBER  
LINE NUMBER
- HOUSE CONNECTION (X&Y DIMENSIONS AS PER RELEVANT COUNCIL STANDARD DRAWING U.N.O.)  
CERTIFIED DISTANCE FROM DOWNSTREAM MANHOLE INVERT  
CERTIFIED LEVEL OF HOUSE CONNECTION POINT LEVEL OF CERTIFIED CAP FOR 'TYPE D' CONNECTION HOUSE CONNECTION TYPE  
TYPE A - ACROSS BOUNDARY 'SLOPE DROP'  
TYPE B - ACROSS BOUNDARY 'JUMP UP'  
TYPE C - WITHIN LOT 'DIRECT CONNECTION'  
TYPE D - WITHIN LOT 'JUMP UP'  
TYPE E - MANHOLE 'DIRECT CONNECTION'  
TYPE F - MANHOLE 'INTERNAL DROP'  
TYPE G - MAINTENANCE SHAFT CONNECTION  
TYPE Ex. - EXISTING HOUSE CONNECTION

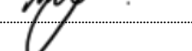
**SEWER NOTES**

1. ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND PROJECT SPECIFICATION
2. ALL SEWERAGE MAINS AND MANHOLES LOCATED ON 1.5m ±0.1m ALIGNMENT OFFSET FROM THE PROPERTY BOUNDARIES, UNLESS NOTED OTHERWISE.
3. ALL SEWERAGE MAINS DN150, UNLESS NOTED OTHERWISE.
4. ALL DN150 AND DN225 SEWERAGE MAINS uPVC DWV SN8, UNLESS NOTED OTHERWISE.
5. ALL DN100 HOUSE DRAINS uPVC DWV SN10, UNLESS NOTED OTHERWISE. (MAXIMUM LENGTH 10.0m)
6. ALL TRENCHES UNDER ROAD PAVEMENT (INCLUDING FUTURE) BACKFILLED WITH CRUSHER DUST TO SUBGRADE LEVEL. REFER PROJECT SPECIFICATION FOR COMPACTION AND COMPLIANCE TESTING REQUIREMENTS.
7. CONNECTION/ALTERATIONS TO EXISTING SEWERAGE INFRASTRUCTURE CARRIED OUT BY COUNCIL AT THE CONTRACTORS EXPENSE.
8. ALL MANHOLE INTERNAL DROP 'CORES' ARE NOT LOCATED WITHIN 150mm OF PRECAST WALL JOINTS. IF CLASH OCCURRED SUPERINTENDENT PROVIDED FURTHER INSTRUCTIONS PRIOR TO MANHOLE BEING 'CORED'.
9. TOP OF MANHOLE LEVELS PROVIDED ARE INDICATIVE, REFER TCC STANDARD DRAWING SD-475 FOR FINISHED LEVELS OF MANHOLE COVERS.




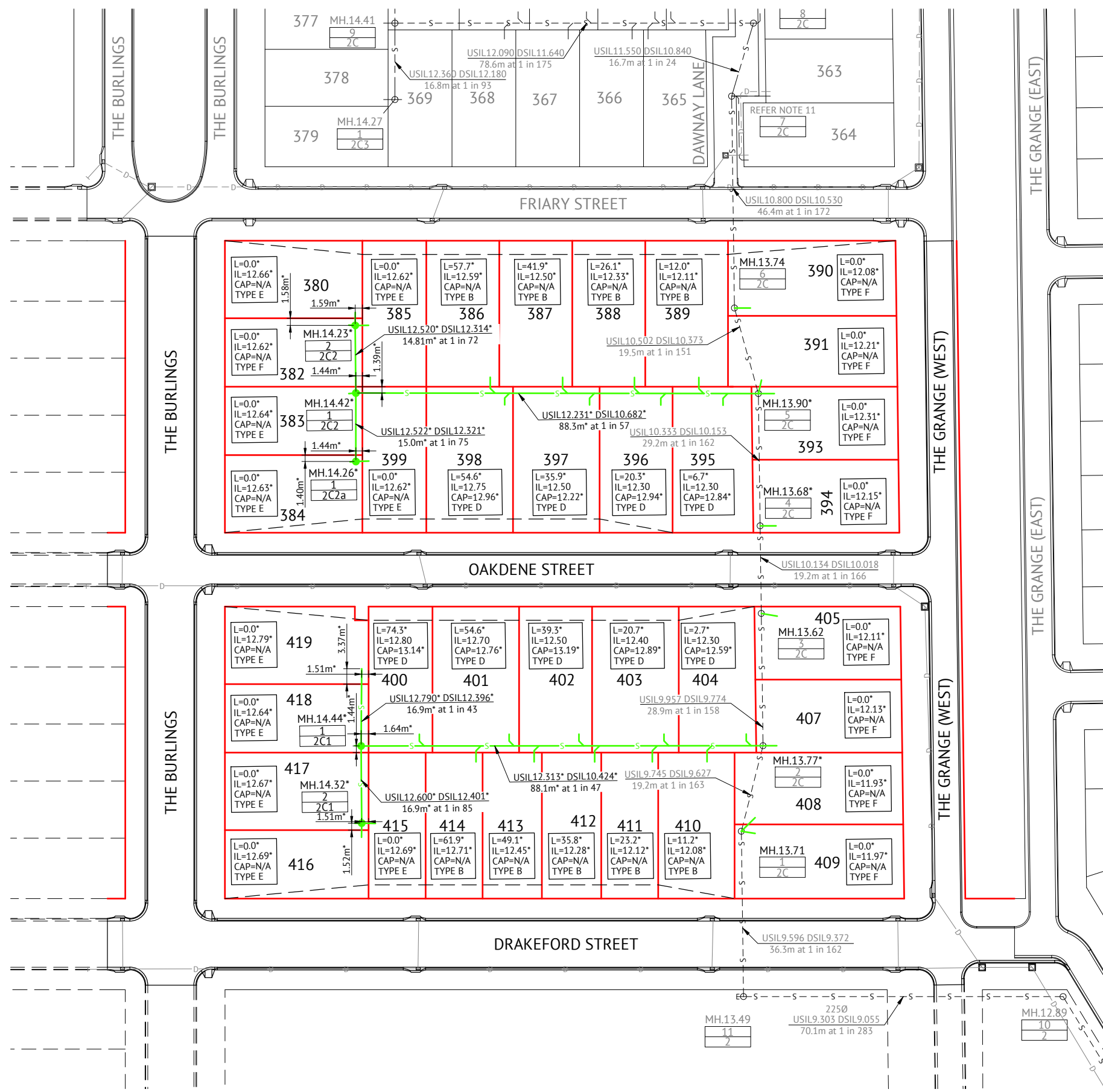
**SEWER & STORMWATER TYPICAL SETOUT IN LANEWAY**  
NTS

TOWNSVILLE EARTHMOVING DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

AUTHORISED DELEGATE   
DATE 19/07/21


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RPEQ 13231   
DATE 19/07/21



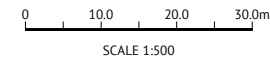
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Townsville hereby certify that this Drawing accurately and correctly  
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asterisks (\*) in the drawing. They have been constructed for subdivision.

 Director  
Date 16-07-21

Level Datum: AHD (DERIVED)  
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Coordinate Projection: Plane  
Coordinate Datum: Arbitrary  
Origin of Coordinates: PSM193553  
Meridian: MGA94 (Zone 55)  
Map Reference: 8259-31131  
Contour Interval:  
Job No: 26700-158-01  
File No: 26700\_206A.dwg

Surveyed by: BM  
Drawn: MJM  
Approved:




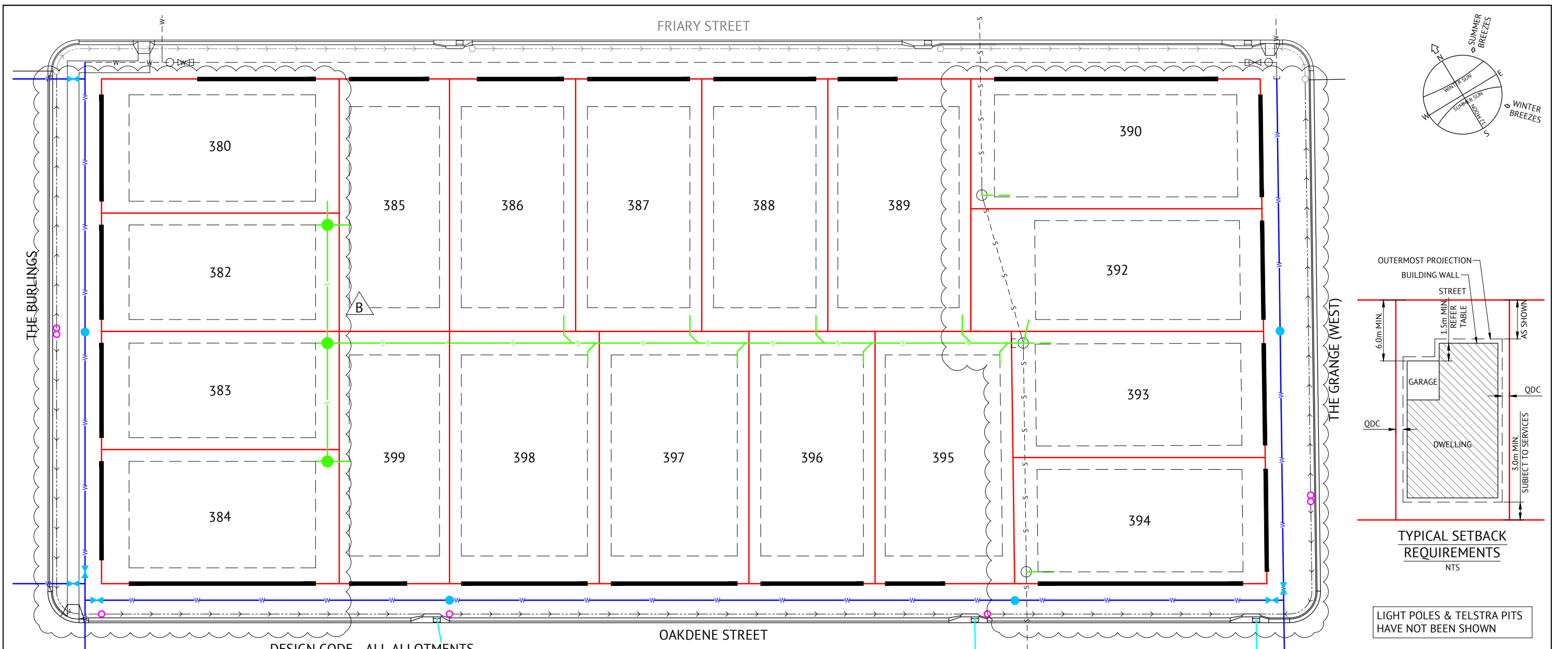
Client: **PARKSIDE DEVELOPMENT PTY LTD**  
Project: **AS CONSTRUCTED - GREATER ASCOT STAGE 304  
GREATER ASCOT AVENUE - SHAW  
SEWERAGE RETICULATION PLAN**

Local Authority: Townsville City Council      Locality: Shaw

Date: 16th July, 2021  
Sheet 1 of 1 Sheets  
Scale: AS SHOWN      AI  
Plan No: 26700/206 A

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**DESIGN CODE - ALL ALLOTMENTS**

TYPE	HOUSE, FRONT LOADED	HOUSE, REAR LOADED (LANE ACCESSED LOTS)
LOT ACCESS	FRONT	REAR
LOT DEPTH (MIN)	25m (20m WHERE 15m WIDTH PROPOSED)	25m
LOT WIDTH (MIN)	12.5m	10.5m
SITE COVERAGE	50% MAX	MAY EXCEED 50% IN RESPONSE TO CODE REQUIREMENTS, BUT NO MORE THAN 65% SITE COVERAGE.
SETBACK FRONT GROUND (MIN)	3.5m	3.0m
SETBACK FRONT UPPER (MIN)	3.5m	4.5m
SETBACK FRONT GARAGE	6.0m FROM FRONT OF GARAGE WALL & 1.5m MIN FROM DWELLING. AN ALTERNATIVE TO 1.5m MIN FROM DWELLING MAY BE PERMITTED, SUBJECT TO PARKSIDE APPROVAL AT TIME OF COVENANT APPROVAL.	N/A
SETBACK PRINCIPAL SIDE GROUND (MIN)	QDC	QDC
SETBACK PRINCIPAL SIDE UPPER (MIN)	QDC	QDC
SETBACK ROAD/ROAD CORNER (MIN)	QDC	QDC
SETBACK PRINCIPLE REAR (MIN)	3.0m	3.0m
OUTBUILDING # (CARPORT/GARAGE) WIDTH (MAX FROM OUTSIDE WALL)	N/A	6.2m*
OUTBUILDING # (CARPORT/GARAGE) & RESIDENTIAL OVER OUTBUILDING SETBACK TO LANE	N/A	0-1.0m
OUTBUILDING # (CARPORT/GARAGE) & RESIDENTIAL OVER OUTBUILDING SIDE SETBACK OTHER THAN TO LANE (MIN)	QDC	QDC
OUTBUILDING (SHED) WIDTH (MAX)	LESSER OF 50% OF REAR BOUNDARY OR 9m	N/A
OUTBUILDING (SHED) DEPTH (MAX)	9m	N/A
OUTBUILDING (SHED) REAR SETBACK	0-1.0m	N/A
OUTBUILDING (SHED) SIDE SETBACK	ZERO IF LOT 12.5m WIDE. AS PER PRINCIPAL SETBACK IF LOT >12.5m WIDE	N/A
FLOOR HEIGHT PRINCIPAL (MIN)	400mm	400mm
MAXIMUM STOREYS	2 STOREYS	2 STOREYS
PRIVATE OPEN SPACE (MIN) (MAY BE COVERED)	4mx4m	4mx4m
PARKING (MIN)	TWO (2), ONE OF WHICH MUST BE COVERED	TWO (2), ONE OF WHICH MUST BE COVERED

**LEGEND**

- POSSIBLE BUILT TO BOUNDARY WALL MAX 9m LONG AND APPLICABLE TO GARAGE OR CLASS 10A BUILDINGS ONLY WHICH SHALL CONFORM TO THE REQUIREMENTS OF THE QUEENSLAND DEVELOPMENT CODE
- ALLOWABLE DRIVEWAY ACCESS
- STORMWATER DRAINAGE LINE
- SUBSOIL DRAIN & CLEANOUT POINT
- WATER MAIN, FIRE HYDRANT & VALVE
- POLYETHYLENE WATER MAIN
- SEWER MAIN & MANHOLE

**DRIVEWAY ACCESS ENVELOPES**

- FOR DRIVEWAY ACCESS ENVELOPES ALLOW 0.5m MINIMUM CLEARANCE TO ALL COUNCIL INFRASTRUCTURE, EXCEPT STORMWATER PITS WHICH REQUIRE 0.6m MINIMUM CLEARANCE, AND SEWERAGE HOUSE CONNECTIONS WHICH REQUIRE 1.2m CLEARANCE.
- ALL DRIVEWAYS REQUIRE A PERMIT FROM COUNCIL PRIOR TO CONSTRUCTION.

\*NOTE: OUTBUILDING (CARPORT/GARAGE) - THE BALANCE OF THE LOT BOUNDARY ADJACENT TO THE OUTBUILDINGS WHERE LOCATED ALONG A ROAD RESERVE INCLUDING LANES) MUST REMAIN OPEN WITH NO ADDITIONAL STRUCTURES PERMITTED ALONG THAT BOUNDARY (EXCLUDING BOUNDARY FENCING WHICH ALLOWS AIRFLOW THROUGH THE BARRIER).  
 \*NOTE: CLEARANCES TO SEWER LINES AND MANHOLES ARE REQUIRED IN ACCORDANCE WITH COUNCIL POLICY.

**BUILDING ENVELOPES**

- DIMENSIONS SHOWN ARE ADAPTED FROM THE QUEENSLAND DEVELOPMENT CODE (11.03.10) PART MP 1.1 & 1.2. DIMENSIONS SHOWN SHALL APPLY TO CLASS 1 SINGLE STOREY STRUCTURES, FOR CLASS 2 TWO STOREY STRUCTURES AND CLASS 10 STRUCTURES REFER TO THE CODE.
- 'SETBACK' MEANS A LINE OR LINES PARALLEL TO ANY BOUNDARY OF A LOT BEYOND WHICH THE BUILDING OR OTHER STRUCTURE SHALL NOT ENCROACH, AND MEASURED AS THE SHORTEST HORIZONTAL DISTANCE FROM THE OUTERMOST PROJECTION OF THE BUILDING OR OTHER STRUCTURE TO THE VERTICAL PROJECTION OF THE LOT BOUNDARY.
- THE BUILDING ENVELOPES ARE TO COMPLY WITH THE DESIGN CODE SHOWN ON THIS PLAN. GREATER SETBACKS MAY BE REQUIRED TO ACCOMMODATE THE ZONE OF INFLUENCE OF UNDERGROUND SERVICES AS STATED IN COUNCIL'S POLICY ON BUILDING OVER OR ADJACENT TO SEWERS.
- DIMENSIONS SHOWN ARE QDC GROUND DWELLING ONLY AND DO NOT ACCOUNT FOR BATTERS OR RETAINING WALLS. A SITE INSPECTION IS REQUIRED PRIOR TO COMMENCEMENT OF DESIGN. REFER DESIGN CODE FOR UPPER FLOOR AND GARAGE SETBACKS.

**CORNER SIGHT LINES**

- COMPLY WITH SIGHT LINES REQUIREMENT OF THE QUEENSLAND DEVELOPMENT CODE AT INTERSECTIONS OF ROADS, INTERSECTIONS OF LANES AND ROADS ARE EXEMPTED FROM THIS REQUIREMENT.
- THE QUEENSLAND DEVELOPMENT CODE TYPICALLY REQUIRES A 9mx9m EXCLUSION ZONE BASED ON BOUNDARIES.

**ACOUSTICAL REQUIREMENTS**

- DWELLINGS SHALL COMPLY WITH THE PROVISIONS IN THE AECOM 'GREATER ASCOT DEVELOPMENT - PRECINCT 3 AND 4 ROAD TRAFFIC, INDUSTRIAL & RECREATIONAL NOISE IMPACT ASSESSMENT - REVISION 4 - 16 DECEMBER 2013'.

CONSTRUCTION ISSUE			
DATE	REV	DESCRIPTION	REVISIONS
12/10/20	B	AMENDED LOT LAYOUT	BC PP
22/12/17	A	ISSUED FOR CONSTRUCTION	GF PP
22/09/17	1	PRELIMINARY ISSUE	GF PP

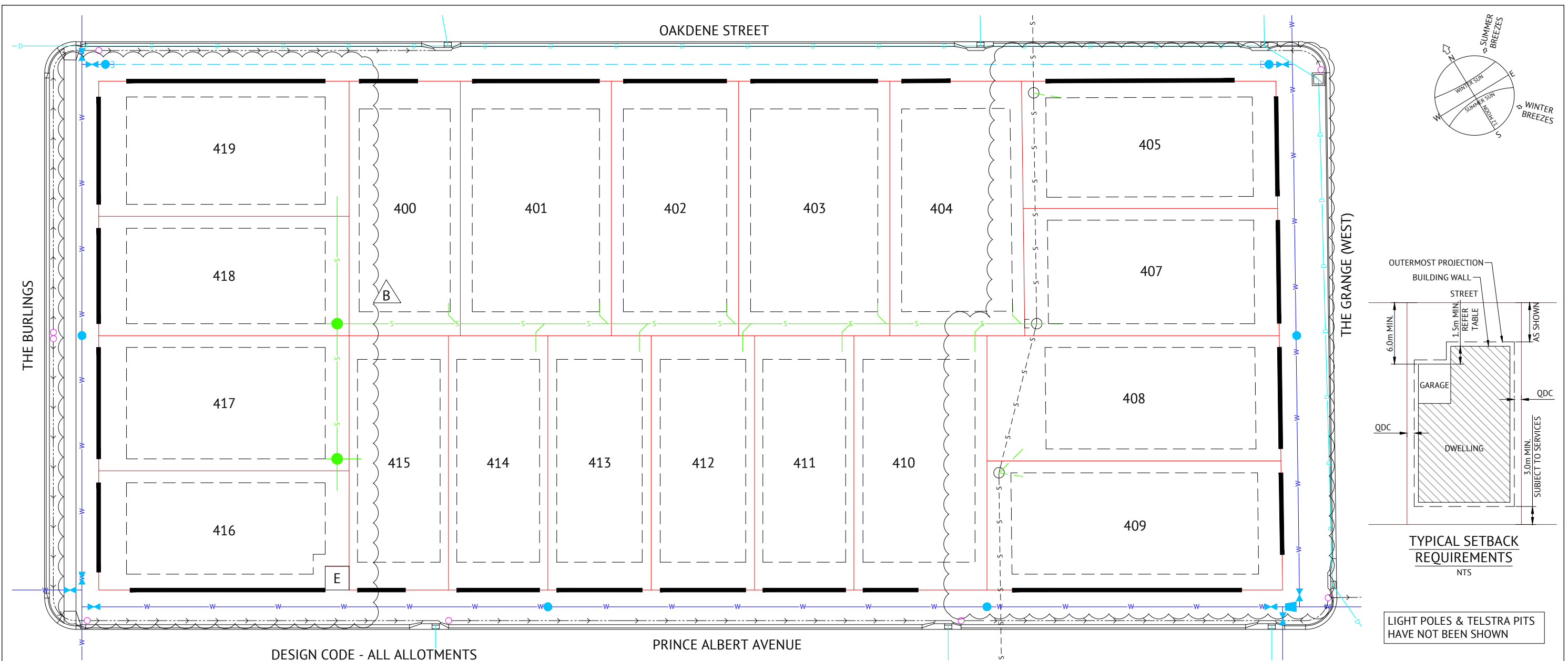
**TOWNSVILLE OFFICE**  
 84 DENHAM STREET  
 PO BOX 1110  
 TOWNSVILLE, QLD 4810  
 PH: (07) 4772 0666  
 WEB: www.premise.com.au

DESIGNED	K.BETTERIDGE
CHECKED	G.FYSH
PROJECT MANAGER	P.PETERSEN
PROJECT DIRECTOR	

PAUL PETERSEN  
 RPEQ 13231  
 SCALE 1:500 @ A3

CLIENT	PARKSIDE DEVELOPMENT PTY LTD
PROJECT	GREATER ASCOT - STAGE 304
LOCATION	GREATER ASCOT AVENUE, SHAW
SHEET TITLE	LOT CONSTRAINTS PLAN - SHEET 1 OF 2

JOB CODE	PAR-0075
SHEET NUMBER	C22
REV	B



DESIGN CODE - ALL ALLOTMENTS

TYPE	HOUSE, FRONT LOADED	HOUSE, REAR LOADED (LANE ACCESSED LOTS)
LOT ACCESS	FRONT	REAR
LOT DEPTH (MIN)	25m (20m WHERE 15m WIDTH PROPOSED)	25m
LOT WIDTH (MIN)	12.5m	10.5m
SITE COVERAGE	50% MAX	MAY EXCEED 50% IN RESPONSE TO CODE REQUIREMENTS, BUT NO MORE THAN 65% SITE COVERAGE.
SETBACK FRONT GROUND (MIN)	3.5m	3.0m
SETBACK FRONT UPPER (MIN)	3.5m	4.5m
SETBACK FRONT GARAGE	6.0m FROM FRONT OF GARAGE WALL & 1.5m MIN FROM DWELLING. AN ALTERNATIVE TO 1.5m MIN FROM DWELLING MAY BE PERMITTED, SUBJECT TO PARKSIDE APPROVAL AT TIME OF COVENANT APPROVAL.	N/A
SETBACK PRINCIPAL SIDE GROUND (MIN)	QDC	QDC
SETBACK PRINCIPAL SIDE UPPER (MIN)	QDC	QDC
SETBACK ROAD/ROAD CORNER (MIN)	2.0m	QDC
SETBACK PRINCIPLE REAR (MIN)	3.0m	3.0m
OUTBUILDING # (CARPORT/GARAGE) WIDTH (MAX FROM OUTSIDE WALL)	N/A	6.2m*
OUTBUILDING # (CARPORT/GARAGE) & RESIDENTIAL OVER OUTBUILDING SETBACK TO LANE	N/A	0-1.0m
OUTBUILDING # (CARPORT/GARAGE) & RESIDENTIAL OVER OUTBUILDING SIDE SETBACK OTHER THAN TO LANE (MIN)	QDC	QDC
OUTBUILDING (SHED) WIDTH (MAX)	LESSER OF 50% OF REAR BOUNDARY OR 9m	N/A
OUTBUILDING (SHED) DEPTH (MAX)	9m	N/A
OUTBUILDING (SHED) REAR SETBACK	0-1.0m	N/A
OUTBUILDING (SHED) SIDE SETBACK	ZERO IF LOT 12.5m WIDE. AS PER PRINCIPAL SETBACK IF LOT >12.5m WIDE	N/A
FLOOR HEIGHT PRINCIPAL (MIN)	400mm	400mm
MAXIMUM STOREYS	2 STOREYS	2 STOREYS
PRIVATE OPEN SPACE (MIN) (MAY BE COVERED)	4m x 4m	4m x 4m
PARKING (MIN)	TWO (2), ONE OF WHICH MUST BE COVERED	TWO (2), ONE OF WHICH MUST BE COVERED

LEGEND

- POSSIBLE BUILT TO BOUNDARY WALL MAX 9m LONG AND APPLICABLE TO GARAGE OR CLASS 10A BUILDINGS ONLY WHICH SHALL CONFORM TO THE REQUIREMENTS OF THE QUEENSLAND DEVELOPMENT CODE
- ALLOWABLE DRIVEWAY ACCESS
- STORMWATER DRAINAGE LINE
- SUBSOIL DRAIN & CLEANOUT POINT
- WATER MAIN, FIRE HYDRANT & VALVE
- POLYETHYLENE WATER MAIN
- SEWER MAIN & MANHOLE
- ABOVE GROUND ERGON CABINET

DRIVEWAY ACCESS ENVELOPES

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BUILDING ENVELOPES

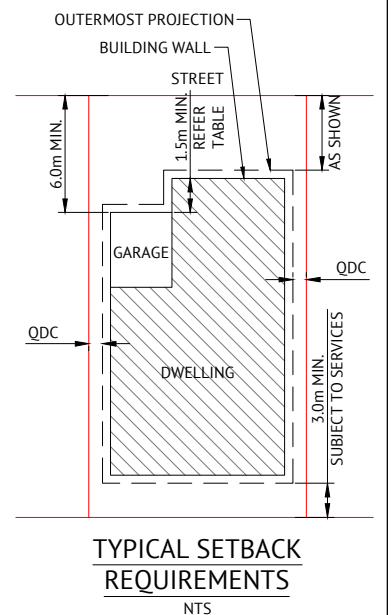
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LIGHT POLES & TELSTRA PITS HAVE NOT BEEN SHOWN

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CLIENT	PARKSIDE DEVELOPMENT PTY LTD
PROJECT	GREATER ASCOT - STAGE 304
LOCATION	GREATER ASCOT AVENUE, SHAW
SHEET TITLE	LOT CONSTRAINTS PLAN - SHEET 2 OF 2

JOB CODE	PAR-0075
SHEET NUMBER	C23
REV	B