

PROPOSED RECONFIGURATION

Lots 8026-8049
Cancelling Lots 5000 on SP283208

Parish of Bohle
County of Elphinstone
City of Townsville

STAGE 802

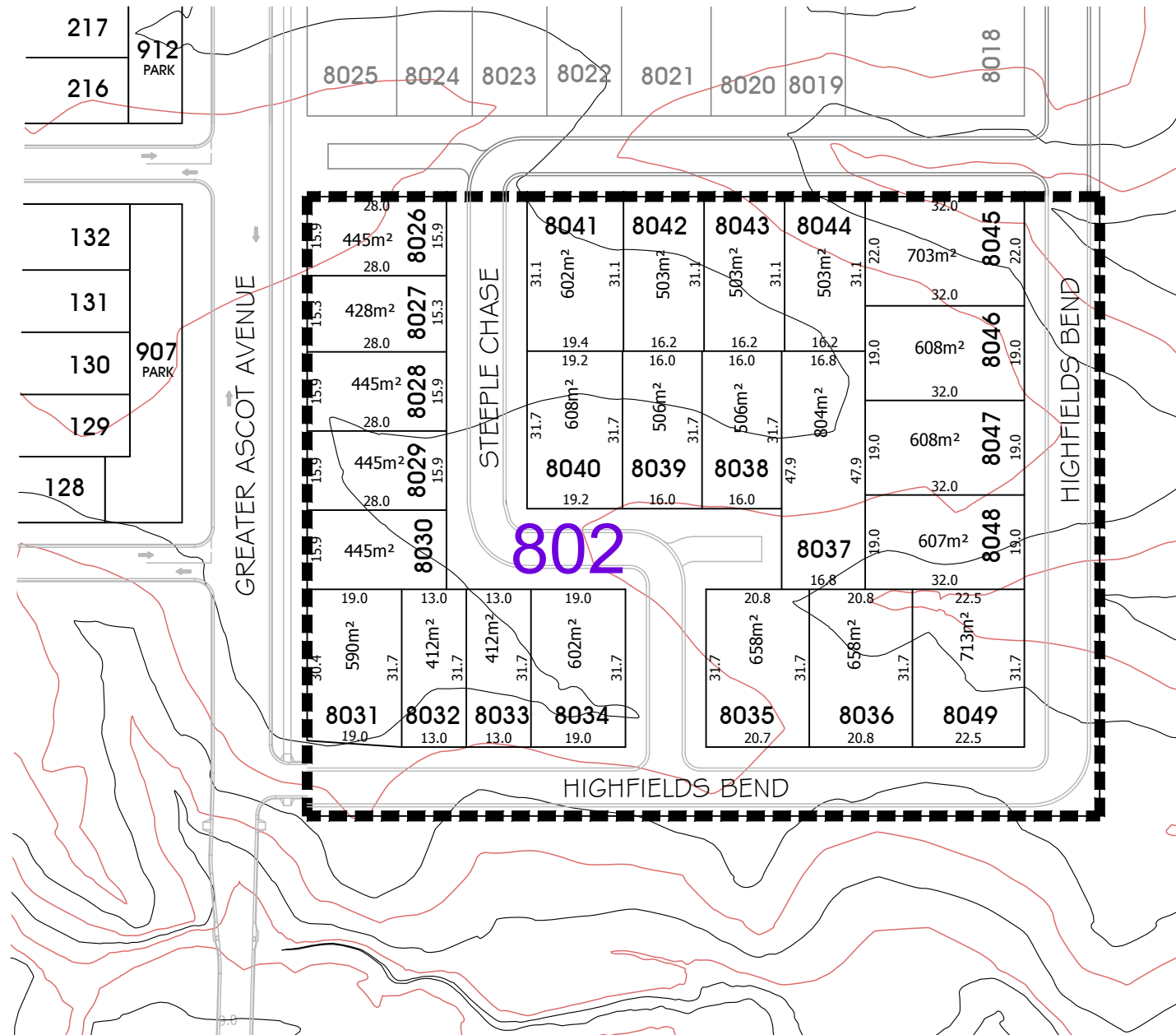
Total Site Area 1.98 ha

Total Lots..... 24

Average Lot Area..... 555m²

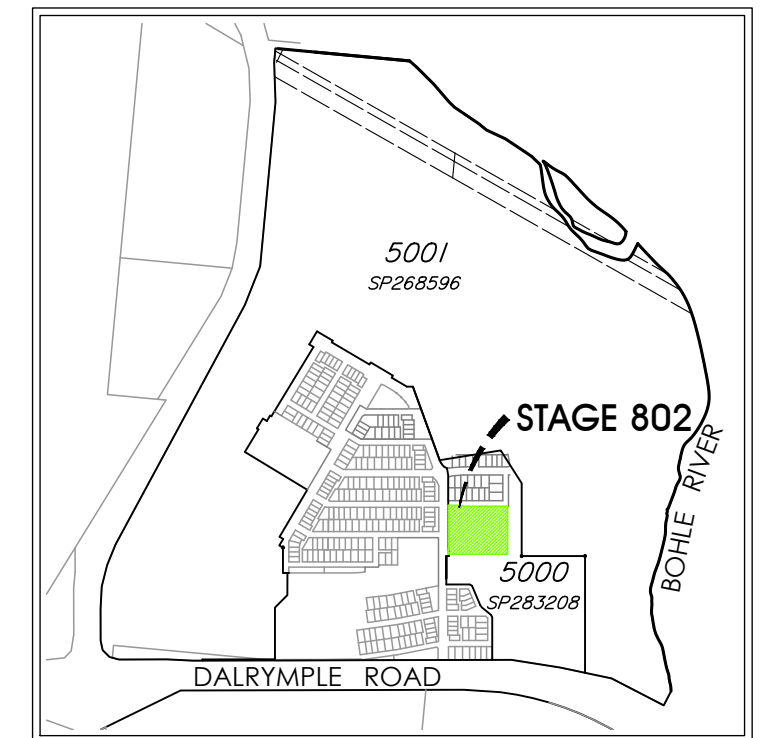
Total Length of New Road 416m

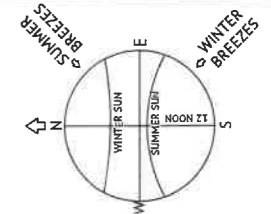
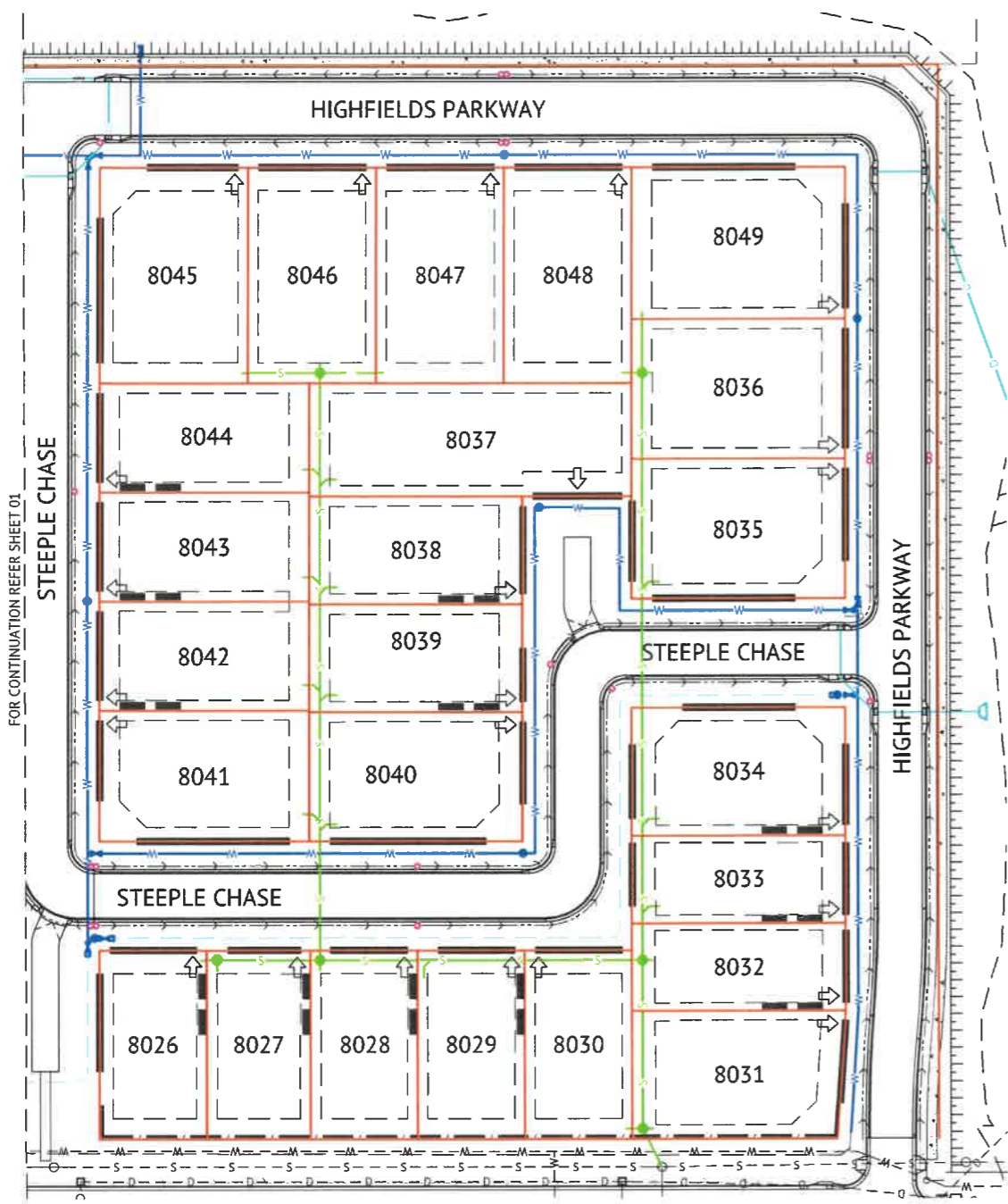
— 1.0m contour
— 0.5m contour



Notes

Corner Sight Lines:
Comply with sight lines requirement of the Queensland Development Code on road corners.
This is typically 9m x 9m exclusion zone based boundaries.
For clipped corners and lots with park frontages typically this is a 18m x 18m exclusion zone based on the edge of the traffic lane.
Rear access lanes are exempted from this requirement.





LEGEND

- █ POSSIBLE BUILT TO BOUNDARY WALL MAX 9m LONG AND APPLICABLE TO GARAGE OR CLASS 10A BUILDINGS ONLY WHICH SHALL CONFORM TO THE REQUIREMENTS OF THE QUEENSLAND DEVELOPMENT CODE
- - - INDICATIVE BUILDING ENVELOPE
- ALLOWABLE DRIVEWAY ACCESS
- STORMWATER DRAINAGE LINE
- SUBSOIL DRAIN & CLEANOUT POINT
- WATER MAIN, FIRE HYDRANT & VALVE
- POLYETHYLENE WATER MAIN
- SEWER MAIN & MANHOLE
- ↓ PREFERRED DRIVEWAY LOCATION
- NOISE FENCE

BUILDING ENVELOPES

1. THE BUILDING ENVELOPES ARE TO COMPLY WITH THE DESIGN CODE SHOWN ON THIS PLAN. GREATER SETBACKS MAY BE REQUIRED TO ACCOMMODATE THE ZONE OF INFLUENCE OF UNDERGROUND SERVICES AS STATED IN COUNCIL'S POLICY ON BUILDING OVER OR ADJACENT TO SEWERS.
2. INDICATIVE BUILDING ENVELOPES SHOWN ARE QDC GROUND DWELLING ONLY AND DO NOT ACCOUNT FOR BATTERS OR RETAINING WALLS. A SITE INSPECTION IS REQUIRED PRIOR TO COMMENCEMENT OF DESIGN. REFER DESIGN CODE FOR UPPER FLOOR AND GARAGE SETBACKS.

CORNER SIGHT LINES

1. COMPLY WITH SIGHT LINES REQUIREMENT OF THE QUEENSLAND DEVELOPMENT CODE AT INTERSECTIONS OF ROADS. INTERSECTIONS OF LANES AND ROADS ARE EXEMPTED FROM THIS REQUIREMENT.
2. THE QUEENSLAND DEVELOPMENT CODE TYPICALLY REQUIRES A 9mx9m EXCLUSION ZONE BASED ON BOUNDARIES.

DRIVEWAY ACCESS ENVELOPES

1. FOR DRIVEWAY ACCESS ENVELOPES ALLOW 0.5m MINIMUM CLEARANCE TO ALL COUNCIL INFRASTRUCTURE, EXCEPT STORMWATER PITS WHICH REQUIRE 0.6m MINIMUM CLEARANCE, AND SEWERAGE HOUSE CONNECTIONS WHICH REQUIRE 1.2m CLEARANCE.
2. ALL DRIVEWAYS REQUIRE A PERMIT FROM COUNCIL PRIOR TO CONSTRUCTION.

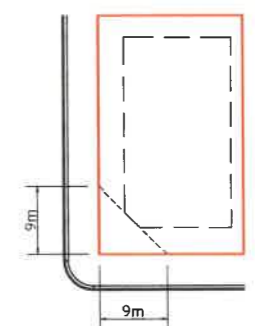
#NOTE: OUTBUILDING (CARPORT/GARAGE) - THE BALANCE OF THE LOT BOUNDARY ADJACENT TO THE OUTBUILDINGS WHERE LOCATED ALONG A ROAD RESERVE INCLUDING LANES) MUST REMAIN OPEN WITH NO ADDITIONAL STRUCTURES PERMITTED ALONG THAT BOUNDARY (EXCLUDING BOUNDARY FENCING WHICH ALLOWS AIRFLOW THROUGH THE BARRIER).

*NOTE: CLEARANCES TO SEWER LINES AND MANHOLES ARE REQUIRED IN ACCORDANCE WITH COUNCIL POLICY.

LIGHT POLES & TELSTRA PITS HAVE NOT BEEN SHOWN

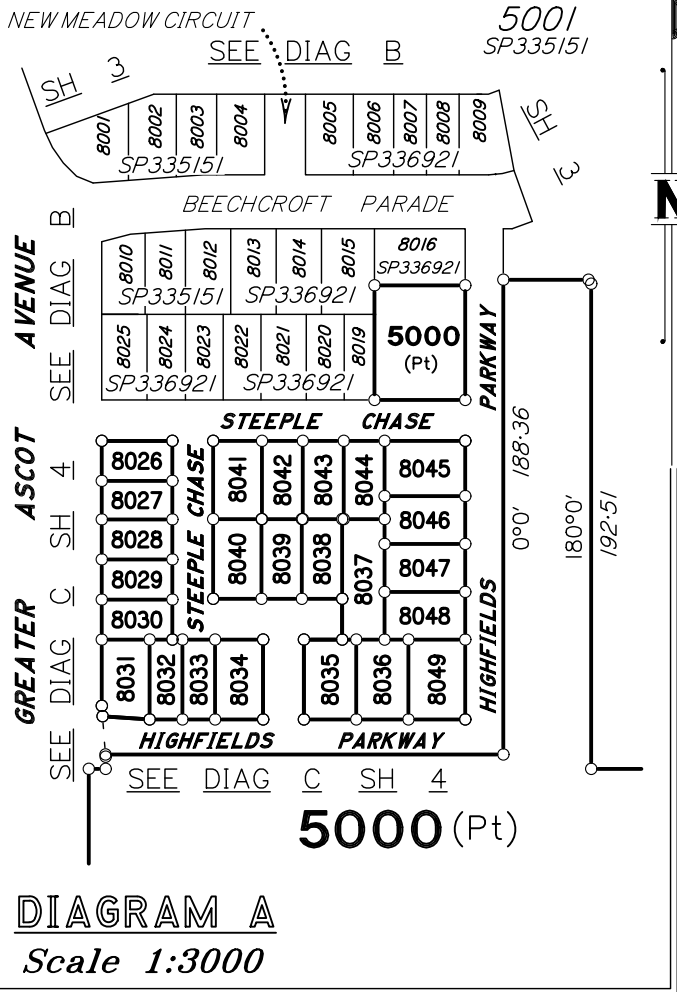
DESIGN CODE - ALL ALLOTMENTS

| | |
|-----------------------------------------------------------------------------------------------------|----------------------------------------------------------|
| TYPE | HOUSE, FRONT LOADED |
| LOT ACCESS | FRONT, FROM STREET |
| LOT DEPTH (MIN) | 25m (20m WHERE 15m WIDTH PROPOSED) |
| LOT WIDTH (MIN) | 12.5m |
| SITE COVERAGE | 55% MAX |
| SETBACK FRONT GROUND (MIN) | 3.5m |
| SETBACK FRONT UPPER (MIN) | 3.5m |
| SETBACK FRONT GARAGE | 6.0m FROM FRONT OF GARAGE WALL & 1.5m MIN FROM DWELLING. |
| SETBACK PRINCIPAL SIDE GROUND (MIN) | QDC |
| SETBACK PRINCIPAL SIDE UPPER (MIN) | QDC |
| SETBACK ROAD/ROAD CORNER (MIN) | 2.0m |
| SETBACK PRINCIPLE REAR (MIN) | 3.0m |
| OUTBUILDING # (CARPORT/GARAGE) WIDTH (MAX FROM OUTSIDE WALL) | N/A |
| OUTBUILDING # (CARPORT/GARAGE) & RESIDENTIAL OVER OUTBUILDING SETBACK TO LANE | N/A |
| OUTBUILDING # (CARPORT/GARAGE) & RESIDENTIAL OVER OUTBUILDING SIDE SETBACK OTHER THAN TO LANE (MIN) | QDC |
| OUTBUILDING (SHED) WIDTH (MAX) | LESSER OF 50% OF REAR BOUNDARY OR 9m |
| OUTBUILDING (SHED) DEPTH (MAX) | QDC |
| OUTBUILDING (SHED) REAR SETBACK | 0-1.0m |
| OUTBUILDING (SHED) SIDE SETBACK | QDC |
| FLOOR HEIGHT PRINCIPAL (MIN) | 400mm |
| MAXIMUM STOREYS | 2 STOREYS |
| PRIVATE OPEN SPACE (MIN) (MAY BE COVERED) | 4mx4m |
| PARKING (MIN) | TWO (2), ONE OF WHICH MUST BE COVERED |



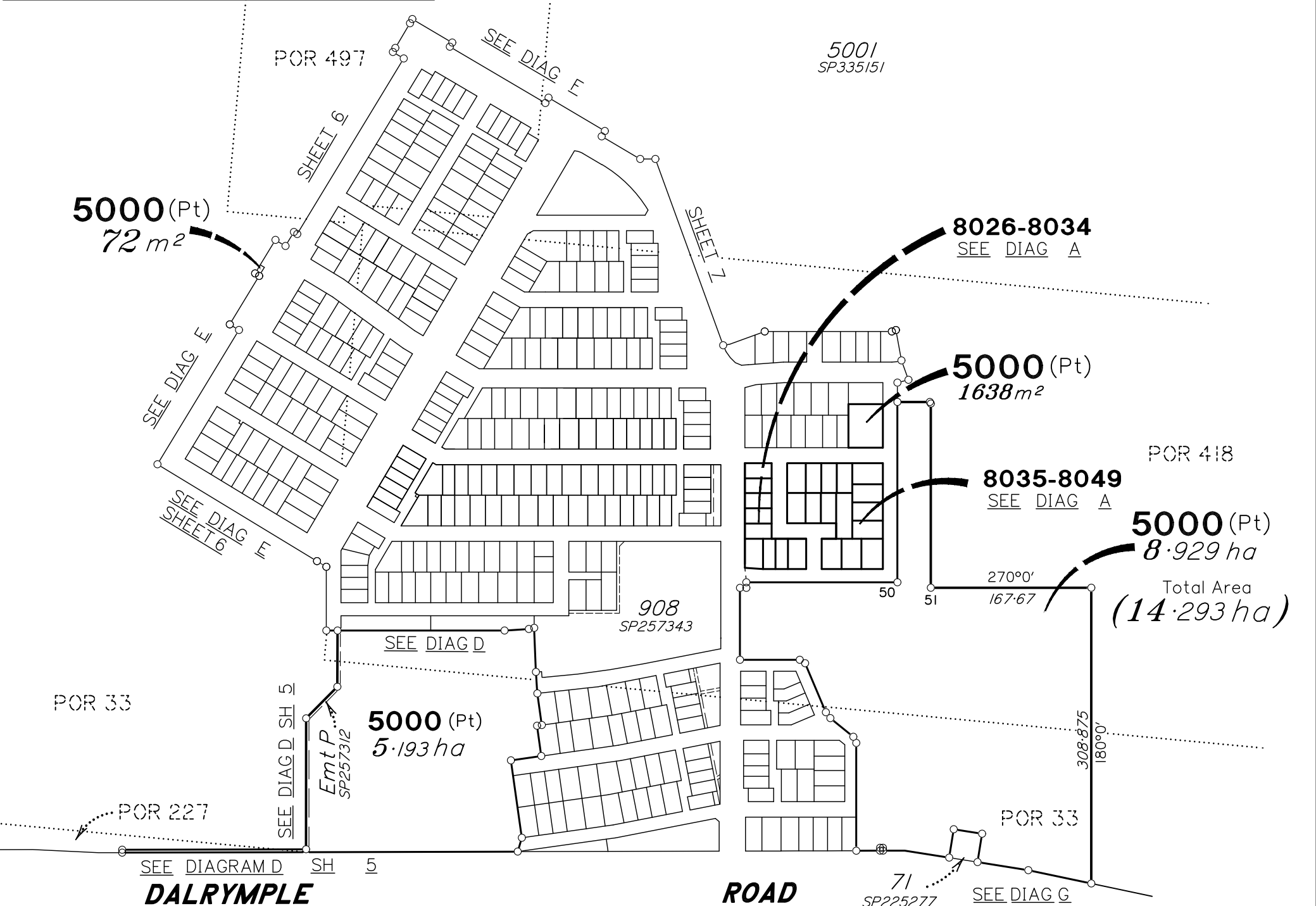
STANDARD CORNER BUILDING SETBACK
SCALE 1:500

Developers Note
Lots 8033, 8034, 8035, 8036, 8049 must have 900mm front fencing facing Highfields Parkway. Driveway access is still permitted from rear if block allows

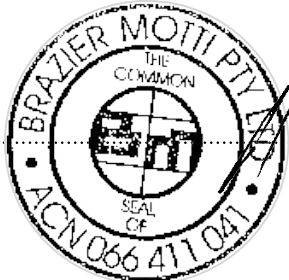


TRAVERSES ETC

| LINE | BEARING | DISTANCE |
|--------|------------|----------|
| 17a-18 | 270°0' | 15.15 |
| 30-31 | 180°0' | 16.2 |
| 33-34 | 270°0' | 16.2 |
| 47-48 | 270°0' | 16.2 |
| 52-53 | 355°40'10" | 15.17 |



BRAZIER MOTTI PTY LTD (ACN 066 411 041) hereby certify that the corporation, by Geoffrey Edwin OSBALDISTON, Cadastral Surveyor, for whose work the corporation accepts responsibility, has made this plan under Section 16 of the Survey and Mapping Infrastructure Regulation 2014 and pursuant to the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the plan is accurate, and compiled from DP332259 & SP336921 in the Department of Resources.



Date: 26-10-22

0m 250m 500m 750m
0 50mm 100mm 150mm State copyright reserved.

Plan of Lots 8026-8049 & 5000

Cancelling Lot 5000 on SP336921

LOCAL TOWNSVILLE CITY
GOVERNMENT: COUNCIL

LOCALITY: SHAW

Meridian: MGA (Zone 55) vide DP332259

Survey Records: No

Scale: 1:5000

Format: STANDARD



SP334212

WARNING : Folded or Mutilated Plans will not be accepted.
Plans may be rolled.
Information may not be placed in the outer margins.

(Dealing No.)

4. Lodged by

(Include address, phone number, email, reference, and Lodger Code)

| I. Existing | | Created | | |
|-----------------|----------------------|------------------|-------|---------------------|
| Title Reference | Description | New Lots | Road | Secondary Interests |
| 51293429 | Lot 5000 on SP336921 | 8026-8049 & 5000 | _____ | _____ |

ENCUMBRANCE EASEMENT ALLOCATIONS

| Easement | Lots to be Encumbered |
|-------------------------------|-----------------------|
| 715322813 (Emt P on SP257312) | 5000 |

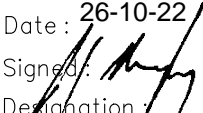
| | |
|-------------------|-------------------------------|
| 8026-8049 5000 | Por 418 Pors 33, 227 & 418 |
| Lots | Orig |

2. Orig Grant Allocation :

3. References :

Dept File :
 Local Govt :
 Surveyor : 26700/227-04 - 26700_245A.dwg - SLR - 10/22 - V0

5. Passed & Endorsed :

By: BRAZIER MOTTI PTY LTD
 Date: 26-10-22
 Signed: 
 Designation: Liaison Officer

6. Building Format Plans only.

I certify that :
 * As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or road;
 * Part of the building shown on this plan encroaches onto adjoining * lots and road

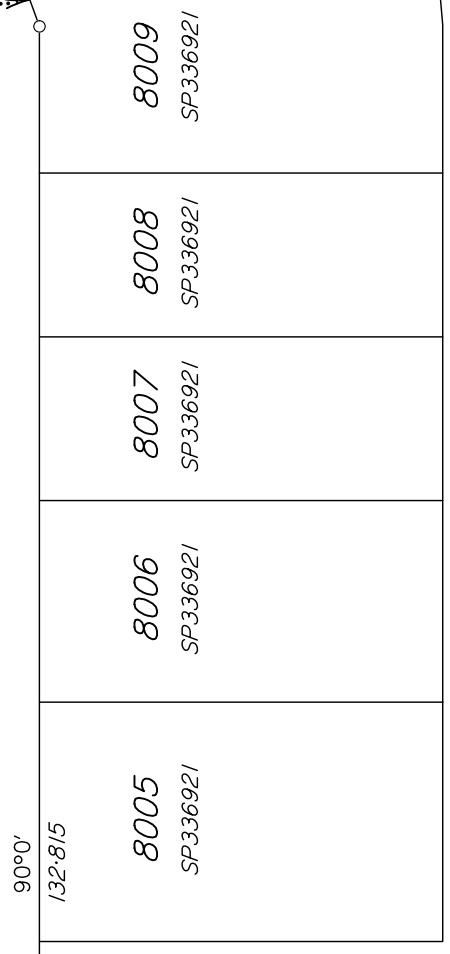
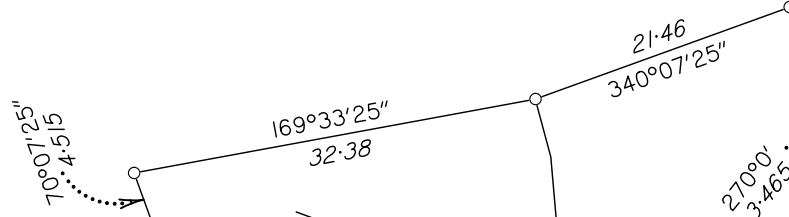
.....
 Cadastral Surveyor/Director* Date
 *delete words not required

7. Lodgement Fees :

| | |
|-----------------|----------|
| Survey Deposit | \$ |
| Lodgement | \$ |
|New Titles | \$ |
| Photocopy | \$ |
| Postage | \$ |
| TOTAL | \$ |

8. Insert Plan Number

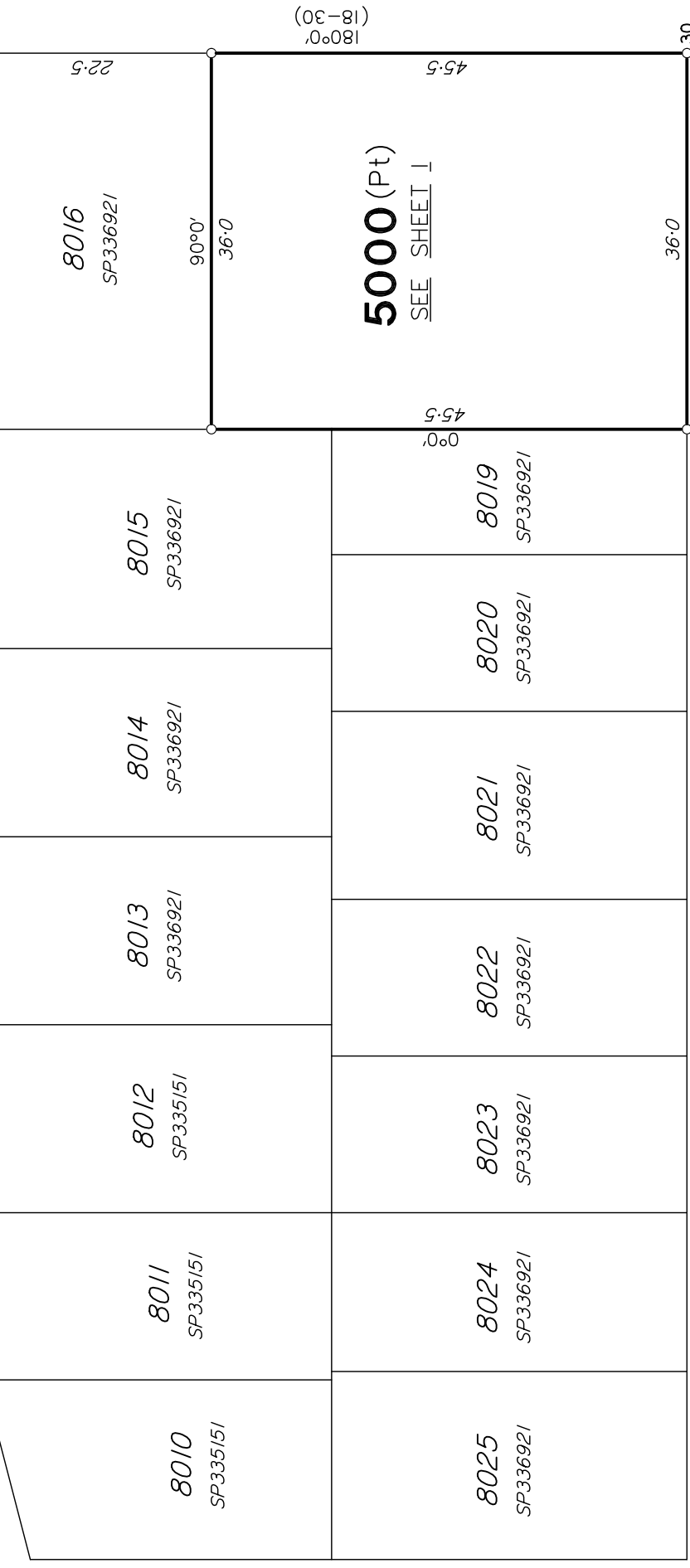
SP334212



PARADE

BEECHCROFT

PARKWAY



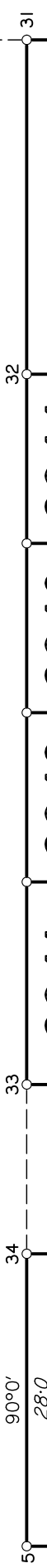
5000 (Pt)
SEE SHEET I

5000 (Pt)
SEE SHEET I

SEE DIAG C
SHEET 4

CHASE

STEEPLE



8045

8044

8043

8042

8041

8026

SEE SHEET I SEE DIAG C SH 4

SEE DIAG C SH 4

SEE DIAG E
SH Z



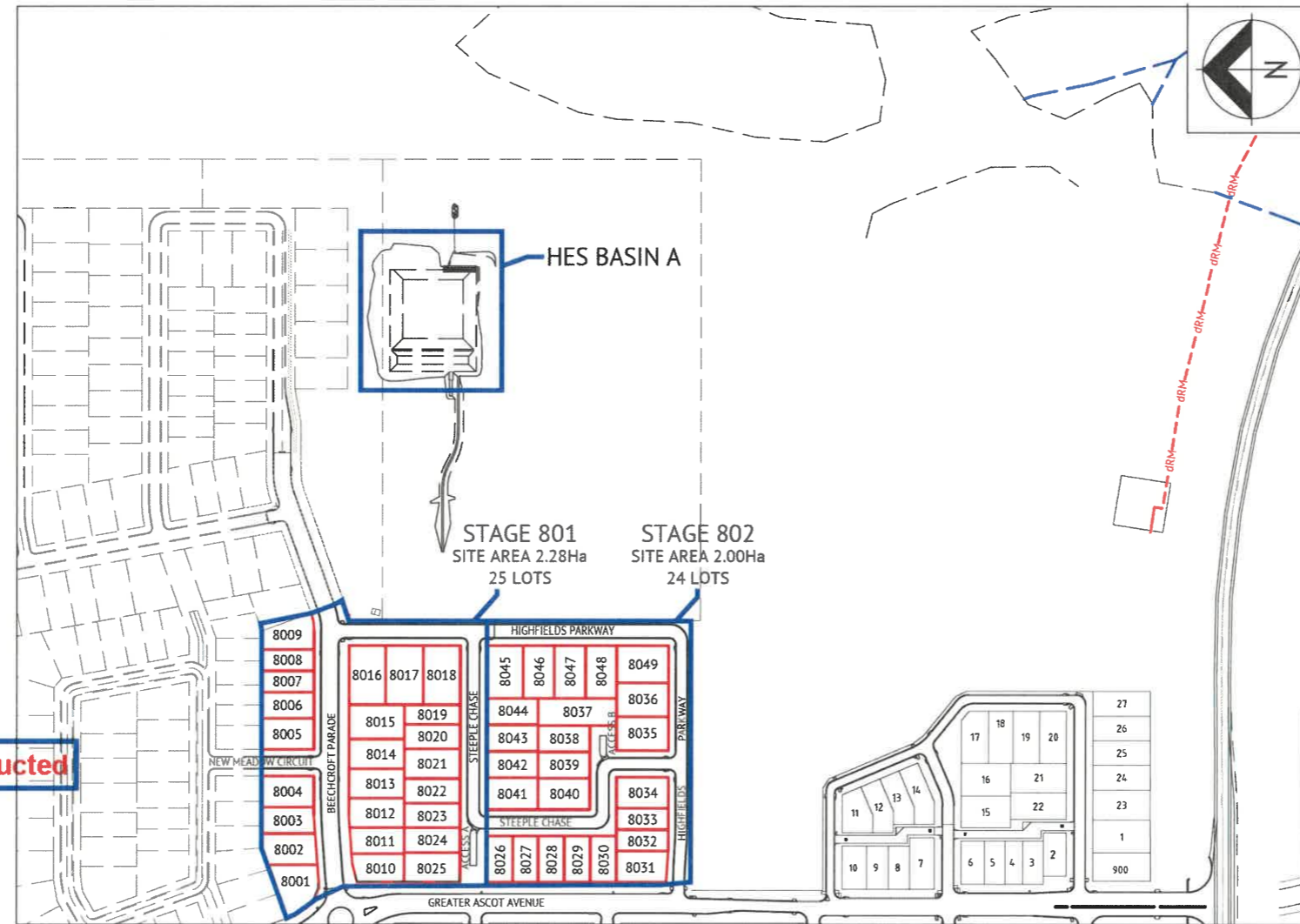
Insert Plan Number SP334212

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DIAGRAM B
Scale 1:600

GREATER ASCOT STAGE 801 & 802 GREATER ASCOT, SHAW FOR PARKSIDE DEVELOPMENT PTY LTD

| DRAWING SCHEDULE | |
|------------------|----------------------------------------------------|
| Sheet Number | Sheet Title |
| 223 | COVER SHEET LOCALITY PLAN & DRAWING SCHEDULE |
| 224 | EARTHWORKS LAYOUT PLAN |
| 225 | ROADWORKS AND STORMWATER DRAINAGE PLAN |
| 226 | HIGHFIELDS PARKWAY LONGITUDINAL AND CROSS SECTIONS |
| 227 | BEECHCROFT PARADE LONGITUDINAL AND CROSS SECTIONS |
| 228 | STEEPLE CHASE LONGITUDINAL AND CROSS SECTIONS |
| 229 | NEW MEADOW CIRCUIT LONGITUDINAL AND CROSS SECTIONS |
| 230 | ROADWORKS DETAILS PLAN - SHEET 1 OF 2 |
| 231 | ROADWORKS DETAILS PLAN - SHEET 2 OF 2 |
| 232 | LINEMARKING DETAILS PLAN |
| 233 | Q2 STORMWATER LONGITUDINAL SECTION - SHEET 1 OF 2 |
| 234 | Q2 STORMWATER LONGITUDINAL SECTION - SHEET 2 OF 2 |
| 235 | WATER AND SEWERAGE RETICULATION PLAN |
| 236 | WATER DETAILS |
| 237 | HES BASIN PLAN |
| 238 | HES BASIN DETAILS PLAN |



Accepted As Constructed

LOCALITY PLAN



TOWNSVILLE EARTHMOVING DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

AUTHORISED DELEGATE 
DATE 10/06/22


PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

RPEQ  13231
DATE 14-06-22

| No. | Date | Details | Check |
|-----|----------|----------------|-------|
| A | 08.06.22 | Original Issue | GEO |

Level Datum: AHD (DERIVED)
 B.M. Used: PSM193061 RL.11.206
 Coordinate Projection: Plane
 Coordinate Datum: Arbitrary
 Origin of Coordinates: PSM193061 E:
 Meridian: MGA (Zone 55) N:
 Map Reference: 8259-31131
 Contour Interval: Surveyed by: BM
 Job No: 26700-228-01 Drawn: MJM
 File No: 26700_223A.dwg Approved:

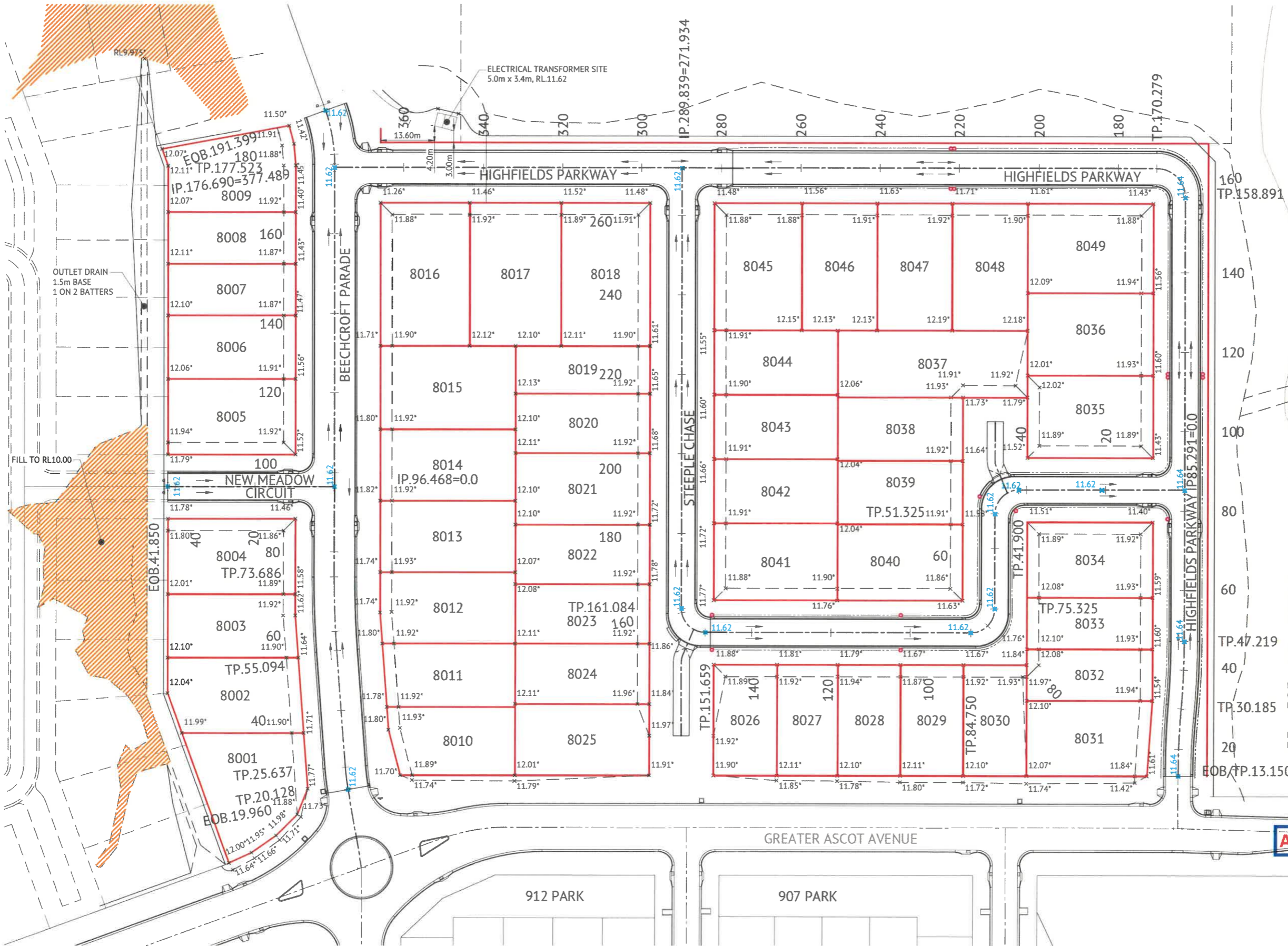
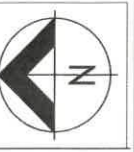
BRAZIER MOTTI PTY LTD (ACN 066 411 041), 595 Flinders Street, Townsville hereby certify that this Drawing accurately and correctly describes and records the nature and location of the works depicted by asterisks (*) as they have been constructed for subdivision.



Director 
Date 10-06-22

Client: **PARKSIDE DEVELOPMENT PTY LTD**
 Project: **AS CONSTRUCTED - GREATER ASCOT STAGE 801 & 802
 GREATER ASCOT AVENUE - SHAW
 LOCALITY PLAN, SITE PLAN & DRAWING SCHEDULE**
 Local Authority: Townsville City Council Locality: Shaw

Date: 8th June, 2022
 Sheet 1 of 1 Sheets
 Scale: AS SHOWN A1
 Plan No: 26700/223 A
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EARTHWORKS LEGEND

| | |
|------------------------|------------------------------------|
| 6.32* | CERTIFIED FINISHED ALLOTMENT LEVEL |
| x 6.41 x 6.30 | DENOTES EXISTING ALLOTMENT LEVEL |
| | DENOTES Q100 FLOOD LEVEL |
| | FILL AREA TO RL10.00 |
| | TOP OF BATTER |
| | BOTTOM OF BATTER |
| | INVERT OF DRAIN |
| | DIRECTION OF KERB & CHANNEL FLOW |

EARTHWORKS NOTES

- ALL EARTHWORKS OPERATIONS ARE UNDERTAKEN IN ACCORDANCE WITH THE PROJECT SPECIFICATION.
- ALLOTMENTS GRADED EVENLY BETWEEN LEVELS SHOWN. MINIMUM FINISHED ALLOTMENT GRADE 1:200.

1 on 5
1.0m

EXISTING SURFACE
TYPICAL BATTER TO EXISTING
NTS

TOWNSVILLE EARTHMOVING DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

AUTHORISED DELEGATE
DATE 10/06/22

PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

RPEQ 13231
DATE 14-06-22

Accepted As Constructed

EARTHWORKS LAYOUT PLAN
SCALE 1:500

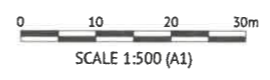
| No. | Date | Details | Check |
|-----|----------|----------------|-------|
| A | 08.06.22 | Original Issue | GEO |

Level Datum: AHD (DERIVED)
B.M. Used: PSM193061 RL.11.206
Coordinate Projection: Plane
Coordinate Datum: Arbitrary
Origin of Coordinates: PSM193061
Meridian: MGA (Zone 55)
Map Reference: 8259-31131
Contour Interval:
Job No: 26700-228-01
File No: 26700_224A.dwg

Surveyed by: BM
Drawn: MUM
Approved:

BRAZIER MOTTI PTY LTD (ACN 066 411 041), 595 Flinders Street, Townsville hereby certify that this Drawing accurately and correctly describes and records the nature and location of the works depicted by asterisks (*) which they have been constructed for subdivision.

Date: 10-06-22



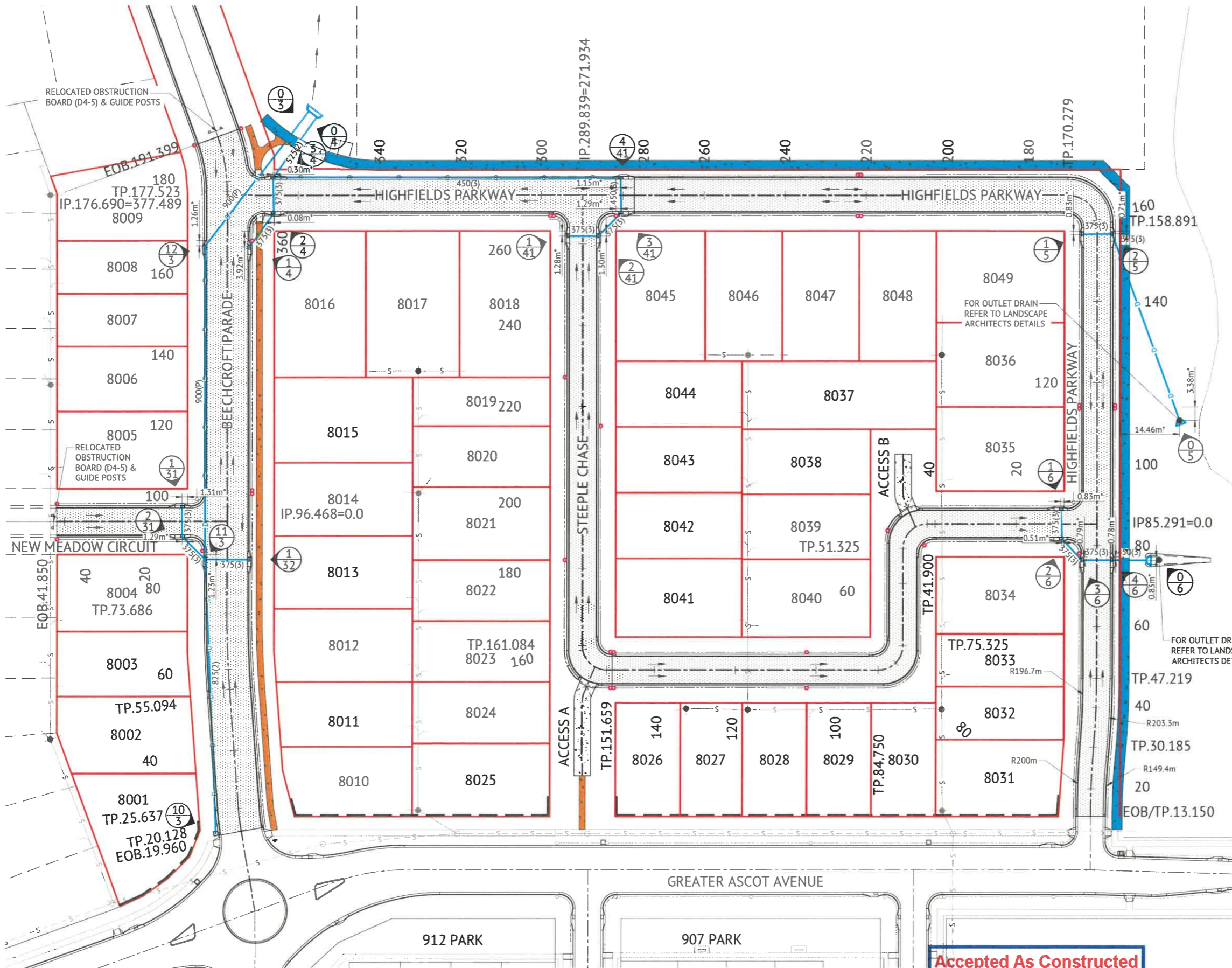
Client: **PARKSIDE DEVELOPMENT PTY LTD**

Project: **AS CONSTRUCTED - GREATER ASCOT STAGE 801 & 802 GREATER ASCOT AVENUE - SHAW EARTHWORKS LAYOUT PLAN**

Local Authority: Townsville City Council Locality: Shaw

Date: 8th June, 2022
Sheet 1 of 1 Sheets
Scale: AS SHOWN A1
Plan No: 26700/224 A

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STORMWATER LEGEND:

- STORMWATER DRAINAGE LINE
- STORMWATER MANHOLE (MANHOLE NO./LINE NO.)
- KERB INLET PIT (PIT NO./LINE NO.)
- EXISTING STORMWATER DRAINAGE LINE
- EXISTING STORMWATER MANHOLE (MANHOLE NO./LINE NO.)
- EXISTING KERB INLET PIT (PIT NO./LINE NO.)

- ### STORMWATER NOTES
- ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
 - FOR STORMWATER LEVELS, PIPE LENGTHS, PIPE CLASS AND STRUCTURE TYPES, REFER STORMWATER LONGITUDINAL DRAWINGS.
 - ALL PIPE CUTS MADE USING A MASONRY SAW.
 - ALL TRENCHES UNDER ROAD PAVEMENT BACKFILLED WITH CRUSHER DUST TO SUBGRADE LEVEL.

ROADWORKS LEGEND

- LAYBACK KERB AND CHANNEL (TYPE L1)
- BARRIER KERB AND CHANNEL (TYPE B1)
- MEDIAN KERB (TYPE SM1)
- 900mm WIDE DISH DRAIN (TYPE D1)
- 600mm WIDE DISH DRAIN (TYPE D2)
- BARRIER KERB (TYPE B3)
- FLUSH KERB
- DOUBLE STREET NAME PLATE
- DIRECTION OF KERB & CHANNEL FLOW
- SUBSOIL DRAIN & CLEANOUT POINT
- 30mm THICK ASPHALT
- CONCRETE PAVEMENT
- 1.5m WIDE KERB RAMP, UNLESS NOTED OTHERWISE
- NOISE BARRIER (LANDSCAPE ARCHITECT)
- 1.5m WIDE CONCRETE FOOTPATH
- 150mm THICK N32 CONCRETE FIBRECRETE, 50mm CRUSHER DUST
- 2.5m WIDE CONCRETE FOOTPATH
- 150mm THICK N32 CONCRETE FIBRECRETE, 50mm CRUSHER DUST

- ### ROADWORKS NOTES
- ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
 - ALL SUBSOIL DRAINS GRADED AT MINIMUM 0.5% FROM HIGH POINT TO OUTLET, UNLESS NOTED OTHERWISE.

PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

RPEQ 13231
DATE 14-06-22

| No. | Date | Details | Check |
|-----|----------|----------------|-------|
| A | 08.06.22 | Original Issue | GEO |

Level Datum: AHD (DERIVED)
B.M. Used: PSM193061 RL 11.206
Coordinate Projection: Plane
Coordinate Datum: Arbitrary
Origin of Coordinates: PSM193061
Meridian: MGA (Zone 55)
Map Reference: 8259-31131
Contour Interval:
Job No: 26700-228-01
File No: 26700_225A.dwg

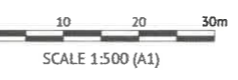
Surveyed by: BM
Drawn: MJM
Approved:

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Director
Date: 10-06-22

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Authorised Delegate
Date: 10/06/22



Client: PARKSIDE DEVELOPMENT PTY LTD

Project: AS CONSTRUCTED - GREATER ASCOT STAGE 801 & 802
GREATER ASCOT AVENUE - SHAW
ROADWORKS AND STORMWATER DRAINAGE PLAN

Local Authority: Townsville City Council Locality: Shaw

Date: 8th June, 2022
Sheet 1 of 1 Sheets
Scale: AS SHOWN A1
Plan No: 26700/225 A

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WATER LEGEND

- DN100 WATER MAIN AND DIAMETER
- 630D POLYETHYLENE WATER MAIN AND DIAMETER
- FH SV FIRE HYDRANT, VALVE AND REDUCER
- EXISTING WATER MAIN, VALVE AND HYDRANT

IRRIGATION CONDUITS LEGEND

- DN100 CONDUIT
- DN100 CONDUIT

WATER NOTES

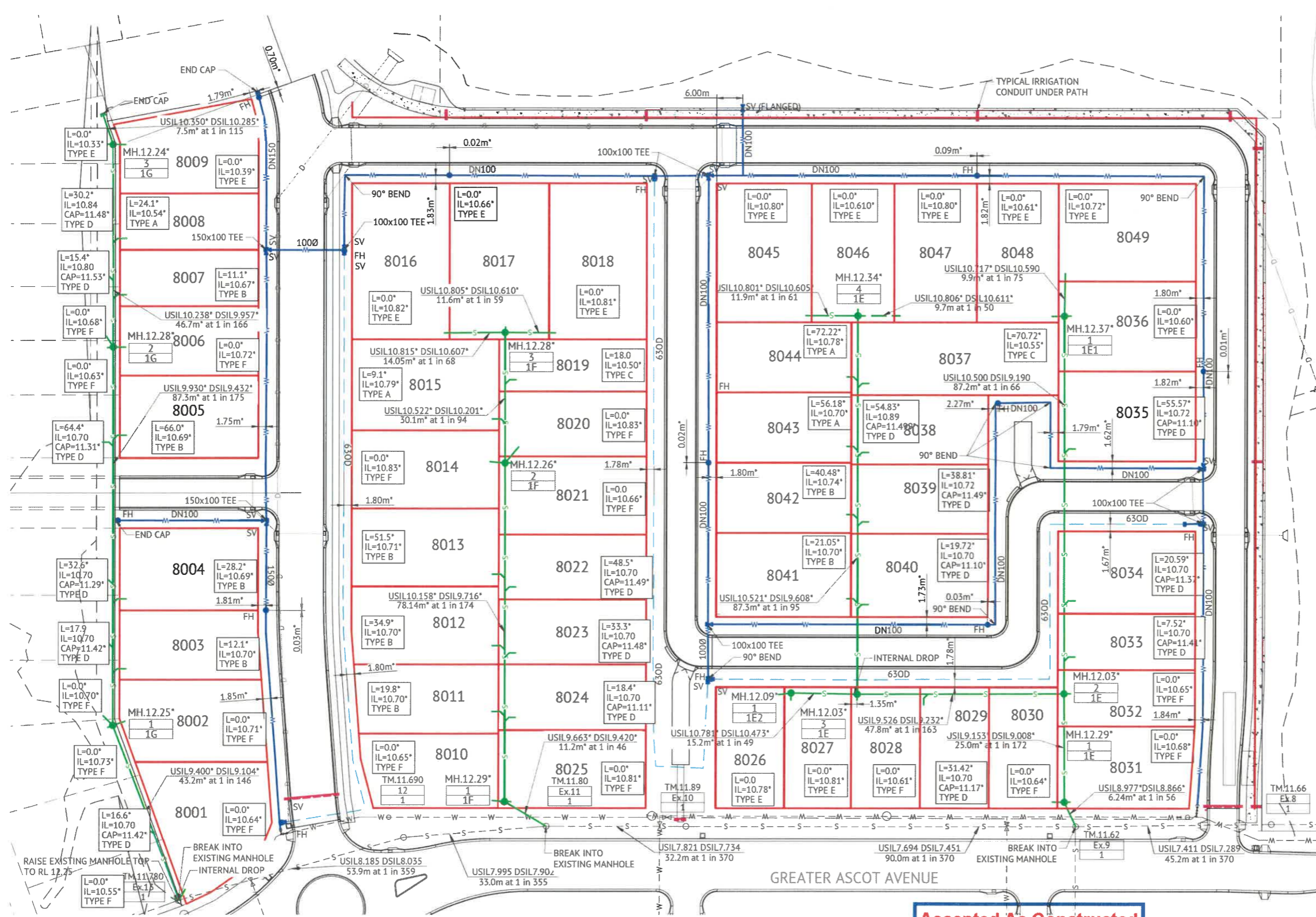
- ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND PROJECT SPECIFICATION.
- ALL WATER MAINS ARE LOCATED ON A 1.8m ±0.1m ALIGNMENT OFFSET FROM PROPERTY BOUNDARIES, UNLESS NOTED OTHERWISE.
- ALL UPVC MAINS ARE CLASS PN16 SERIES 2 COMPATIBLE TO AS 1477 RUBBER RING JOINTED, WITH SOCKETED DICL FITTINGS UNLESS NOTED OTHERWISE.
- ALL 630D MAINS POLYETHYLENE CLASS PN16 TO AS 4130.
- ALL TRENCHES UNDER ROAD PAVEMENT (INCLUDING FUTURE) BACKFILLED WITH CRUSHER DUST TO SUBGRADE LEVEL.
- CONNECTION TO EXISTING WATER MAINS CARRIED OUT BY COUNCIL AT THE CONTRACTORS EXPENSE.

SEWER LEGEND

- D STORMWATER DRAINAGE LINE
- S SEWER MAIN AND MANHOLE (MH)
- S SEWER MAIN AND MAINTENANCE SHAFT (MS)
- DN100 SEWER HOUSE DRAIN
- S-O-S EXISTING SEWER MAIN AND MANHOLE
- MH.6.57' 1 MLO4F CERTIFIED TYPE & INDICATIVE TOP OF MANHOLE LEVEL, MANHOLE NUMBER, LINE NUMBER
- HOUSE CONNECTION (X & Y DIMENSIONS AS PER RELEVANT COUNCIL STANDARD DRAWING U.N.O.) CERTIFIED DISTANCE FROM DOWNSTREAM MANHOLE CERTIFIED INVERT LEVEL OF HOUSE CONNECTION POINT HOUSE CONNECTION TYPE TYPE A - ACROSS BOUNDARY 'SLOPE DROP' TYPE B - ACROSS BOUNDARY 'JUMP UP' TYPE C - WITHIN LOT 'DIRECT CONNECTION' TYPE D - WITHIN LOT 'JUMP UP' TYPE E - MANHOLE 'DIRECT CONNECTION' TYPE F - MANHOLE 'INTERNAL DROP' TYPE G - MAINTENANCE SHAFT CONNECTION TYPE Ex. - EXISTING HOUSE CONNECTION

SEWER NOTES

- ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND PROJECT SPECIFICATION.
- ALL SEWERAGE MAINS LOCATED ON 1.5m ±0.1m ALIGNMENT OFFSET FROM THE PROPERTY BOUNDARIES, UNLESS NOTED OTHERWISE.
- ALL SEWERAGE MAINS DN150, UNLESS NOTED OTHERWISE.
- ALL DN150 AND DN225 SEWERAGE MAINS UPVC DWV S8, UNLESS NOTED OTHERWISE.
- ALL DN100 HOUSE DRAINS UPVC DWV S8, UNLESS NOTED OTHERWISE. (MAXIMUM LENGTH 10.0M)
- ALL TRENCHES UNDER ROAD PAVEMENT (INCLUDING FUTURE) BACKFILLED WITH CRUSHER DUST TO SUBGRADE LEVEL.
- CONNECTION/ALTERATIONS TO EXISTING SEWERAGE INFRASTRUCTURE CARRIED OUT BY COUNCIL AT THE CONTRACTORS EXPENSE.
- ALL MANHOLE INTERNAL DROP 'CORES' ARE NOT LOCATED WITHIN 150mm OF PRECAST WALL JOINTS.
- TOP OF MANHOLE LEVELS PROVIDED ARE INDICATIVE, REFER TCC STANDARD DRAWING SD-475 FOR FINISHED LEVELS OF MANHOLE COVERS.



Accepted As Constructed

WATER AND SEWERAGE RETICULATION PLAN

SCALE 1:500



| No. | Date | Details | Check |
|-----|----------|----------------|-------|
| A | 08.06.22 | Original Issue | GE0 |

Level Datum: AHD (DERIVED)
 B.M. Used: PSM193061 RL.11.206
 Coordinate Projection: Plane
 Coordinate Datum: Arbitrary
 Origin of Coordinates: PSM193061
 Meridian: MGA (Zone 55)
 Map Reference: 8259-31131
 Contour Interval:
 Job No: 26700-235A-01
 File No: 26700_235A.dwg

Surveyed by: BM
 Drawn: MUM
 Approved:

BRAZIER MOTTI PTY LTD (ACN 066 411 041), 595 Flinders Street, Townsville hereby certify that this Drawing accurately and correctly describes and records the nature and location of the works depicted by asterisks (*) insofar as they have been constructed for subdivision.

Director
 10-06-22

TOWNSVILLE EARTHMOVING DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

Director
 10/06/22

AUTHORISED DELEGATE
 DATE: 10/06/22

PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

RPEQ 13231
 DATE: 14-06-22

Client: **PARKSIDE DEVELOPMENT PTY LTD**

Project: **AS CONSTRUCTED - GREATER ASCOT STAGE 801 & 802 GREATER ASCOT AVENUE - SHAW WATER AND SEWERAGE RETICULATION PLAN**

Local Authority: Townsville City Council Locality: Shaw

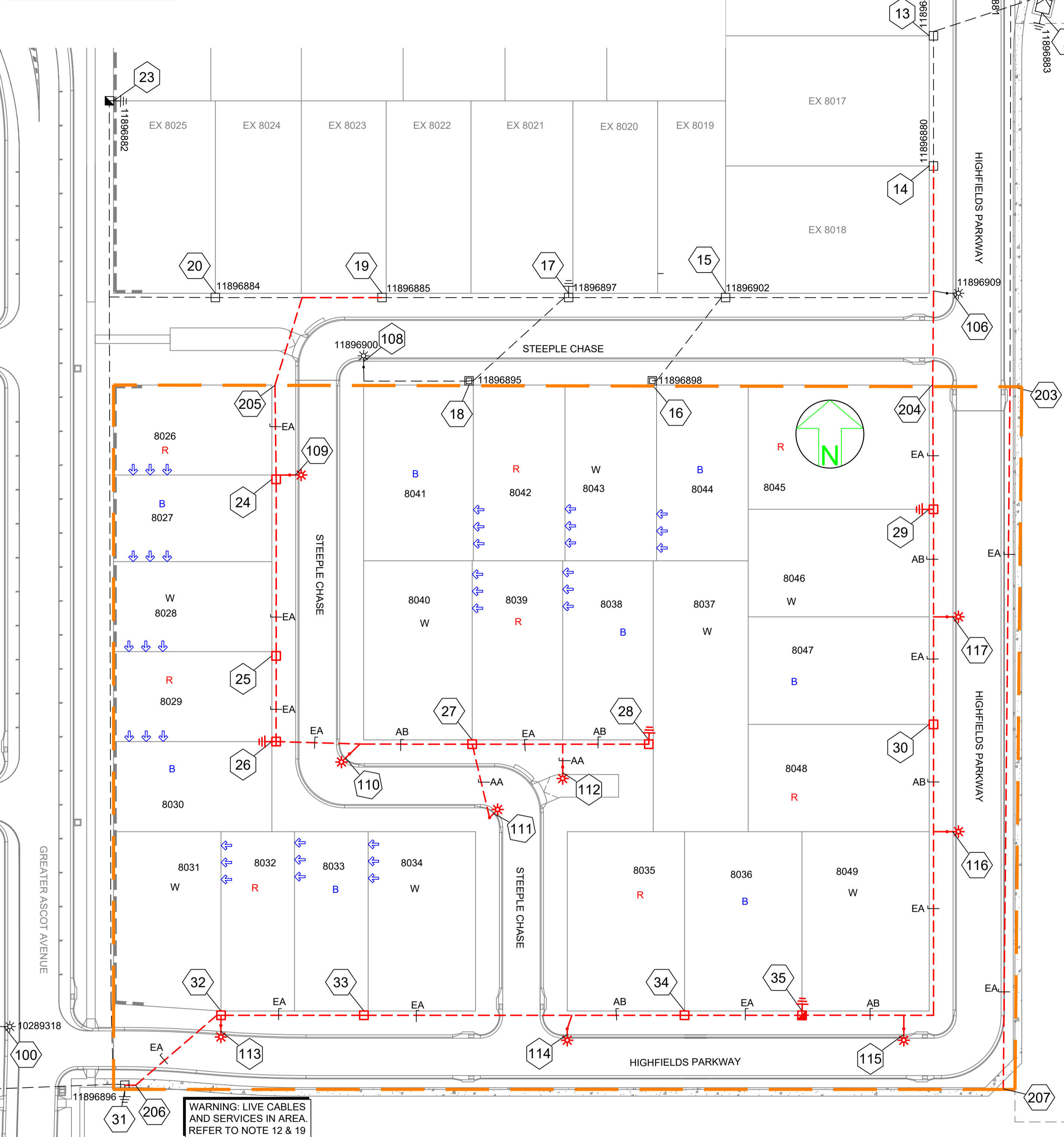
Date: 8th June, 2022

Sheet 1 of 1 Sheets

Scale: AS SHOWN A1

Plan No: 26700/235 A

braziermotti.com.au



SPA LIGHTING DESIGN COMPLIANCE CERTIFICATE

THIS LIGHTING DESIGN COMPLIES GENERALLY WITH THE NOMINATED CATEGORIES OF AS1158 FOR RATE 1 AND RATE 2 LUMINAIRES.

NAME: JANE ERREY TITLE: SENIOR ELECTRICAL ENGINEER
 RPEQ: 6863

LIGHTING CATEGORIES: LOCAL COUNCIL: CATEGORY P4
 TOWNSVILLE CITY COUNCIL
 LUMINAIRE UPCAST: 0 DEGREES UPCAST ANGLE
 MAINTENANCE FACTOR 0.75

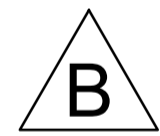
THE DESIGN ASSUMES MAINTENANCE FACTORS OF 0.75 FOR MINOR ROAD LIGHTING AND 0.75 FOR MAJOR ROAD LIGHTING. THESE MAINTENANCE FACTORS ARE BASED ON THE FOLLOWING MAINTENANCE SCHEDULE, WHICH MIGHT NOT NECESSARILY BE ADOPTED BY ERGON.

- LAMPS SHALL BE REPLACED AT 36- MONTH INTERVALS.
- ALL THAT TIME, LUMINAIRES SHALL BE CLEANED, INSPECTED AND MAINTAINED.
- VEGETATION SHALL BE KEPT CLEAR OF STREET LIGHTS.
- INSPECTION PATROLS AND SPOT LAMP REPLACEMENT SHALL MAINTAIN SERVICE AVAILABILITY AT NO LESS THAN 95%.
- LUMINAIRES AND LAMPS SHALL BE REPLACED WITH EXACT EQUIVALENTS.

ALL LIGHTING CALCULATIONS ARE AVAILABLE UPON REQUEST.

FOR LIGHTING ARRANGEMENT, SPACINGS, MOUNTING HEIGHTS, OUTREACH DETAILS AND SIGNIFICANT ROAD FEATURES, REFER TO DRAWING.

- WORKPLAN NOTES**
- FOR STANDARD UNDERGROUND DUCT SECTIONS REFER TO UNDERGROUND CONSTRUCTION MANUAL DRAWING 5168.
 - POLYMERIC COVER TO BE INSTALLED OVER CONDUITS OUTSIDE NORMAL ERGON ALIGNMENT AND ALONG PROPERTY BOUNDARIES IN FRONT OF PARKS WHERE THE BOUNDARY PEGS ARE MORE THAN 50m APART AS PER ERGON DRAWING. 5022-1 AND 5124-1 & 2.
 - STANDARD TRENCH ALIGNMENT IS 0.3 TO 0.9 METRES OFF PROPERTY ALIGNMENT SUBJECT TO LOCATION OF OTHER SERVICES. REFER TO UNDERGROUND CONSTRUCTION MANUAL DRAWING 5163 AND DRAWING 5228 FOR TRENCHES WITH NBMC CONDUITS.
 - STREETLIGHT POLE FOOTINGS SHALL BE LOCATED PERPENDICULAR TO THE KERB, AT THE PROLONGATION OF THE SIDE PROPERTY BOUNDARY, UNLESS DETAILED OTHERWISE. WHERE DIMENSIONS ARE SHOWN, THEY TAKE PRECEDENCE OVER GRID COORDINATES.
 - ALL CONDUITS SHALL BE CONTINUOUS UNLESS DETAILED OTHERWISE.
 - FOR STANDARD UDC CONSTRUCTION PRACTICES REFER TO UNDERGROUND CONSTRUCTION MANUAL DRAWINGS 5022, 5085 AND 5124.
 - THERE ARE 9 x 17W LED SYLVANIA STREET MINOR ROAD, STREETLIGHTS ON RATE 2.
 - STREETLIGHT DESIGN TO AS1158 CATEGORY P4.
 - MINOR STREETLIGHTS - THE DEVELOPER SHALL SUPPLY AND INSTALL STREETLIGHT BASES. FOUNDATION DEPTH IS 1200mm FOR MINOR STREETLIGHTS. REFER TO LIGHTING CONSTRUCTION MANUAL DRAWING 1-64-1 & 2. CENTRELINE OF STREETLIGHT SHALL BE 1.05m FROM BACK OF KERB. WHERE THE ROAD IS UN-KERBED OR THERE IS A FLUSH KERB, CENTRELINE OF STREETLIGHT SHALL BE 1.3m FROM THE OUTER EDGE OF THE BITUMEN.
 - THE LIGHTING DESIGN INCLUDES AN ALLOWANCE FOR CONSTRUCTION TOLERANCE OF LIGHT POLES SUCH THAT ANY STREETLIGHT CAN BE POSITIONED UP TO A MAXIMUM OF ±350mm LONGITUDINALLY FROM THE POSITION SHOWN AND UP TO 100mm MAXIMUM FURTHER AWAY FROM KERB EDGE, INCLUDING POLES WITH GRID COORDINATES, AND STILL MAINTAIN COMPLIANCE.
 - CONFIRM ALL CONDUIT AND CABLE LENGTHS PRIOR TO INSTALLATION.
 - IN ACCORDANCE WITH ELECTRICAL SAFETY ACT, A SAFETY OBSERVER MUST BE PRESENT AT ALL TIMES WHEN WORKING IN THE VICINITY OF ENERGISED CABLES. CONTACT ERGON ENERGY ON 131046.
 - WHERE SHOWN, 35mm sq ANNEALED BARE Cu EARTH SHALL BE INSTALLED AT BOTTOM OF TRENCH, IN NATURAL SOIL, BELOW BEDDING SAND, LOCATED A MINIMUM OF 50mm HORIZONTALLY TOWARDS PROPERTY BOUNDARY FROM CONDUITS (HV OR LV) INSTALLED ON PROPERTY BOUNDARY SIDE OF TRENCH. COIL 2m OF CABLE AT SPECIFIED STATIONS IN THE CONDUIT DUCTING SCHEDULE AND ALL REQUIRED JOINTS FOR CONNECTION BY ELECTRICAL CONTRACTOR. THE USE OF THE EARTH ROD CONNECTOR (U-BOLT, IIN. 0719437) IS NOT ACCEPTABLE FOR CONDUCTOR / CABLE TO CONDUCTOR / CABLE CONNECTIONS. IN ADDITION PARALLEL GROOVE CLAMPS ARE NOT ACCEPTABLE FOR JOINTING OR CONNECTING EARTHS BELOW GROUND LEVEL. ACCEPTABLE METHODS SHALL BE EITHER A CRIMP LINK OR A 'C' TYPE COMPRESSION CONNECTOR. CRIMP LINKS AND 'C' TYPE COMPRESSION CONNECTORS ARE AVAILABLE FROM ERGON ENERGY STORES IIN. 0157746 AND IIN. 2406222 RESPECTIVELY.
 - ELECTRONIC CABLE MARKERS (ECM'S) ARE TO BE SUPPLIED BY THE ELECTRICAL CONTRACTOR AND ARE REQUIRED AT ENDS OF ALL SPARE CONDUITS AND AT ALL CABLE JOINTS. ECM'S SHALL BE PLACED 150mm ABOVE THE LINE OF CONDUIT FOR CABLE JOINTS AND 150mm ABOVE THE LINE OF CONDUIT FOR SPARE CONDUITS. ECM'S ARE RECOVERABLE AND SHALL BE REMOVED AND RETURNED TO THE ELECTRICAL CONTRACTOR WHEN ALL SPARE CONDUIT ENDS ARE REMOVED FROM A LOCATION.
 - ADDITIONAL CONDUIT BENDS SHALL BE INSTALLED TO ACHIEVE INCREASED BURIAL DEPTH AT ROAD CROSSINGS. REFER TO UNDERGROUND CONSTRUCTION MANUAL DRAWING 5022.
 - ALL CONTRACTORS MUST CARRY OUT A DIAL BEFORE YOU DIG ENQUIRY BEFORE COMMENCING ANY EXCAVATION.
 - INSTALL PILLAR OFFSET IN ACCORDANCE WITH ERGON DRAWING 5196-2. BOLLARDS ARE TO BE INSTALLED WHERE DRIVEWAY ACCESS IS WITHIN 1m OF THE PILLAR. REFER TO DETAIL A.
 - CONTRACTOR TO SUPPLY AND INSTALL ENGRAVED LABEL LOCATED ON LIGHTING TERMINAL STATING "LIGHT FED FROM PILLAR ASSET NUMBER _____"
 - WARNING:** LIVE CABLES AND EXISTING SERVICES IN AREA. CONTRACTOR TO USE POT HOLING, HYDRO-VAC EXCAVATION AND CABLE LOCATION WHEN INSTALLING NEW INFRASTRUCTURE.



| STN NO | SITE LABEL | POLE ALIGNMENT | POLE SETTING DEPTH | ACTION | CONSTRUCTION CLASS | CONSTRUCTION CODE | DRAWING NUMBER | POSITION ON POLE | REMARKS |
|--------|------------|----------------|--------------------|-----------------|--------------------|-------------------|----------------|------------------|---------------------------------------------------------------------------------------------|
| 14 | 11896880 | | | INSTALL - ERGON | PILLAR UPGRADE | LV PNU2-3/240/N | 5074 | | ERGON ENERGY TO UPGRADE PILLAR TO 3-WAY IN THIS STAGE AND TERMINATE CABLE FROM STN 14 TO 29 |
| 19 | 11896885 | | | INSTALL - ERGON | PILLAR UPGRADE | LV PNU2-3/240/N | 5074 | | ERGON ENERGY TO UPGRADE PILLAR TO 3-WAY IN THIS STAGE AND TERMINATE CABLE FROM STN 19 TO 24 |
| 31 | 11896896 | | | INSTALL - ERGON | PILLAR UPGRADE | LV PNU2-3/240/N | 5074 | | ERGON ENERGY TO UPGRADE PILLAR TO 3-WAY IN THIS STAGE AND TERMINATE CABLE FROM STN 31 TO 32 |

STAGE 801 (1710387) & 802 CONSTRUCTED TOGETHER AND PILLARS CONNECTED UP. ERGON WORKS ABOVE NOT REQUIRED.

AS CONSTRUCTED

ON COMPLETION, MARK UP THIS PRINT CLEARLY WITH ALL FINAL CHANGES AND RETURN TO PROJECT MANAGER

CHANGES: YES/NO

ELECTRICAL CONTRACTOR
 NAME: Powerlines Plus
 SIGNATURE: Mark Ahern
 DATE: 27/6/22

CIVIL CONTRACTOR
 NAME: Townsville Earth Moving
 SIGNATURE: Michael Brosnan
 DATE: 27/6/22

| Code | Date | Description | Revised | Code | Date | Description | Revised |
|------|----------|------------------|---------|------|------|-------------|---------|
| B | 27/6/22 | AS CONSTRUCTED | | SW | | | |
| A | 15/12/21 | FOR CONSTRUCTION | | SW | | | |

CLIENT: PARKSIDE DEVELOPMENT PTY LTD
 PO Box 4018
 KIRWAN, QLD. 4817
 Ph. 07 4431 2690 Fax

CIVIL ENGINEER
 PREMISE (TOWNSVILLE)
 PO BOX 1110,
 TOWNSVILLE, QLD. 4810
 Ph 07 4772 0666 Fax



LEGEND

| | | |
|----------------------------------------|-----------------------|---------------------------------|
| --- CABLE EXISTING | □ SUBSTATION | □ COMMERCIAL/ INDUSTRIAL PILLAR |
| --- CABLE PLANNED | ✓ HV ISOLATING DEVICE | □ DISTRIBUTION CABINET |
| --- CABLE RECOVER | I LV ISOLATING DEVICE | ★ STREETLIGHT |
| --- EQUIPMENT EXISTING | □ NORMAL PILLAR | ⊥ EARTH |
| --- EQUIPMENT RECOVER | □ CROSS ROAD PILLAR | ○ POLE |
| --- LIGHTING DUCT | □ LINKING PILLAR | □ CABLE JOINT |
| --- 35mm sq ANNEALED BARE COPPER EARTH | | |

| | | |
|--------------------------------------------------------------------------------------------------------------------|---------------------------|-----------------|
| Drawing Title | Date | DECEMBER 2021 |
| GREATER ASCOT STAGE 802 UDC UG ELECTRICAL RETICULATION SITE UG PLAN, ERGON WORKS SCHEUDLE AND LIGHTING CERTIFICATE | Scale | 1:500@A1 |
| Project Description | Drawn | SW |
| GREATER ASCOT, SHAW | RPEQ Design Certification | Jane Errey 6863 |
| ERGON Project Number | Sheet | 1 OF 3 |
| 1710385 | SPA Drawing Number | 3483-E01 |
| Revision | | B |

STANDARD DESIGN NOTES:

1. THERE ARE A TOTAL OF 24 SINGLE RESIDENTIAL DWELLING LOTS.
2. REFER TO SPA DRAWING 3483-E01 FOR COORDINATION WITH THE ELECTRICAL DESIGN.

LEGEND

| | | |
|-------------|---------------------------------------------|----------------------------------------------------------------------------|
| PIT-ID 2 | NBN Co PIT TYPE 2 PLASTIC PIT OR SIMILAR | ZERO LOT PROPERTY BOUNDARY |
| PIT-ID 5 | NBN Co PIT TYPE 5 PLASTIC PIT OR SIMILAR | SHARED TRENCH |
| PIT-ID 6 | NBN Co PIT TYPE 6 PLASTIC PIT OR SIMILAR | TRANSFORMER / KIOSK / PAD MOUNT SUB-STATION / POLE MOUNT TRANSFORMER |
| PIT-ID 8 | NBN Co PIT TYPE 8 PLASTIC PIT OR SIMILAR | END CAP CONDUIT WITH STATION NO. |
| 5 | EXISTING TELSTRA PIT (2,3,4,5,6,7,8,9) | CAP SERVICE CONDUIT (P50/P20) P20=P23 mm NBNCo SERVICE CONDUIT |
| PIT-ID 8 | EXISTING NBN Co PIT | LOCAL CONDUIT (P100/P50) |
| --- | EXISTING CONDUIT | NBNCo STAGE BOUNDARY |

CONDUIT CONFIGURATION

CONDUITS AND DUCTS ARE IN LAYER:
< L460 NBN Support - Underground >
AND TERMINOLOGY CATEGORISED INTO TWO GROUPS IN
THE DRAWINGS AS PER BELOW:
1- DUCT USED WITH LOCAL NETWORK
2- CONDUIT USED WITH LEAD-IN DROPS
ATTRIBUTES ATTACHED TO CONDUITS ARE AS SHOWN



NOTE:

- P100 HAS AN INTERNAL DIAMETER OF 104.9 mm AND A MINIMUM WALL THICKNESS OF 4.5 mm
- P50 HAS AN INTERNAL DIAMETER OF 53 mm AND A MINIMUM WALL THICKNESS OF 3.1 mm
- P20 HAS AN INTERNAL DIAMETER OF 23.3 mm AND A MINIMUM WALL THICKNESS OF 1.4 mm

SDU Development Information

Development Name:
Greater Ascot
Developer Company:
Parkside Development Pty Ltd
Development Address:
Greater Ascot Avenue
Authorised Rep:
SPA Consulting Engineers (Qld) Pty Ltd
Phone: 074.7283026
E-Mail: admin@spaconsulting.com.au
nbn Reference Number: STG M000088449
Stage Number: 802
Design Revision: 1

BILL OF MATERIAL

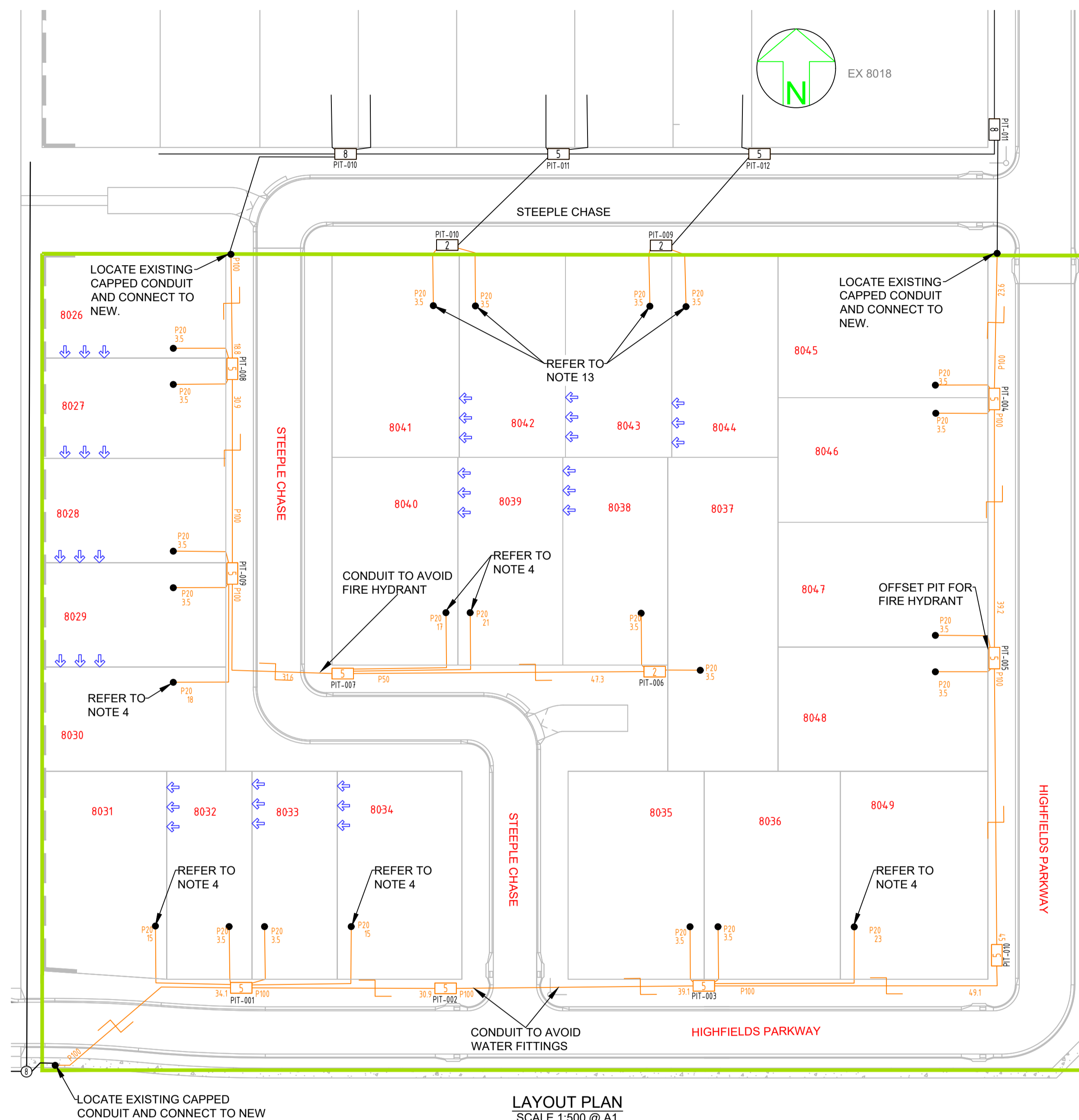
NO OF LOTS: 24

| PITS | | DUCTS | |
|------|-----|-------|------|
| SIZE | QTY | SIZE | MTRS |
| 2 | 1 | P100 | 10 |
| 5 | 9 | P50 | 47.3 |
| 6 | 0 | P20 | 172 |
| 8 | 0 | | |
| 9 | 0 | | |

TOTAL NUMBER OF PITS: 10
TOTAL NUMBER OF MANHOLES: 0
TOTAL NUMBER OF CONDUITS: 35
TOTAL LENGTH OF CONDUITS: 561.6

STANDARD CONSTRUCTION NOTES:

1. REFER TO NBN Co DOCUMENT NO. NBN-TE-CTO-194 (DEPLOYMENT OF THE NBN Co CONDUIT AND PIT NETWORK - GUIDELINES FOR DEVELOPERS) FOR DETAILED CONSTRUCTION SPECIFICATION.
2. MULTIPLE 15° CONDUIT BENDS TO BE USED TO SWING IN AND OUT OF THE STANDARD TRENCH ALIGNMENT AND ENTER THE NARROW ENDS OF THE PIT.
3. PITS TO INCLUDE LID GASKET TO PREVENT DIRT ENTRY AND SPREADER BARS TO PREVENT PIT BUCKLING DURING BACKFILL / GROUND COMPACTION. PIT LIDS TO BE EMBOSSED WITH "NBN" AND COMPLY AS PER CLAUSE 5.3.2 OF THE ABOVE NBN Co DOCUMENT.
4. SERVICE CONDUITS TO EXTEND 1m INSIDE THE FRONT PROPERTY BOUNDARY. REFER EXTENDED SERVICE CONDUIT DETAIL FOR DISTANCES FROM DIVIDING PROPERTY BOUNDARY FOR BOUNDARIES WITHOUT PIT. CONTRACTORS TO TIE TELECOMMUNICATIONS CAUTION TAPE TO END OF SERVICE CONDUITS AND EXTEND TO ABOVE GROUND LEVEL FOR FUTURE CONDUIT LOCATION.
5. ALL CONDUITS TO ENTER AND EXIT AT NARROW ENDS OF PITS ONLY. LOCATE CONDUITS AS CENTRALLY IN PIT END WALLS AS POSSIBLE. CONDUITS SHALL NOT BE INSTALLED WITHIN 50 mm OF ANY CORNER OF THE PIT. MINIMUM SEPARATION BETWEEN CONDUITS TO BE 25 mm. INSTALL CONDUITS AND CONDUIT COLLARS (BUSHES) TO BE SQUARE AND FLUSH WITH THE PIT END WALL. REFER TO THE PIT END WALL DETAILS IN THIS DESIGN FOR ADDITIONAL REQUIREMENTS.
6. MINIMUM COVER TO BE: 300 mm FOR SERVICE DROP CONDUITS, 450 mm IN VERGE, 600 mm UNDER LOCAL ROADS, AND 800 mm UNDER MAIN ROADS.
7. CONDUITS ARE TO BE CLEANED AND PROVEN USING A MANDREL. AFTER TESTING INSTALL A SUITABLE DRAW ROPE TO ALL CONDUITS AND CAP CONDUIT ENDS. SEAL CONDUITS AT PITS TO PREVENT ENTRY OF DUST AND MOISTURE. SERVICE CONDUIT DRAW ROPES TO BE ADDITIONALLY FITTED WITH A PLASTIC LABEL AT PIT END, IDENTIFYING LOT NUMBER AND DISTANCE / DIRECTION FROM BOUNDARY.
8. INSTALL NON CONDUCTIVE (METAL FREE) MARKER TAPE ABOVE ALL NBN Co CONDUITS, 300 mm BELOW FINISHED GROUND LEVEL. INSTALL METALLIC KERB MARKERS AT ROAD CROSSINGS.
9. REFER TO ERGON ENERGY STANDARD DRAWINGS 5228 AND 5168 SHEETS 1 TO 3 FOR SHARED TRENCH CROSS SECTIONS.
10. GRADE TOP OF PIT TO MATCH VERGE / FOOTPATH.
11. WHERE REQUIRED, SUPPLY AND INSTALL SERVICE AND ROAD CROSSING CONDUITS SHOWN IN THE SITE PLAN.
12. SUPPLY AND INSTALL ADDITIONAL DEVIATING CONDUIT BENDS TO ACHIEVE THE INCREASED / DECREASED BURIAL DEPTH REQUIRED TO AVOID CLASH WITH OTHER SERVICES.
13. CONDUITS INSTALLED IN PREVIOUS STAGE. FIBRE TO BE RETICULATED IN THIS STAGE.



LAYOUT PLAN
SCALE 1:500 @ A1

FOR APPROVAL
NOT FOR CONSTRUCTION
SAFETY FIRST
SAFETY STARTS WITH YOU

STAFF WORKING ON THIS ESTIMATE PLEASE NOTE:
The location of other authorities services which may affect this work have not been obtained by the estimator. Constructor to obtain service information before commencing.



| REV | DATE | DRAFTER | DESCRIPTION | APPROVED |
|-----|----------|---------|--------------|----------|
| 1 | 16/12/21 | SW | FOR APPROVAL | NBN |

STRICTLY CONFIDENTIAL

NBNCo APPROVAL RECORD:

| DD | WD | DATE |
|--------------------------|--------------------------|------|
| <input type="checkbox"/> | <input type="checkbox"/> | |

QUALITY RECORD:

NBNCo DISCLAIMER
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KEY PLAN

DRAWING TITLE:
GREATER ASCOT STAGE 802
NBNCo PIT AND PIPE DESIGN
LAYOUT PLAN

ENABLE#:

STATE: QLD REGION: NQ

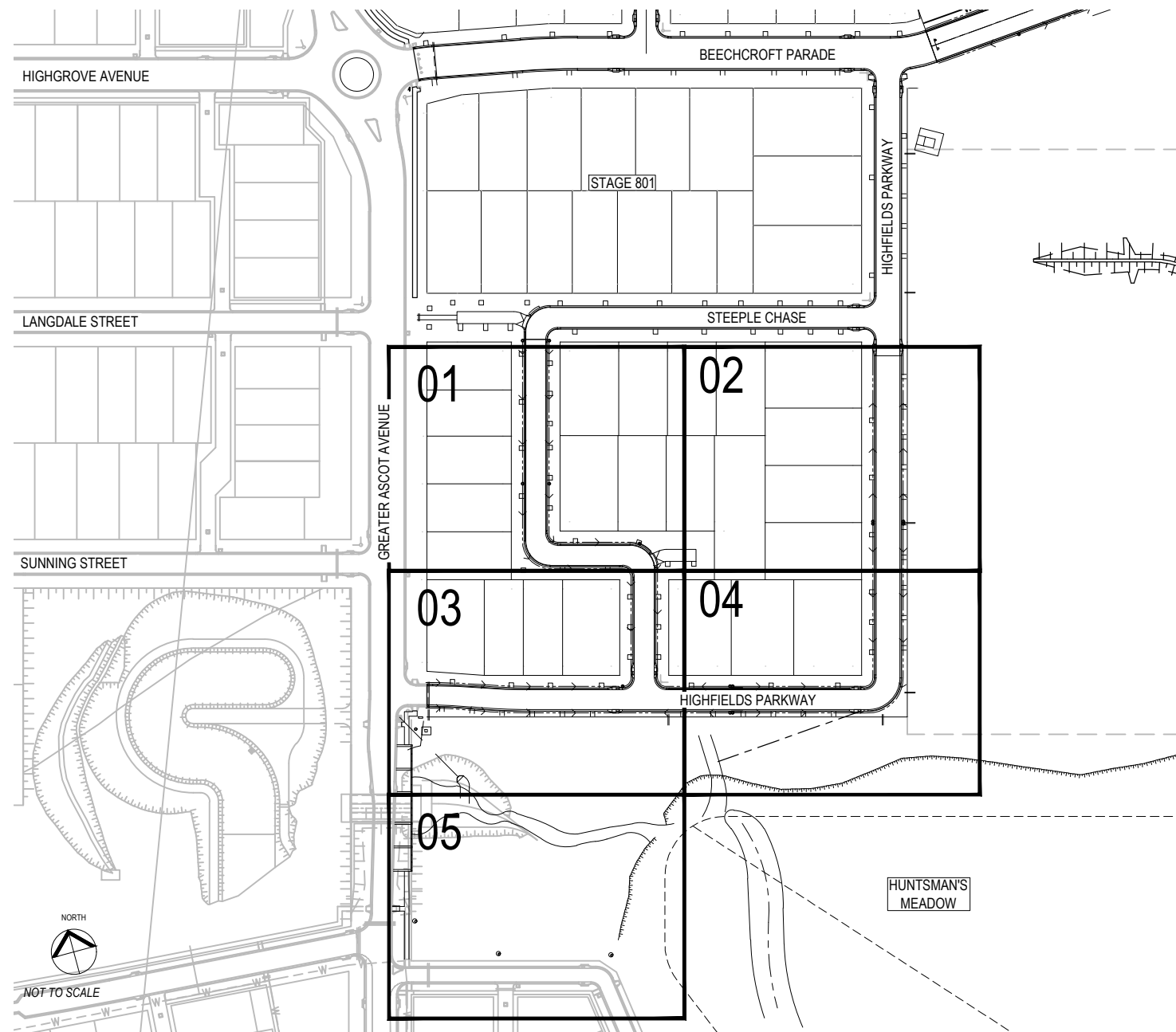
FSA: SAM: ADA:

PROJECT No: STG-M000088449

CADREF No: 3483-T01


SCALE AS SHOWN SHEET No. 1 OF 2 REV. 1

Greater Ascot - Stage 802 Landscape Development Works



SCHEDULE OF LANDSCAPE DRAWINGS

| | |
|--------------------------------------------|---------------|
| LOCALITY PLAN & LANDSCAPE DRAWING SCHEDULE | 3018030-L-001 |
| LANDSCAPE SPECIFICATION NOTES - SHEET 1 | 3018030-L-002 |
| LANDSCAPE SPECIFICATION NOTES - SHEET 2 | 3018030-L-003 |
| LANDSCAPE SPECIFICATION NOTES - SHEET 3 | 3018030-L-004 |
| LANDSCAPE PLAN - SHEET 1 | 3018030-L-201 |
| LANDSCAPE PLAN - SHEET 2 | 3018030-L-202 |
| LANDSCAPE PLAN - SHEET 3 | 3018030-L-203 |
| LANDSCAPE PLAN - SHEET 4 | 3018030-L-204 |
| LANDSCAPE PLAN - SHEET 5 | 3018030-L-205 |
| PLANTING PLAN - SHEET 1 | 3018030-L-601 |
| PLANTING PLAN - SHEET 2 | 3018030-L-602 |
| PLANTING PLAN - SHEET 3 | 3018030-L-603 |
| PLANTING PLAN - SHEET 4 | 3018030-L-604 |
| LANDSCAPE DETAILS - SHEET 1 | 3018030-L-901 |
| LANDSCAPE DETAILS - SHEET 2 | 3018030-L-902 |
| LANDSCAPE DETAILS - SHEET 3 | 3018030-L-903 |

I, **Hywel Jones** of **Place Design Group**
 hereby certify that the works as shown on the "as
 constructed" drawings reflect any changes that
 were made during the course of construction.
 Name: Hywel Jones AILA No.: 843
 (Registered Landscape Architect)
 Signed:  Date: 17.08.2022

AS CONSTRUCTED

**place
design
group.**

TOWNSVILLE
 46 Ross River Road
 Mundingburra QLD 4812
 PO Box 450 Aitkenvale QLD 4814
 T +61 7 4725 7843

GREATER ASCOT

STAGE 802

PARKSIDE DEVELOPMENT

PROJECT NUMBER : 3018029

DATE : 17-08-2022

DRAWING NUMBER : 3018030-L-001

REVISION : 03

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PROJECT
**GREATER ASCOT
STAGE 802**

CLIENT
PARKSIDE DEVELOPMENT

NOTES

I, **Hywel Jones** of Place Design Group hereby certify that the works as shown on the "as constructed" drawings reflect any changes that were made during the course of construction.
Name: **Hywel Jones** AILA No.: 843 (Registered Landscape Architect)
Signed: *[Signature]* Date: 17.08.2022

AS CONSTRUCTED

| ISSUE CODE | ISSUE DESCRIPTION | BY | CHK | DATE |
|------------|----------------------|----|-----|------------|
| 01 | PRE PRELIMINARY | NF | HJ | 14-08-2018 |
| 02 | CA FOR APPROVAL | HJ | HJ | 23-08-2021 |
| 03 | CON FOR CONSTRUCTION | HJ | HJ | 07-03-2022 |
| 04 | CON AS CONSTRUCTED | CB | HJ | 17-08-2022 |

PRE - Preliminary | CA - Council Approval | T - Tender | CON - Construction

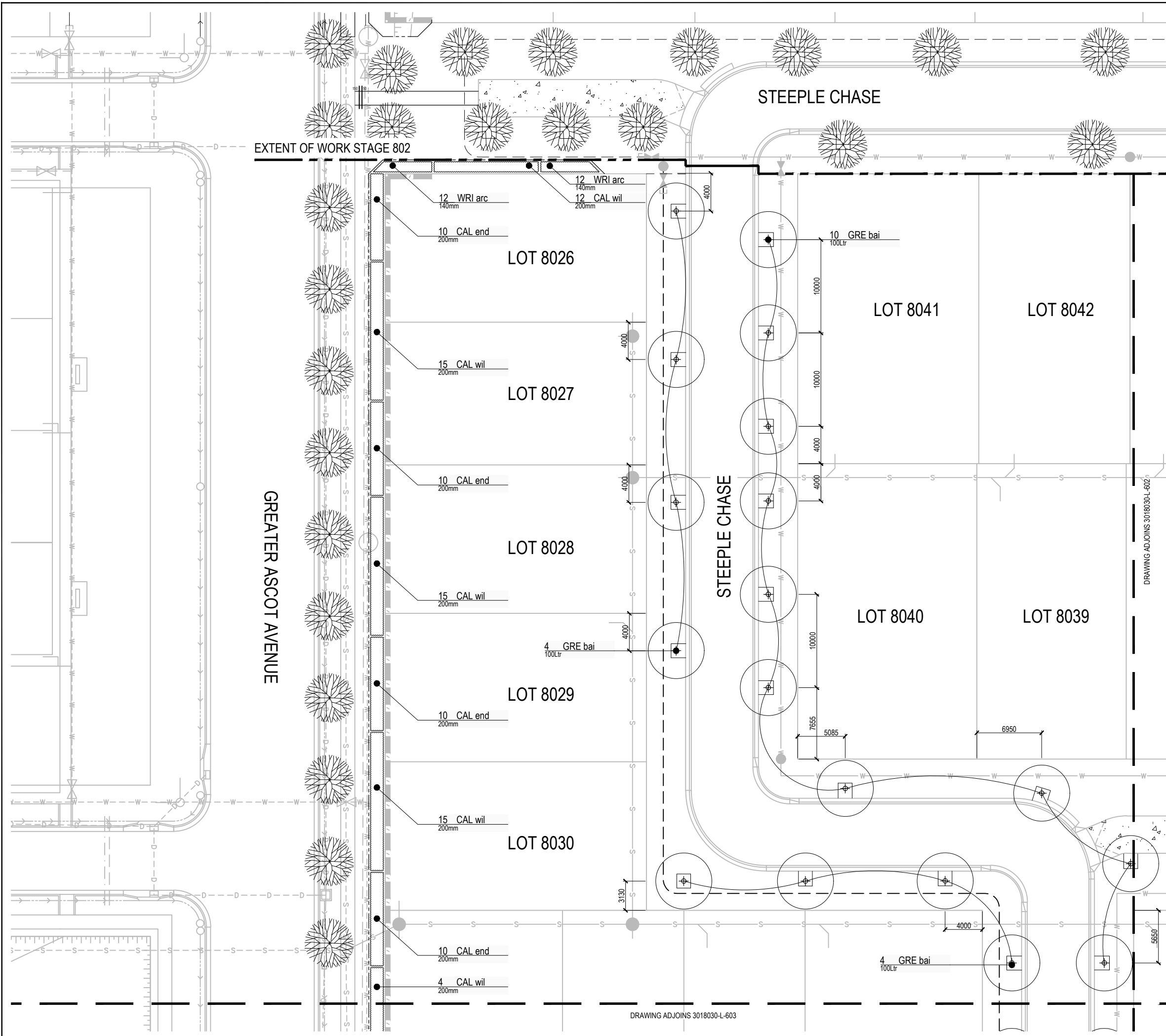
DRAWING TITLE

**PLANTING PLAN
SHEET 1**

DESIGN : HJ
DOCUMENT :
PROJECT : 3018030



SCALE 1:200 @ A1 1:400 @ A3
DRAWING NUMBER 3018030-L-601 REVISION 04



DRAWING ADJOINS 3018030-L-603

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PROJECT
**GREATER ASCOT
STAGE 802**

CLIENT
PARKSIDE DEVELOPMENT

NOTES

I, **Hywel Jones** of Place Design Group hereby certify that the works as shown on the "as constructed" drawings reflect any changes that were made during the course of construction.
Name: Hywel Jones AILA No.: 843 (Registered Landscape Architect)
Signed:  Date: 17.08.2022

AS CONSTRUCTED

| ISSUE CODE | ISSUE DESCRIPTION | BY | CHK | DATE |
|------------|----------------------|----|-----|------------|
| 01 | PRE PRELIMINARY | NF | HJ | 18-04-2018 |
| 02 | CA FOR APPROVAL | HJ | HJ | 23-08-2021 |
| 03 | CON FOR CONSTRUCTION | HJ | HJ | 07-03-2022 |
| 04 | CON AS CONSTRUCTED | CB | HJ | 17-08-2022 |

PRE - Preliminary | CA - Council Approval | T - Tender | CON - Construction

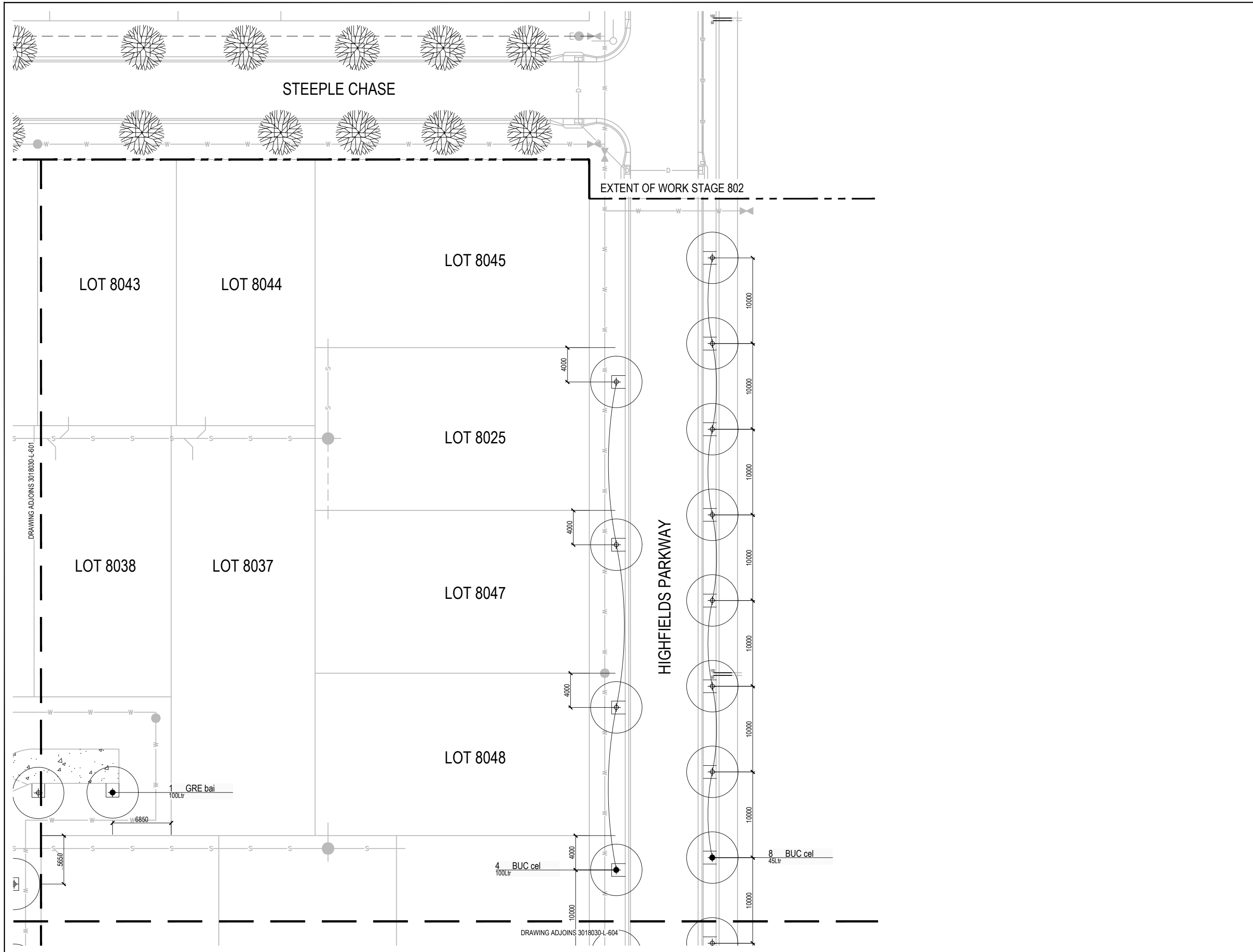
DRAWING TITLE

**PLANTING PLAN
SHEET 2**

DESIGN : HJ
DOCUMENT :
PROJECT : 3018030



SCALE 1:200 @ A1 1:400 @ A3
DRAWING NUMBER REVISION
3018030-L-602 04



I, **Hywel Jones** of Place Design Group hereby certify that the works as shown on the "as constructed" drawings reflect any changes that were made during the course of construction.
Name: **Hywel Jones** AILA No.: 843
(Registered Landscape Architect)
Signed: *[Signature]* Date: 17.08.2022

AS CONSTRUCTED

| ISSUE CODE | ISSUE DESCRIPTION | BY | CHK | DATE |
|------------|----------------------|----|-----|------------|
| 01 | PRE PRELIMINARY | NF | HJ | 14-08-2018 |
| 02 | CA FOR APPROVAL | HJ | HJ | 23-08-2021 |
| 03 | CON FOR CONSTRUCTION | HJ | HJ | 07-03-2022 |
| 04 | CON AS CONSTRUCTED | CB | HJ | 17-08-2022 |

PRE - Preliminary | CA - Council Approval | T - Tender | CON - Construction

DRAWING TITLE

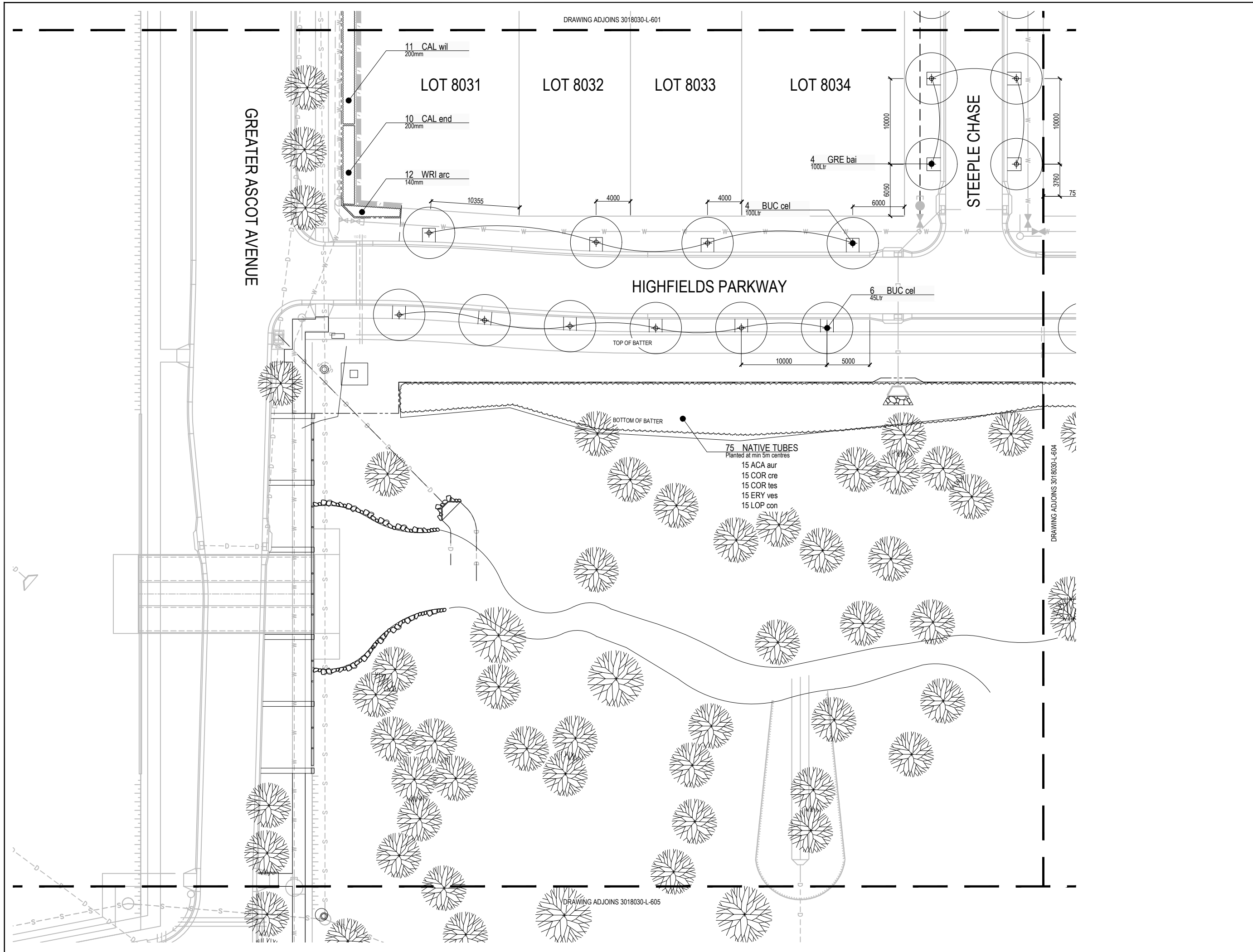
**PLANTING PLAN
SHEET 3**

DESIGN : HJ
DOCUMENT :
PROJECT : 3018030



SCALE 1:200 @ A1 1:400 @ A3

DRAWING NUMBER REVISION
3018030-L-603 04



I, **Hywel Jones** of Place Design Group hereby certify that the works as shown on the "as constructed" drawings reflect any changes that were made during the course of construction.
Name: Hywel Jones AILA No.: 843
(Registered Landscape Architect)
Signed:  Date: 17.08.2022

AS CONSTRUCTED

| ISSUE CODE | ISSUE DESCRIPTION | BY | CHK | DATE |
|------------|----------------------|----|-----|------------|
| 01 | PRE PRELIMINARY | NF | HJ | 14-08-2018 |
| 02 | CA FOR APPROVAL | HJ | HJ | 23-08-2021 |
| 03 | CON FOR CONSTRUCTION | HJ | HJ | 07-03-2022 |
| 04 | CON AS CONSTRUCTED | CB | HJ | 17-08-2022 |

PRE - Preliminary | CA - Council Approval | T - Tender | CON - Construction

DRAWING TITLE

**PLANTING PLAN
SHEET 4**

DESIGN : HJ
DOCUMENT :
PROJECT : 3018030



SCALE 1:200 @ A1 1:400 @ A3

DRAWING NUMBER REVISION
3018029-L-604 04

