




**PROPOSED RECONFIGURATION**

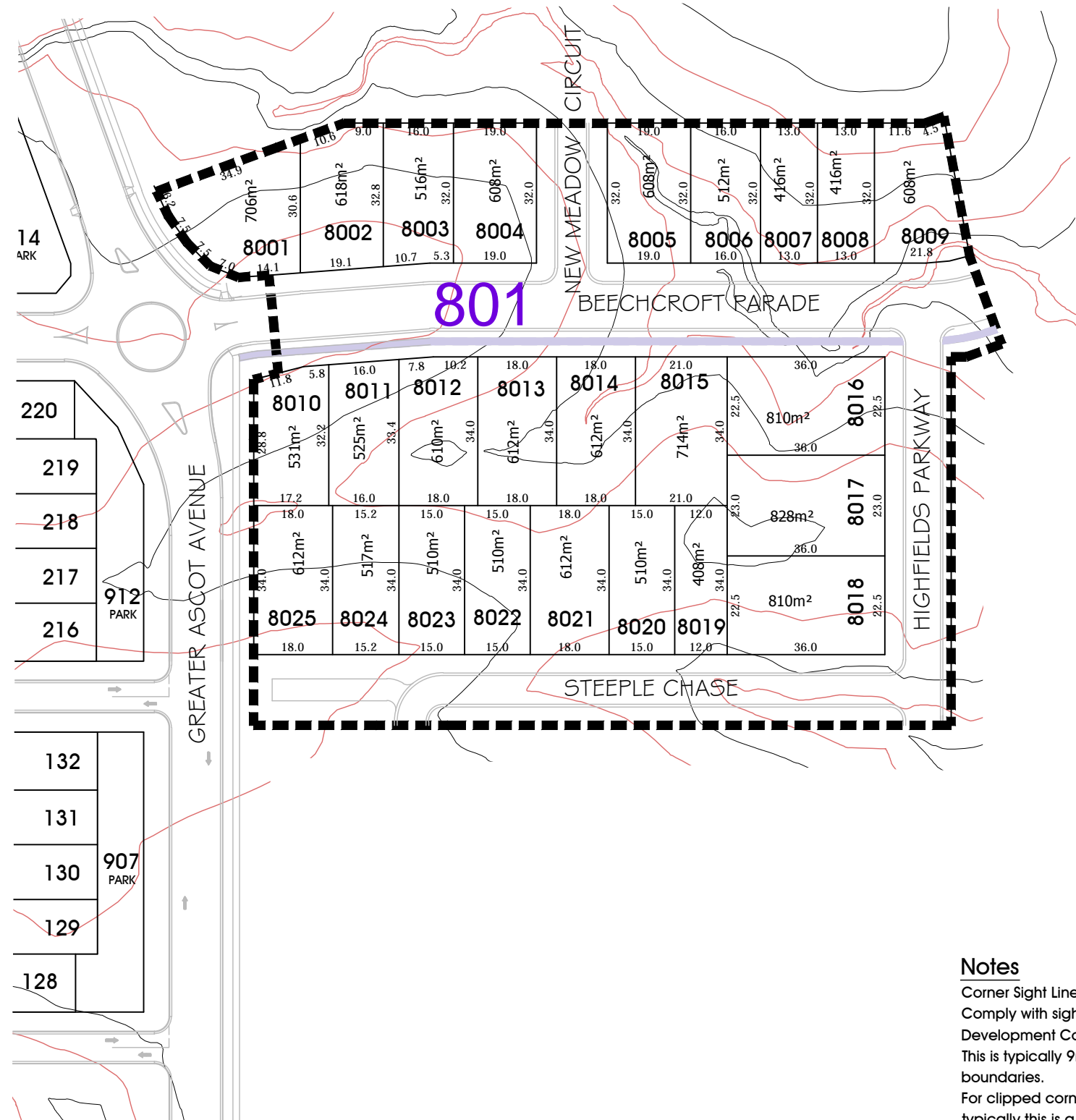
Lots 8001 - 8025  
Cancelling Lots 5000 on SP283208 &  
Lot 5001 on SP268596

**STAGE 801**

Total Site Area ..... 2.24 ha  
Total Lots..... 25  
Average Lot Area..... 556m<sup>2</sup>  
Total Length of New Road .... 529m

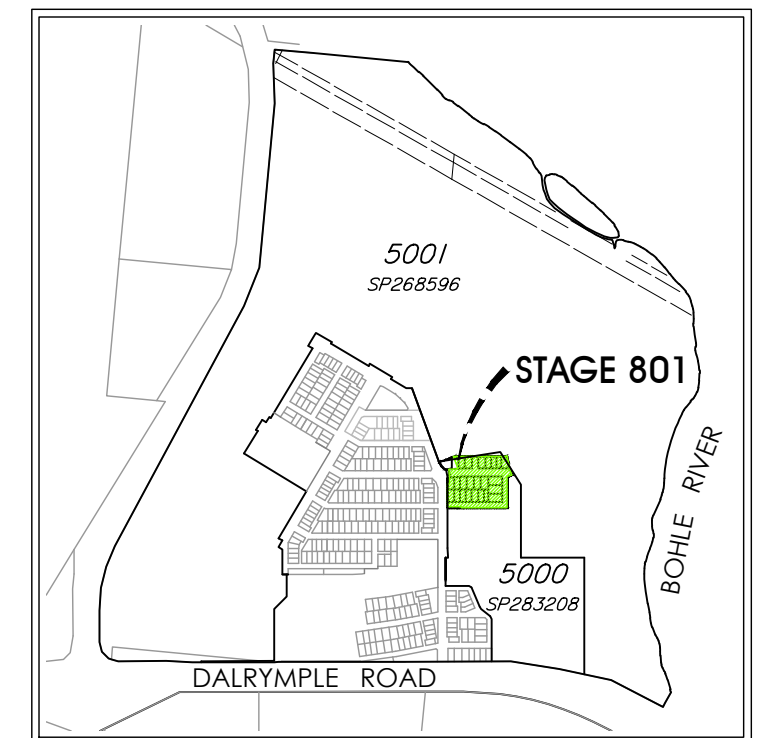
Parish of Bohle  
County of Elphinstone  
City of Townsville

-  1.5m path
-  1.0m contour
-  0.5m contour



**Notes**

Corner Sight Lines:  
Comply with sight lines requirement of the Queensland Development Code on road corners.  
This is typically 9m x 9m exclusion zone based boundaries.  
For clipped corners and lots with park frontages typically this is a 18m x 18m exclusion zone based on the edge of the traffic lane.  
Rear access lanes are exempted from this requirement.



LOCALITY

1:20,000



**LEGEND**

- █ POSSIBLE BUILT TO BOUNDARY WALL MAX 9m LONG AND APPLICABLE TO GARAGE OR CLASS 10A BUILDINGS ONLY WHICH SHALL CONFORM TO THE REQUIREMENTS OF THE QUEENSLAND DEVELOPMENT CODE
- - - INDICATIVE BUILDING ENVELOPE
- ALLOWABLE DRIVEWAY ACCESS
- STORMWATER DRAINAGE LINE
- SUBSOIL DRAIN & CLEANOUT POINT
- WATER MAIN, FIRE HYDRANT & VALVE
- POLYETHYLENE WATER MAIN
- SEWER MAIN & MANHOLE
- ↓ PREFERRED DRIVEWAY LOCATION
- - - NOISE FENCE

**DRIVEWAY ACCESS ENVELOPES**

- FOR DRIVEWAY ACCESS ENVELOPES ALLOW 0.5m MINIMUM CLEARANCE TO ALL COUNCIL INFRASTRUCTURE, EXCEPT STORMWATER PITS WHICH REQUIRE 0.6m MINIMUM CLEARANCE, AND SEWERAGE HOUSE CONNECTIONS WHICH REQUIRE 1.2m CLEARANCE.
- ALL DRIVEWAYS REQUIRE A PERMIT FROM COUNCIL PRIOR TO CONSTRUCTION.

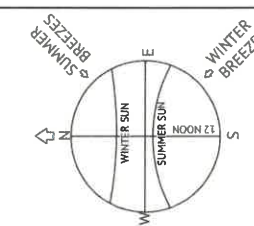
#NOTE: OUTBUILDING (CARPORT/GARAGE) - THE BALANCE OF THE LOT BOUNDARY ADJACENT TO THE OUTBUILDINGS WHERE LOCATED ALONG A ROAD RESERVE INCLUDING LANES MUST REMAIN OPEN WITH NO ADDITIONAL STRUCTURES PERMITTED ALONG THAT BOUNDARY (EXCLUDING BOUNDARY FENCING WHICH ALLOWS AIRFLOW THROUGH THE BARRIER).  
 \*NOTE: CLEARANCES TO SEWER LINES AND MANHOLES ARE REQUIRED IN ACCORDANCE WITH COUNCIL POLICY.

**BUILDING ENVELOPES**

- THE BUILDING ENVELOPES ARE TO COMPLY WITH THE DESIGN CODE SHOWN ON THIS PLAN. GREATER SETBACKS MAY BE REQUIRED TO ACCOMMODATE THE ZONE OF INFLUENCE OF UNDERGROUND SERVICES AS STATED IN COUNCIL'S POLICY ON BUILDING OVER OR ADJACENT TO SEWERS.
- INDICATIVE BUILDING ENVELOPES SHOWN ARE QDC GROUND DWELLING ONLY AND DO NOT ACCOUNT FOR BATTERS OR RETAINING WALLS. A SITE INSPECTION IS REQUIRED PRIOR TO COMMENCEMENT OF DESIGN. REFER DESIGN CODE FOR UPPER FLOOR AND GARAGE SETBACKS.

**CORNER SIGHT LINES**

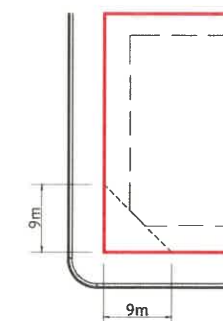
- COMPLY WITH SIGHT LINES REQUIREMENT OF THE QUEENSLAND DEVELOPMENT CODE AT INTERSECTIONS OF ROADS. INTERSECTIONS OF LANES AND ROADS ARE EXEMPTED FROM THIS REQUIREMENT.
- THE QUEENSLAND DEVELOPMENT CODE TYPICALLY REQUIRES A 9mx9m EXCLUSION ZONE BASED ON BOUNDARIES.



**DESIGN CODE - ALL ALLOTMENTS**

TYPE	HOUSE, FRONT LOADED
LOT ACCESS	FRONT, FROM STREET
LOT DEPTH (MIN)	25m (20m WHERE 15m WIDTH PROPOSED)
LOT WIDTH (MIN)	12.5m
SITE COVERAGE	55% MAX
SETBACK FRONT GROUND (MIN)	3.5m
SETBACK FRONT UPPER (MIN)	3.5m
SETBACK FRONT GARAGE	6.0m FROM FRONT OF GARAGE WALL & 1.5m MIN FROM DWELLING.
SETBACK PRINCIPAL SIDE GROUND (MIN)	QDC
SETBACK PRINCIPAL SIDE UPPER (MIN)	QDC
SETBACK ROAD/ROAD CORNER (MIN)	2.0m
SETBACK PRINCIPLE REAR (MIN)	3.0m
OUTBUILDING # (CARPORT/GARAGE) WIDTH (MAX FROM OUTSIDE WALL)	N/A
OUTBUILDING # (CARPORT/GARAGE) & RESIDENTIAL OVER OUTBUILDING SETBACK TO LANE	N/A
OUTBUILDING # (CARPORT/GARAGE) & RESIDENTIAL OVER OUTBUILDING SIDE SETBACK OTHER THAN TO LANE (MIN)	QDC
OUTBUILDING (SHED) WIDTH (MAX)	LESSER OF 50% OF REAR BOUNDARY OR 9m
OUTBUILDING (SHED) DEPTH (MAX)	QDC
OUTBUILDING (SHED) REAR SETBACK	0-1.0m
OUTBUILDING (SHED) SIDE SETBACK	QDC
FLOOR HEIGHT PRINCIPAL (MIN)	400mm
MAXIMUM STOREYS	2 STOREYS
PRIVATE OPEN SPACE (MIN) (MAY BE COVERED)	4mx4m
PARKING (MIN)	TWO (2), ONE OF WHICH MUST BE COVERED

LIGHT POLES & TELSTRA PITS HAVE NOT BEEN SHOWN



**STANDARD CORNER BUILDING SETBACK**

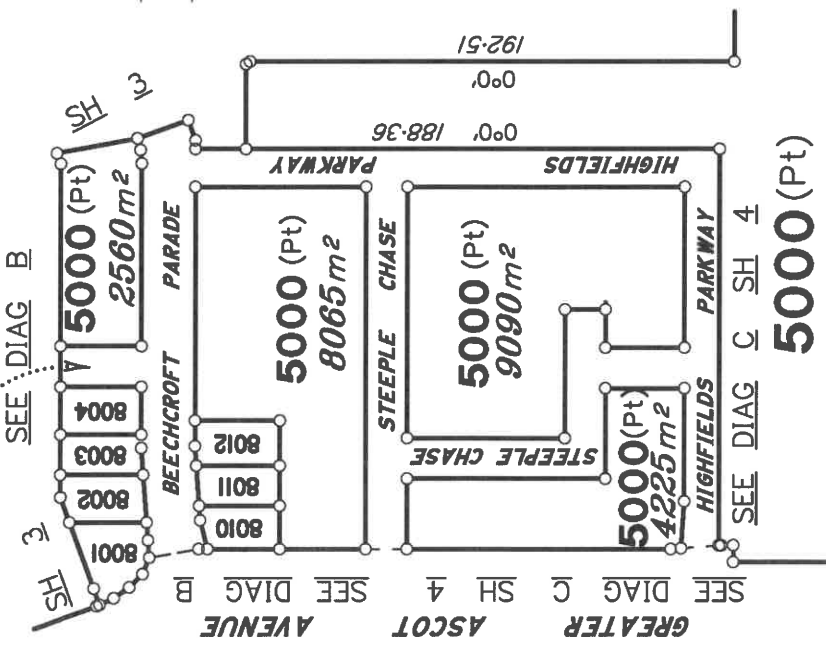
SCALE 1:500

**Developers Note**  
 Building Envelope Plans are created as a design tool only. House siting must comply with Precinct Plan and Lot Specifications Drawing 26700/157D

<b>FOR CONSTRUCTION</b>		<p>TOWNSVILLE OFFICE        84 DENHAM STREET        PO BOX 1110        TOWNSVILLE, QLD 4810        PH: (07) 4772 0666        WEB: www.premise.com.au</p>	<p>DESIGNED AJOUBERT</p> <p>CHECKED G.FYSH</p> <p>PROJECT MANAGER P.PETERSEN</p> <p>ENGINEERING CERTIFICATION P.PETERSEN RPEQ 13231</p> <p>PROJECT DIRECTOR</p>	<p>SCALE</p> <p>SCALE 1:500 (A1)        ORIGINAL SHEET SIZE A1</p>	<p>CLIENT PARKSIDE DEVELOPMENT PTY LTD</p>		<p>JOB CODE PAR-0078</p>
<p>PROJECT GREATER ASCOT STAGE 801 &amp; 802</p> <p>LOCATION GREATER ASCOT, SHAW</p> <p>SHEET TITLE LOT CONSTRAINTS PLAN - SHEET 1 OF 2</p>					<p>SHEET NUMBER C024</p> <p>REV A</p>		



**NEW MEADOW CIRCUIT**  
SEE DIAG B  
**5001 (Pt)**

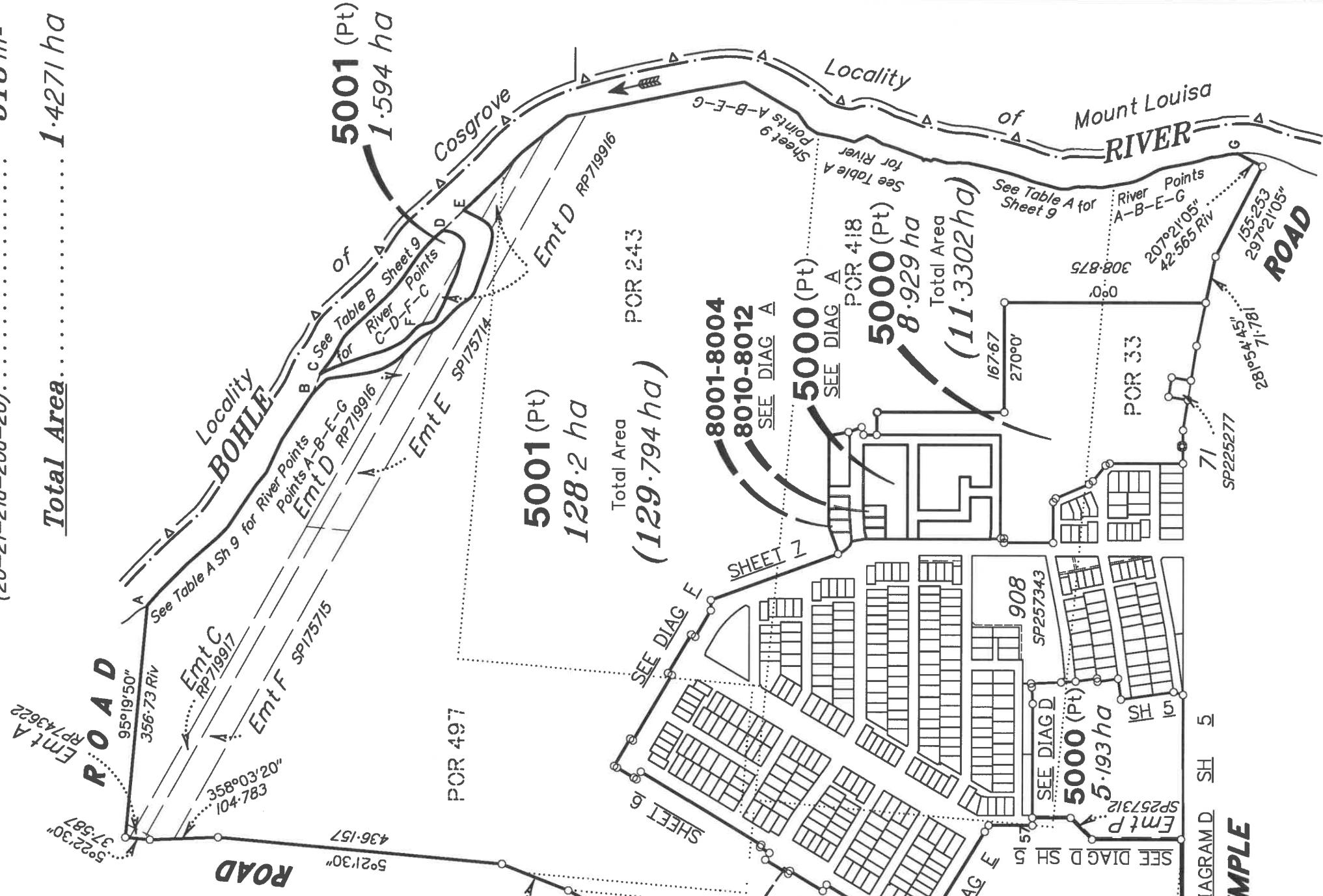


**DIAGRAM A**  
Scale 1:3000

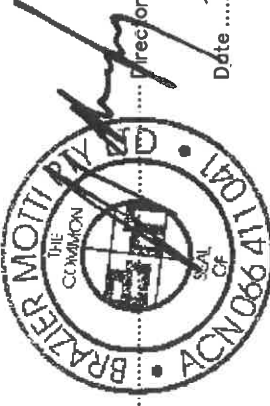
For Traverse Tabulation See Sheet 9  
For River Points Tabulation See Sheet 9

**Area of New Road**

BEECHCROFT PARADE (10-23-22-21-20-16-16a-16b-17-17a-18-25-24-8-9-10). . . . .	3639 m <sup>2</sup>
STEEPLE CHASE (7-30-31-33-41-39-38-44-47-48-43-42-34-5-6-7). . . . .	4957 m <sup>2</sup>
HIGHLANDS PARKWAY (18-17a-50-52-53-49-48-47-46-31-30-18). . . . .	5157 m <sup>2</sup>
NEW MEADOW CIRCUIT (20-21-21a-20a-20). . . . .	518 m <sup>2</sup>
<b>Total Area</b> . . . . .	<b>1.4271 ha</b>



BRAZIER MOTTL PTT LTD (ACN 066 411 041) hereby certify that the corporation, by Geoffrey Edwin OSBALDISTON, Cadastral Surveyor, for whose work the corporation accepts responsibility, has made this plan under Section 16 of the Survey and Mapping Infrastructure Regulation 2014 and pursuant to the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the plan is accurate, and compiled from DP-332259 in the Department of Resources.



Scale: 1:7500  
Format: STANDARD

**Plan of Lots 8001-8004, 8010-8012, 5000 & 5001**

Cancelling Lot 5000 on SP295380 and Lot 5001 on SP331005

LOCAL GOVERNMENT: COUNCIL  
TOWNSVILLE CITY

LOCALITY: SHAW

Meridian: MGA (Zone 55) vide DP332259

Survey Records: No



SP335151

State copyright reserved.

4. Lodged by

(Dealing No.)

(Include address, phone number, email, reference, and Lodger Code)

Existing		Created	
Title Reference	Description	New Lots	Road
51114701 51266683	Lot 5000 on SP295380 Lot 5001 on SP331005	8001-8004, 8010-8012, 5000 & 5001 8001-8004, 5000 & 5001	New Rd New Rd

**ENCUMBRANCE EASEMENT ALLOCATIONS**

Easement	Lots to be Encumbered
601363709 (Emt A on RP743622)	5001
601363708 (Emt C on RP719917)	5001
601398181 (Emt D on RP719916)	5001
709012260 (Emt E on SP175714)	5001
709012260 (Emt F on SP175715)	5001
715322813 (Emt P on SP257312)	5000

**6. Building Format Plans only.**

I certify that :

\* As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or road.

\* Part of the building shown on this plan encroaches onto adjoining \* lots and road

Cadastral Surveyor/Director \* Date  
\* delete words not required

**7. Lodgement Fees :**

Survey Deposit	\$
Lodgement	\$
.....New Titles	\$
Photocopy	\$
Postage	\$
TOTAL	\$

**5. Passed & Endorsed :**

By: **BRAZIER MOTTI PTY LTD**

Date: 15-06-22

Signature:   
Designation: **Liaison Officer**

**2. Orig Grant Allocation :**

8001-8004, 8010-8012	Por 418
5001	Pors 6V, 33, 227, 243, 418 & 497
5000	Pors 33, 418 & 227
Lots	Orig

**3. References :**

Dept File :

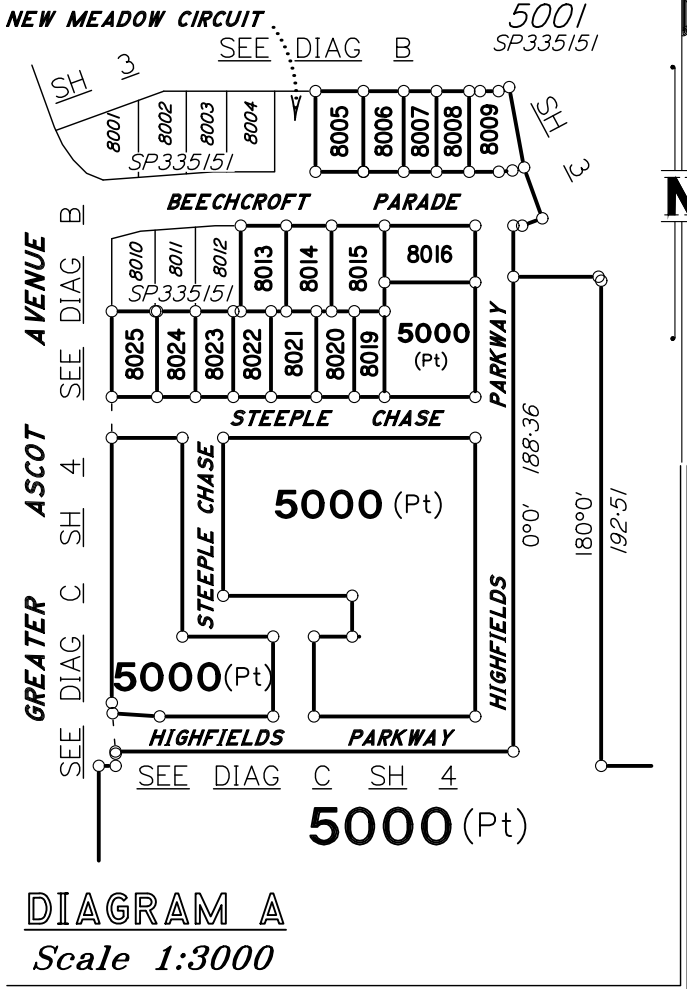
Local Govt :

Surveyor : 26700/227-02 - 26700\_243A.dwg - WCHO - 01/2022 - V0

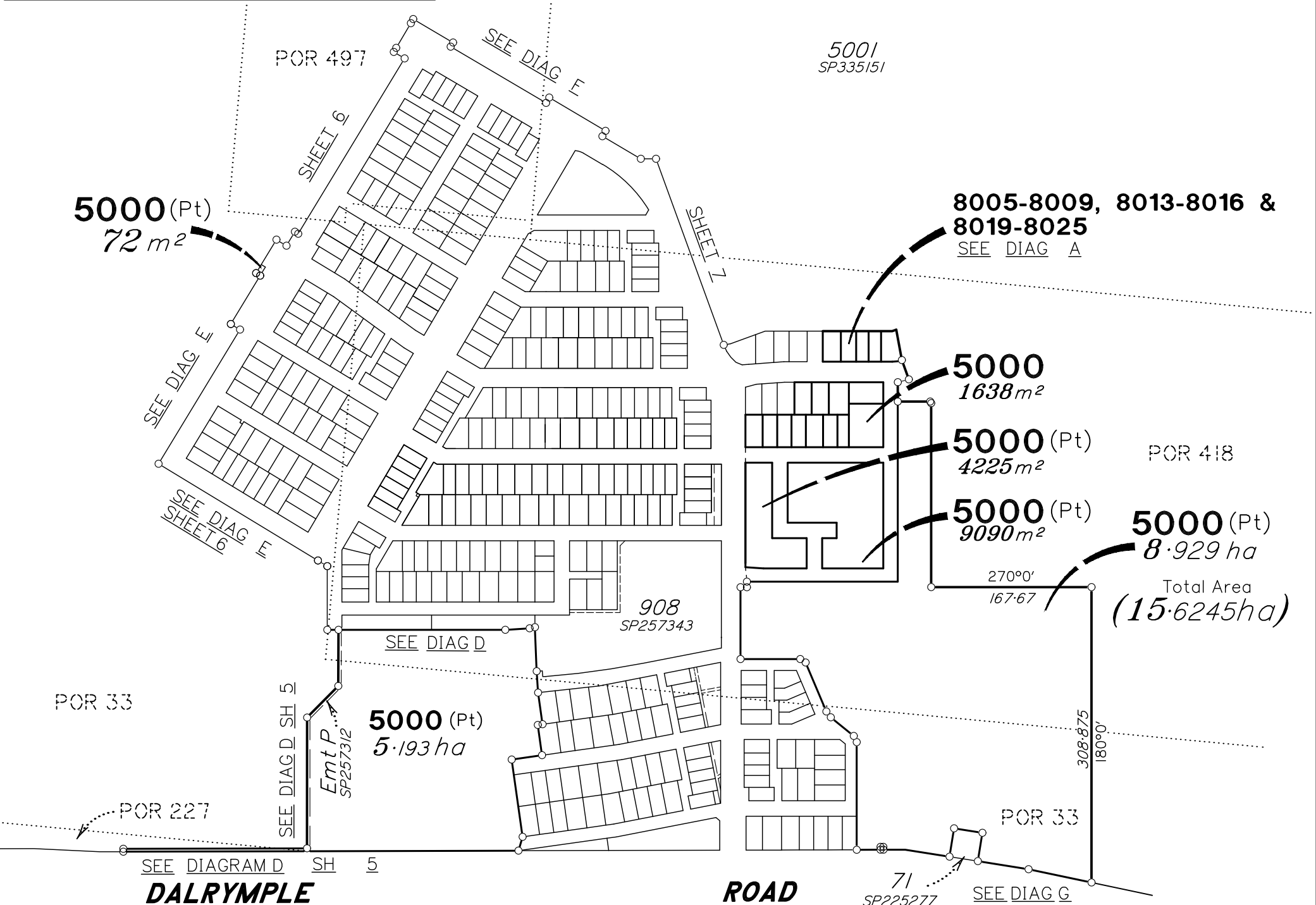
8. Insert Plan Number

**SP335151**

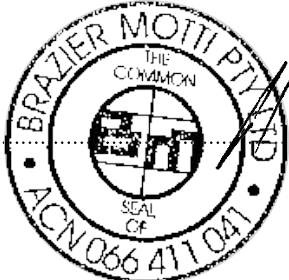




TRAVERSES ETC		
LINE	BEARING	DISTANCE
5-6	0°0'	14.69
6-7	0°0'	1.51
17a-18	270°0'	15.15
30-31	180°0'	16.2
33-34	270°0'	16.2
47-48	270°0'	16.2
52-53	355°40'10"	15.17



BRAZIER MOTTI PTY LTD (ACN 066 411 041) hereby certify that the corporation, by Geoffrey Edwin OSBALDISTON, Cadastral Surveyor, for whose work the corporation accepts responsibility, has made this plan under Section 16 of the Survey and Mapping Infrastructure Regulation 2014 and pursuant to the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the plan is accurate, and compiled from DP332259 & SP335151 in the Department of Resources.



Director

Date...4-08-22...

0m 250m 500m 750m  
0 50mm 100mm 150mm State copyright reserved.

**Plan of Lots 8005-8009,  
8013-8016, 8019-8025 & 5000**

Cancelling Lot 5000 on SP335151

LOCAL TOWNSVILLE CITY  
GOVERNMENT: COUNCIL

LOCALITY: SHAW

Meridian: MGA (Zone 55) vide DP332259

Survey Records: No

Scale: 1:5000  
Format: STANDARD



SP336921

**WARNING : Folded or Mutilated Plans will not be accepted.**  
**Plans may be rolled.**  
**Information may not be placed in the outer margins.**

(Dealing No.)

4. Lodged by

(Include address, phone number, email, reference, and Lodger Code)

I. Existing		Created		
Title Reference	Description	New Lots	Road	Secondary Interests
51289947	Lot 5000 on SP335151	8005-8009, 8013-8016, 8019-8025 & 5000	_____	_____

ENCUMBRANCE EASEMENT ALLOCATIONS

Easement	Lots to be Encumbered
715322813 (Emt P on SP257312)	5000

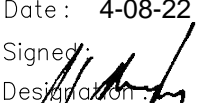
8005-8009, 8013-8016, 8019-8025 5000	Por 418 Pors 33, 227 & 418
Lots	Orig

2. Orig Grant Allocation :

3. References :

Dept File :  
Local Govt :  
Surveyor : 26700/227-03 - 26700\_244A.dwg - HJP - 07/2022 - V0

5. Passed & Endorsed :

By: BRAZIER MOTTI PTY LTD  
Date: 4-08-22  
Signed:   
Designation: Liaison Officer

6. Building Format Plans only.

I certify that :  
\* As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or road;  
\* Part of the building shown on this plan encroaches onto adjoining \* lots and road

.....  
Cadastral Surveyor/Director\* Date

\*delete words not required

7. Lodgement Fees :

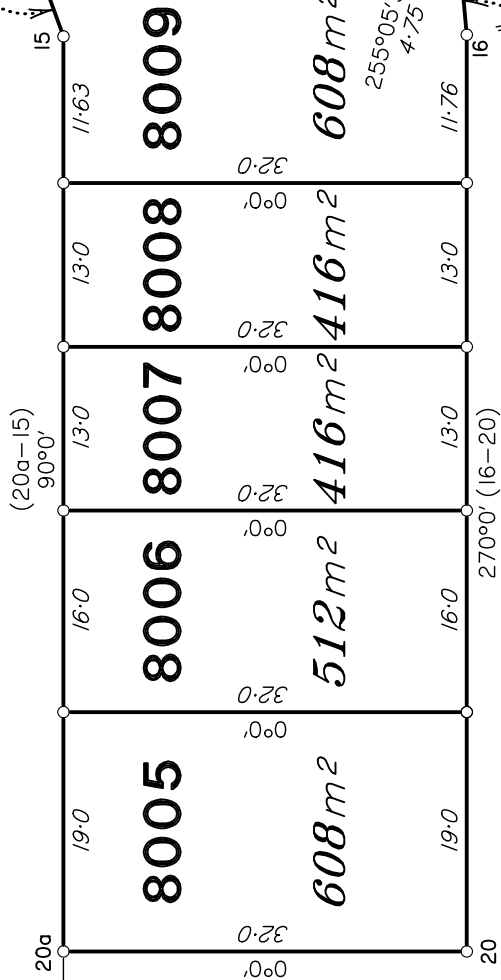
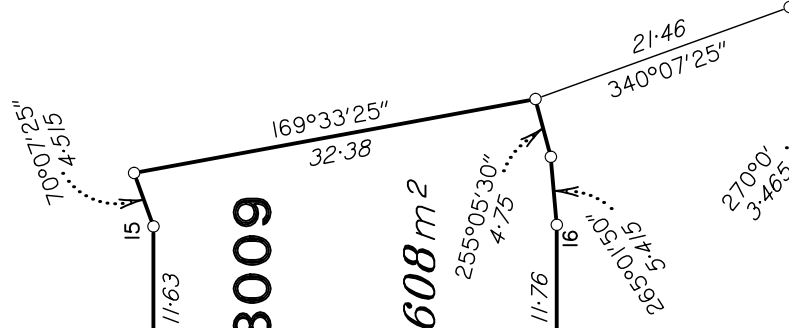
Survey Deposit	\$ .....
Lodgement	\$ .....
.....New Titles	\$ .....
Photocopy	\$ .....
Postage	\$ .....
TOTAL	\$ .....

8. Insert Plan Number

**SP336921**

ADDITIONAL SHEET

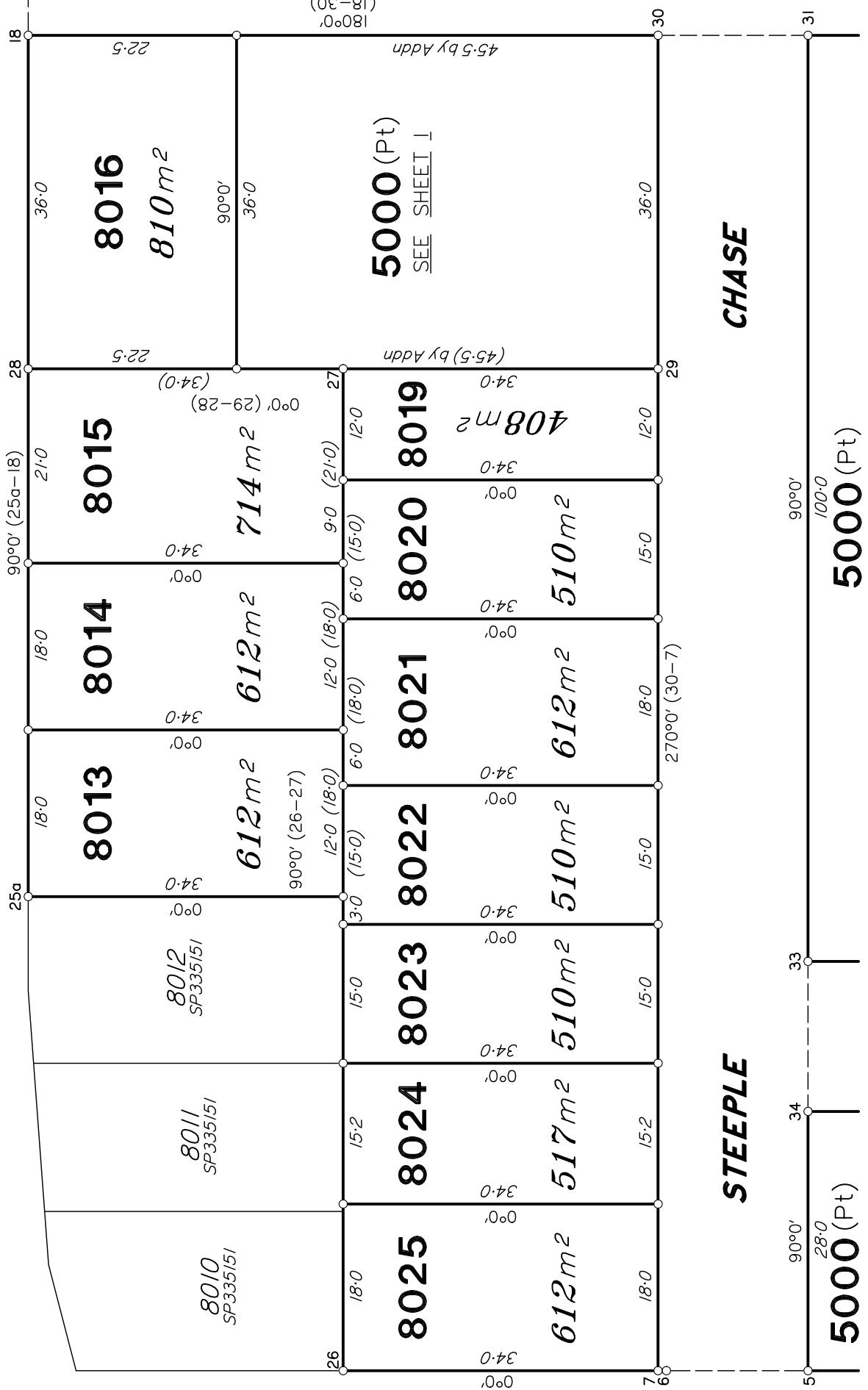
180°0'  
192-51



**NEW MEADOW**  
**CIRCUIT**

**PARADE**

**BEECHCROFT**



**AVENUE**

**ASCOT**

**GREATER**

**5000 (Pt)**  
SEE SHEET I

**5000 (Pt)**  
SEE SHEET I

**5000 (Pt)**  
SEE SHEET I

**5000 (Pt)**  
SEE SHEET I

SEE DIAG C  
SHEET 4

**CHASE**

**STEEPLE**

SEE DIAG C SH 4

SEE SHEET I

SEE DIAG C SH 4

SEE SHEET I



SEE DIAG E  
SH Z

Insert  
Plan  
Number

**SP336921**

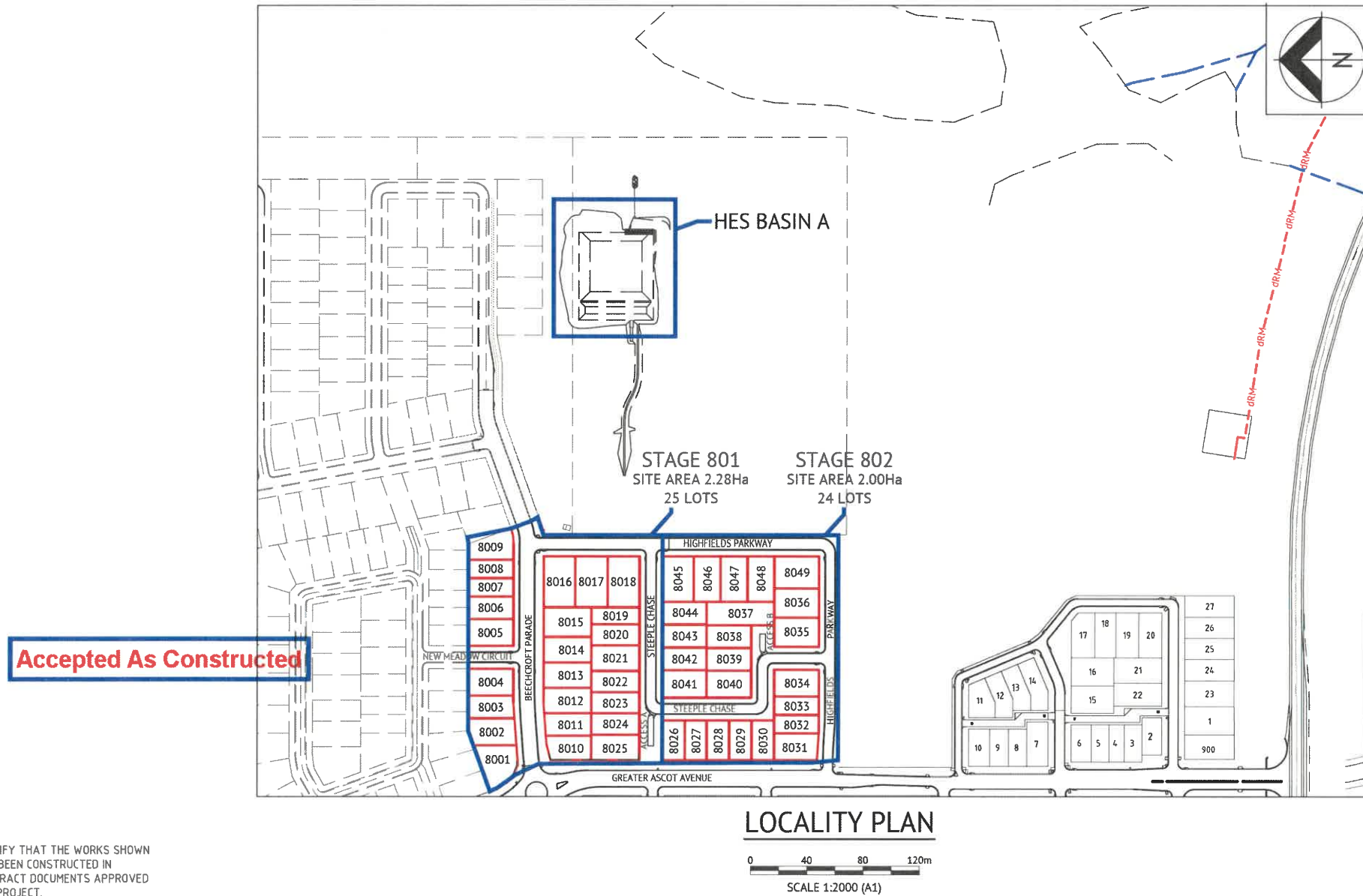
State copyright reserved.

**DIAGRAM B**  
Scale 1:600




# GREATER ASCOT STAGE 801 & 802 GREATER ASCOT, SHAW FOR PARKSIDE DEVELOPMENT PTY LTD

DRAWING SCHEDULE	
Sheet Number	Sheet Title
223	COVER SHEET LOCALITY PLAN & DRAWING SCHEDULE
224	EARTHWORKS LAYOUT PLAN
225	ROADWORKS AND STORMWATER DRAINAGE PLAN
226	HIGHFIELDS PARKWAY LONGITUDINAL AND CROSS SECTIONS
227	BEECHCROFT PARADE LONGITUDINAL AND CROSS SECTIONS
228	STEEPLE CHASE LONGITUDINAL AND CROSS SECTIONS
229	NEW MEADOW CIRCUIT LONGITUDINAL AND CROSS SECTIONS
230	ROADWORKS DETAILS PLAN - SHEET 1 OF 2
231	ROADWORKS DETAILS PLAN - SHEET 2 OF 2
232	LINEMARKING DETAILS PLAN
233	Q2 STORMWATER LONGITUDINAL SECTION - SHEET 1 OF 2
234	Q2 STORMWATER LONGITUDINAL SECTION - SHEET 2 OF 2
235	WATER AND SEWERAGE RETICULATION PLAN
236	WATER DETAILS
237	HES BASIN PLAN
238	HES BASIN DETAILS PLAN



TOWNSVILLE EARTHMOVING DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

AUTHORISED DELEGATE   
DATE 10/06/22


PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.


RPEQ  13231  
DATE 14-06-22

No.	Date	Details	Check
A	08.06.22	Original Issue	GEO

Level Datum: AHD (DERIVED)  
 B.M. Used: PSM193061 RL.11.206  
 Coordinate Projection: Plane  
 Coordinate Datum: Arbitrary  
 Origin of Coordinates: PSM193061 E:  
 Meridian: MGA (Zone 55) N:  
 Map Reference: 8259-31131  
 Contour Interval: Surveyed by: BM  
 Job No: 26700-228-01 Drawn: MJM  
 File No: 26700\_223A.dwg Approved:

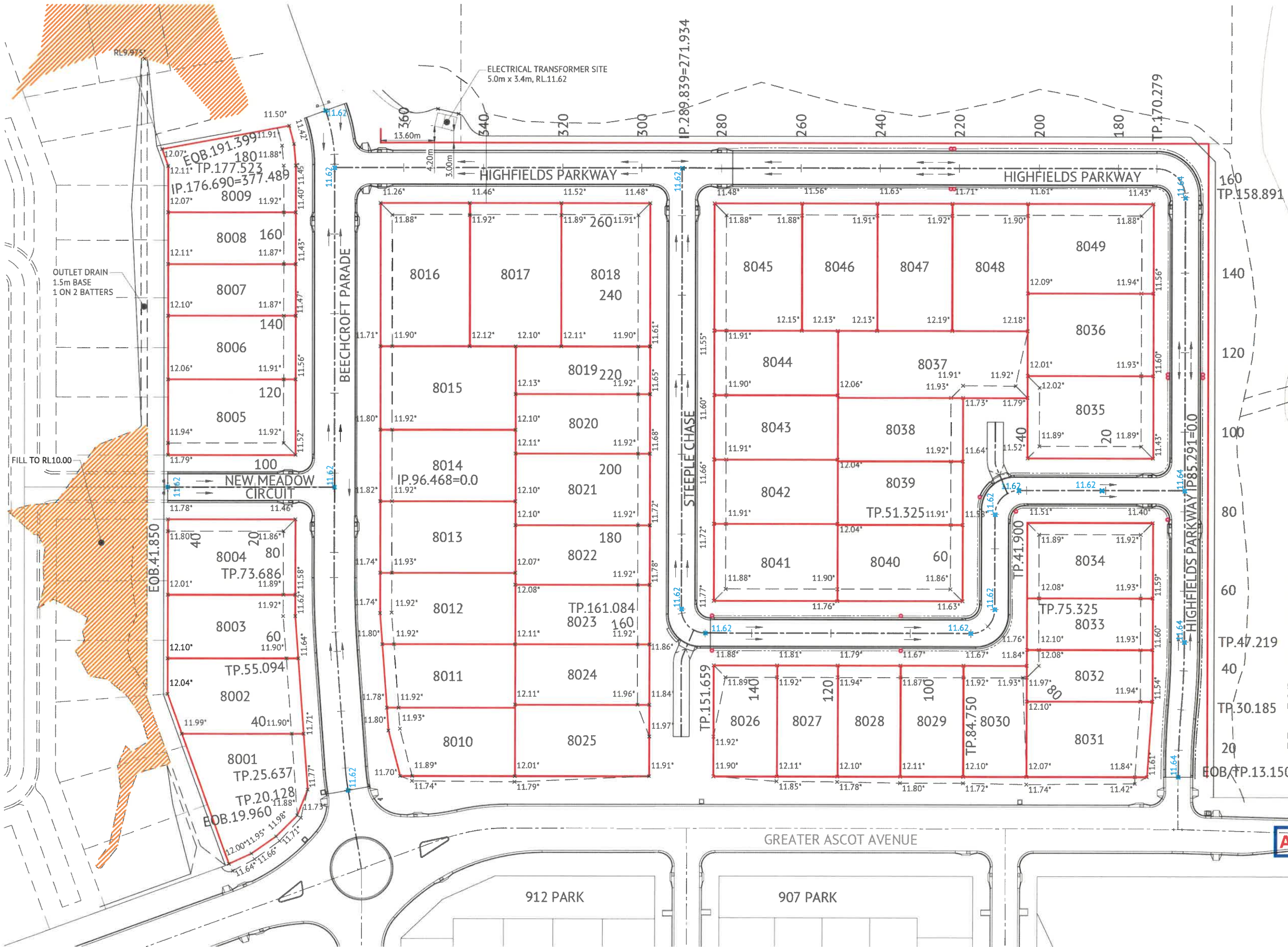
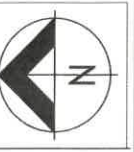
BRAZIER MOTTI PTY LTD (ACN 066 411 041), 595 Flinders Street, Townsville hereby certify that this Drawing accurately and correctly describes and records the nature and location of the works depicted by asterisks (\*) as they have been constructed for subdivision.



Director   
Date 10-06-22

Client: **PARKSIDE DEVELOPMENT PTY LTD**  
 Project: **AS CONSTRUCTED - GREATER ASCOT STAGE 801 & 802  
 GREATER ASCOT AVENUE - SHAW  
 LOCALITY PLAN, SITE PLAN & DRAWING SCHEDULE**  
 Local Authority: Townsville City Council      Locality: Shaw

Date: 8th June, 2022  
 Sheet 1 of 1 Sheets  
 Scale: AS SHOWN      A1  
 Plan No: 26700/223 A  
 braziermotti.com.au  

- EARTHWORKS LEGEND**
- 6.32\* CERTIFIED FINISHED ALLOTMENT LEVEL
  - x 6.41 DENOTES EXISTING ALLOTMENT LEVEL
  - x 6.30 DENOTES Q100 FLOOD LEVEL
  - FILL AREA TO RL10.00
  - TOP OF BATTER
  - BOTTOM OF BATTER
  - INVERT OF DRAIN
  - DIRECTION OF KERB & CHANNEL FLOW

- EARTHWORKS NOTES**
1. ALL EARTHWORKS OPERATIONS ARE UNDERTAKEN IN ACCORDANCE WITH THE PROJECT SPECIFICATION.
  2. ALLOTMENTS GRADED EVENLY BETWEEN LEVELS SHOWN. MINIMUM FINISHED ALLOTMENT GRADE 1:200.
- 1 on 5  
1.0m  
EXISTING SURFACE  
**TYPICAL BATTER TO EXISTING**  
NTS

TOWNSVILLE EARTHMOVING DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

AUTHORISED DELEGATE  
DATE 10/06/22

PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

RPEQ 13231  
DATE 14-06-22

**Accepted As Constructed**

**EARTHWORKS LAYOUT PLAN**  
SCALE 1:500

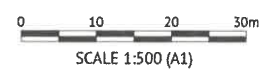
No.	Date	Details	Check
A	08.06.22	Original Issue	GEO

Level Datum: AHD (DERIVED)  
B.M. Used: PSM193061 RL11.206  
Coordinate Projection: Plane  
Coordinate Datum: Arbitrary  
Origin of Coordinates: PSM193061  
Meridian: MGA (Zone 55)  
Map Reference: 8259-31131  
Contour Interval:  
Job No: 26700-228-01  
File No: 26700\_224A.dwg

Surveyed by: BM  
Drawn: MUM  
Approved:

BRAZIER MOTTI PTY LTD (ACN 066 411 041), 595 Flinders Street, Townsville hereby certify that this Drawing accurately and correctly describes and records the nature and location of the works depicted by asterisks (\*) which they have been constructed for subdivision.

Director  
Date: 10-06-22



Client: **PARKSIDE DEVELOPMENT PTY LTD**

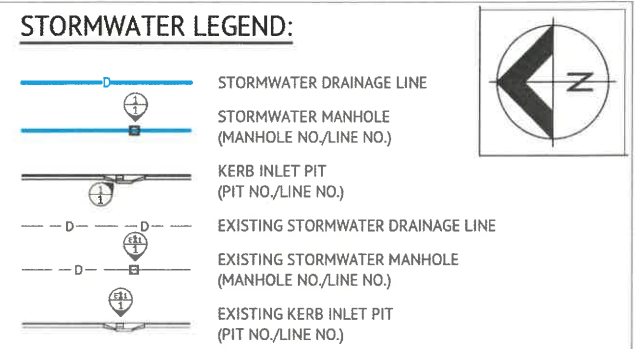
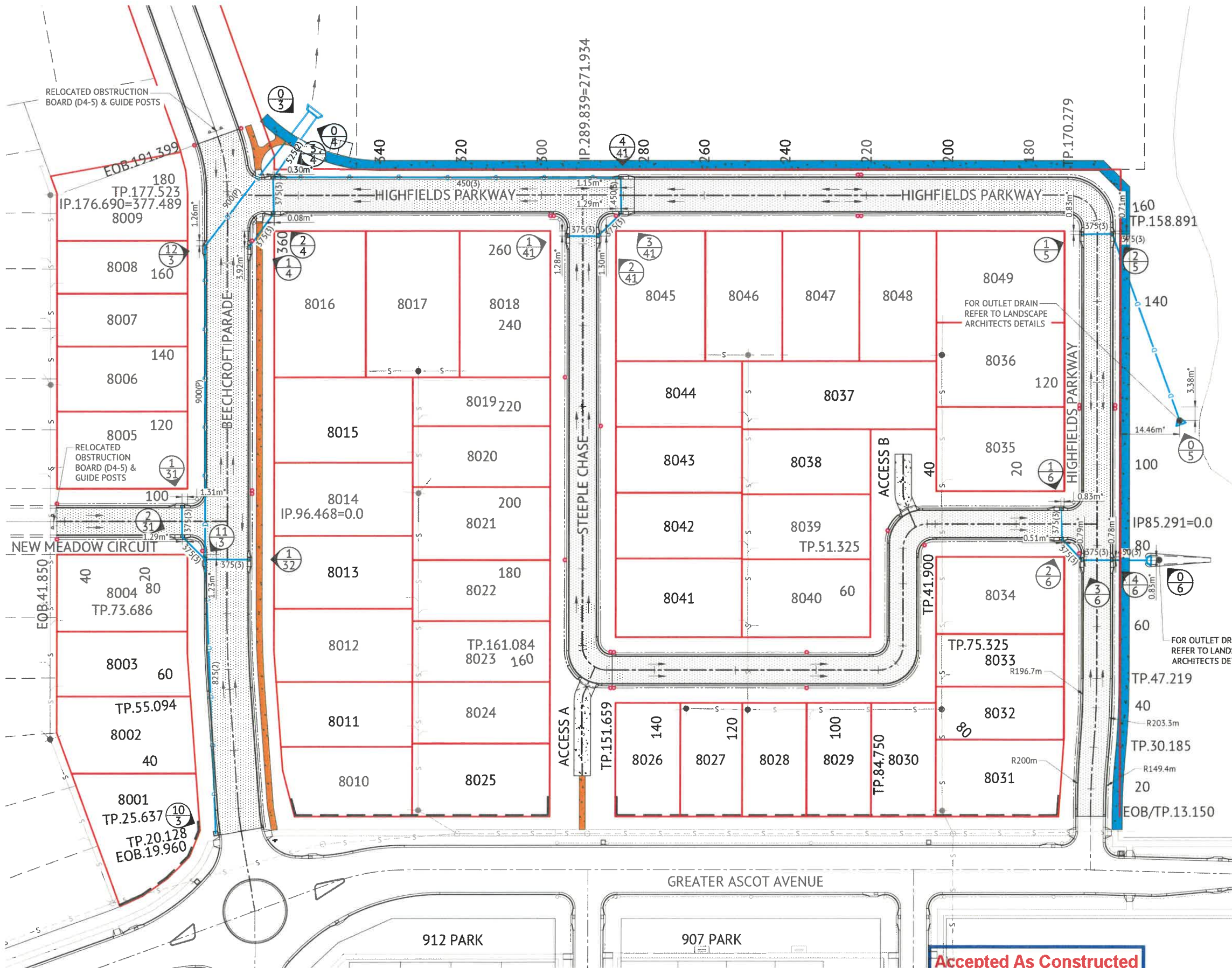
Project: **AS CONSTRUCTED - GREATER ASCOT STAGE 801 & 802 GREATER ASCOT AVENUE - SHAW EARTHWORKS LAYOUT PLAN**

Local Authority: Townsville City Council      Locality: Shaw

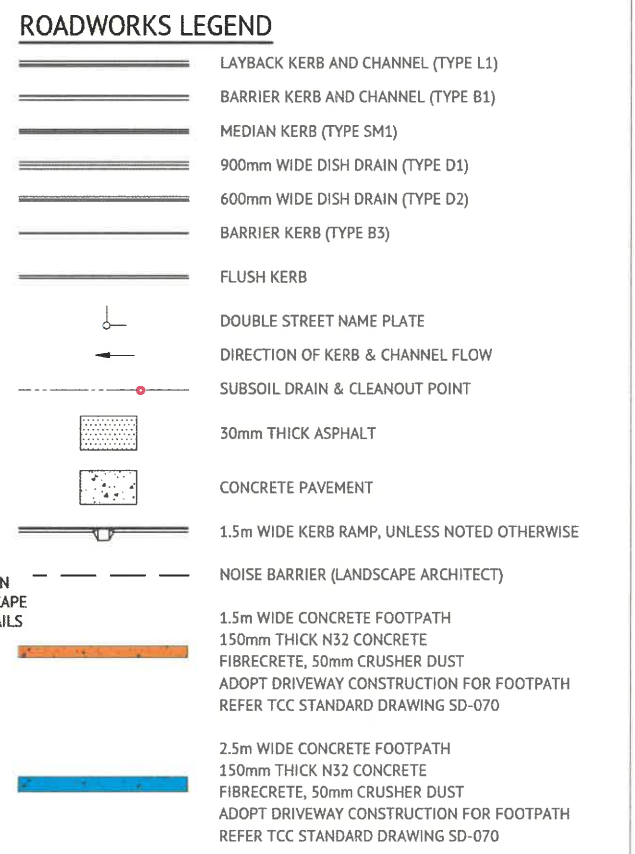
Date: 8th June, 2022  
Sheet 1 of 1 Sheets  
Scale: AS SHOWN      A1  
Plan No: 26700/224 A

braziermotti.com.au





- ### STORMWATER NOTES
- ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
  - FOR STORMWATER LEVELS, PIPE LENGTHS, PIPE CLASS AND STRUCTURE TYPES, REFER STORMWATER LONGITUDINAL DRAWINGS.
  - ALL PIPE CUTS MADE USING A MASONRY SAW.
  - ALL TRENCHES UNDER ROAD PAVEMENT BACKFILLED WITH CRUSHER DUST TO SUBGRADE LEVEL.



- ### ROADWORKS NOTES
- ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
  - ALL SUBSOIL DRAINS GRADED AT MINIMUM 0.5% FROM HIGH POINT TO OUTLET, UNLESS NOTED OTHERWISE.

PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

RPEQ: 13231  
DATE: 14-06-22

## ROADWORKS AND STORMWATER DRAINAGE PLAN

SCALE 1:500

**Accepted As Constructed**

No.	Date	Details	Check
A	08.06.22	Original Issue	GEO

Level Datum: AHD (DERIVED)  
B.M. Used: PSM193061 RL 11.206  
Coordinate Projection: Plane  
Coordinate Datum: Arbitrary  
Origin of Coordinates: PSM193061  
Meridian: MGA (Zone 55)  
Map Reference: 8259-31131  
Contour Interval:  
Job No: 26700-228-01  
File No: 26700\_225A.dwg

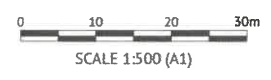
Surveyed by: BM  
Drawn: MJM  
Approved:

BRAZIER MOTTI PTY LTD (ACN 066 411 041), 595 Flinders Street, Townsville hereby certify that this Drawing accurately and correctly describes and records the nature and location of the works depicted by asterisks (\*) hereon as they have been constructed for subdivision.

Date: 10-06-22

TOWNSVILLE EARTHMOVING DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

AUTHORISED DELEGATE   
DATE: 10/06/22

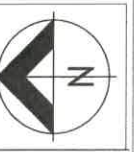


Client: **PARKSIDE DEVELOPMENT PTY LTD**  
Project: **AS CONSTRUCTED - GREATER ASCOT STAGE 801 & 802 GREATER ASCOT AVENUE - SHAW ROADWORKS AND STORMWATER DRAINAGE PLAN**  
Local Authority: Townsville City Council      Locality: Shaw

Date: 8th June, 2022  
Sheet 1 of 1 Sheets  
Scale: AS SHOWN      A1  
Plan No: 26700/225 A

braziermotti.com.au





### WATER LEGEND

- DN100 WATER MAIN AND DIAMETER
- 630D POLYETHYLENE WATER MAIN AND DIAMETER
- FH SV FIRE HYDRANT, VALVE AND REDUCER
- EXISTING WATER MAIN, VALVE AND HYDRANT

### IRRIGATION CONDUITS LEGEND

- DN100 CONDUIT
- DN100 CONDUIT

### WATER NOTES

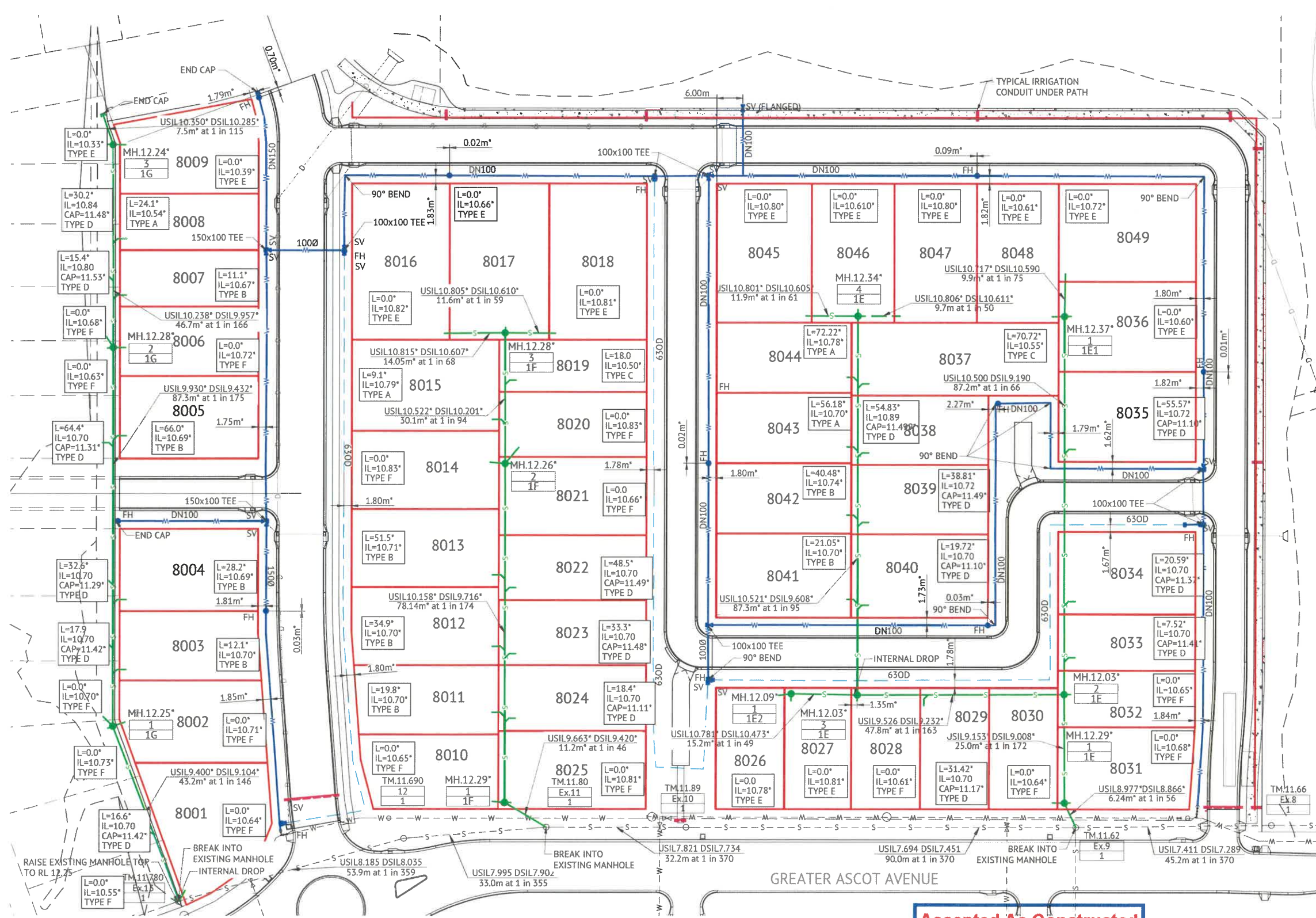
- ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND PROJECT SPECIFICATION.
- ALL WATER MAINS ARE LOCATED ON A 1.8m ±0.1m ALIGNMENT OFFSET FROM PROPERTY BOUNDARIES, UNLESS NOTED OTHERWISE.
- ALL uPVC MAINS ARE CLASS PN16 SERIES 2 COMPATIBLE TO AS 1477 RUBBER RING JOINTED, WITH SOCKETED DICL FITTINGS UNLESS NOTED OTHERWISE.
- ALL 630D MAINS POLYETHYLENE CLASS PN16 TO AS 4130.
- ALL TRENCHES UNDER ROAD PAVEMENT (INCLUDING FUTURE) BACKFILLED WITH CRUSHER DUST TO SUBGRADE LEVEL.
- CONNECTION TO EXISTING WATER MAINS CARRIED OUT BY COUNCIL AT THE CONTRACTORS EXPENSE.

### SEWER LEGEND

- D STORMWATER DRAINAGE LINE
- S SEWER MAIN AND MANHOLE (MH)
- S SEWER MAIN AND MAINTENANCE SHAFT (MS)
- DN100 SEWER HOUSE DRAIN
- S-O-S EXISTING SEWER MAIN AND MANHOLE
- MH.6.57' 1 MLO4F CERTIFIED TYPE & INDICATIVE TOP OF MANHOLE LEVEL, MANHOLE NUMBER, LINE NUMBER
- HOUSE CONNECTION (X & Y DIMENSIONS AS PER RELEVANT COUNCIL STANDARD DRAWING U.N.O.) CERTIFIED DISTANCE FROM DOWNSTREAM MANHOLE CERTIFIED INVERT LEVEL OF HOUSE CONNECTION POINT HOUSE CONNECTION TYPE TYPE A - ACROSS BOUNDARY 'SLOPE DROP' TYPE B - ACROSS BOUNDARY 'JUMP UP' TYPE C - WITHIN LOT 'DIRECT CONNECTION' TYPE D - WITHIN LOT 'JUMP UP' TYPE E - MANHOLE 'DIRECT CONNECTION' TYPE F - MANHOLE 'INTERNAL DROP' TYPE G - MAINTENANCE SHAFT CONNECTION TYPE Ex. - EXISTING HOUSE CONNECTION

### SEWER NOTES

- ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND PROJECT SPECIFICATION.
- ALL SEWERAGE MAINS LOCATED ON 1.5m ±0.1m ALIGNMENT OFFSET FROM THE PROPERTY BOUNDARIES, UNLESS NOTED OTHERWISE.
- ALL SEWERAGE MAINS DN150, UNLESS NOTED OTHERWISE.
- ALL DN150 AND DN225 SEWERAGE MAINS uPVC DWV S8, UNLESS NOTED OTHERWISE.
- ALL DN100 HOUSE DRAINS uPVC DWV S8, UNLESS NOTED OTHERWISE. (MAXIMUM LENGTH 10.0M)
- ALL TRENCHES UNDER ROAD PAVEMENT (INCLUDING FUTURE) BACKFILLED WITH CRUSHER DUST TO SUBGRADE LEVEL.
- CONNECTION/ALTERATIONS TO EXISTING SEWERAGE INFRASTRUCTURE CARRIED OUT BY COUNCIL AT THE CONTRACTORS EXPENSE.
- ALL MANHOLE INTERNAL DROP 'CORES' ARE NOT LOCATED WITHIN 150mm OF PRECAST WALL JOINTS.
- TOP OF MANHOLE LEVELS PROVIDED ARE INDICATIVE, REFER TCC STANDARD DRAWING SD-475 FOR FINISHED LEVELS OF MANHOLE COVERS.



## WATER AND SEWERAGE RETICULATION PLAN

SCALE 1:500

Accepted As Constructed

0 10 20 30m  
SCALE 1:500 (A1)

No.	Date	Details	Check
A	08.06.22	Original Issue	Geo

Level Datum: AHD (DERIVED)  
 B.M. Used: PSM193061 RL.11.206  
 Coordinate Projection: Plane  
 Coordinate Datum: Arbitrary  
 Origin of Coordinates: PSM193061  
 Meridian: MGA (Zone 55)  
 Map Reference: 8259-31131  
 Contour Interval:  
 Job No: 26700-235A-01  
 File No: 26700\_235A.dwg

Surveyed by: BM  
 Drawn: MUM  
 Approved:

BRAZIER MOTTI PTY LTD (ACN 066 411 041), 595 Flinders Street, Townsville hereby certify that this Drawing accurately and correctly describes and records the nature and location of the works depicted by asterisks (\*) insofar as they have been constructed for subdivision.

Director  
 10-06-22

TOWNSVILLE EARTHMOVING DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

Director  
 10/06/22

AUTHORISED DELEGATE  
 DATE 10/06/22

PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

RPEQ 13231  
 DATE 14-06-22

Client: **PARKSIDE DEVELOPMENT PTY LTD**

Project: **AS CONSTRUCTED - GREATER ASCOT STAGE 801 & 802 GREATER ASCOT AVENUE - SHAW WATER AND SEWERAGE RETICULATION PLAN**

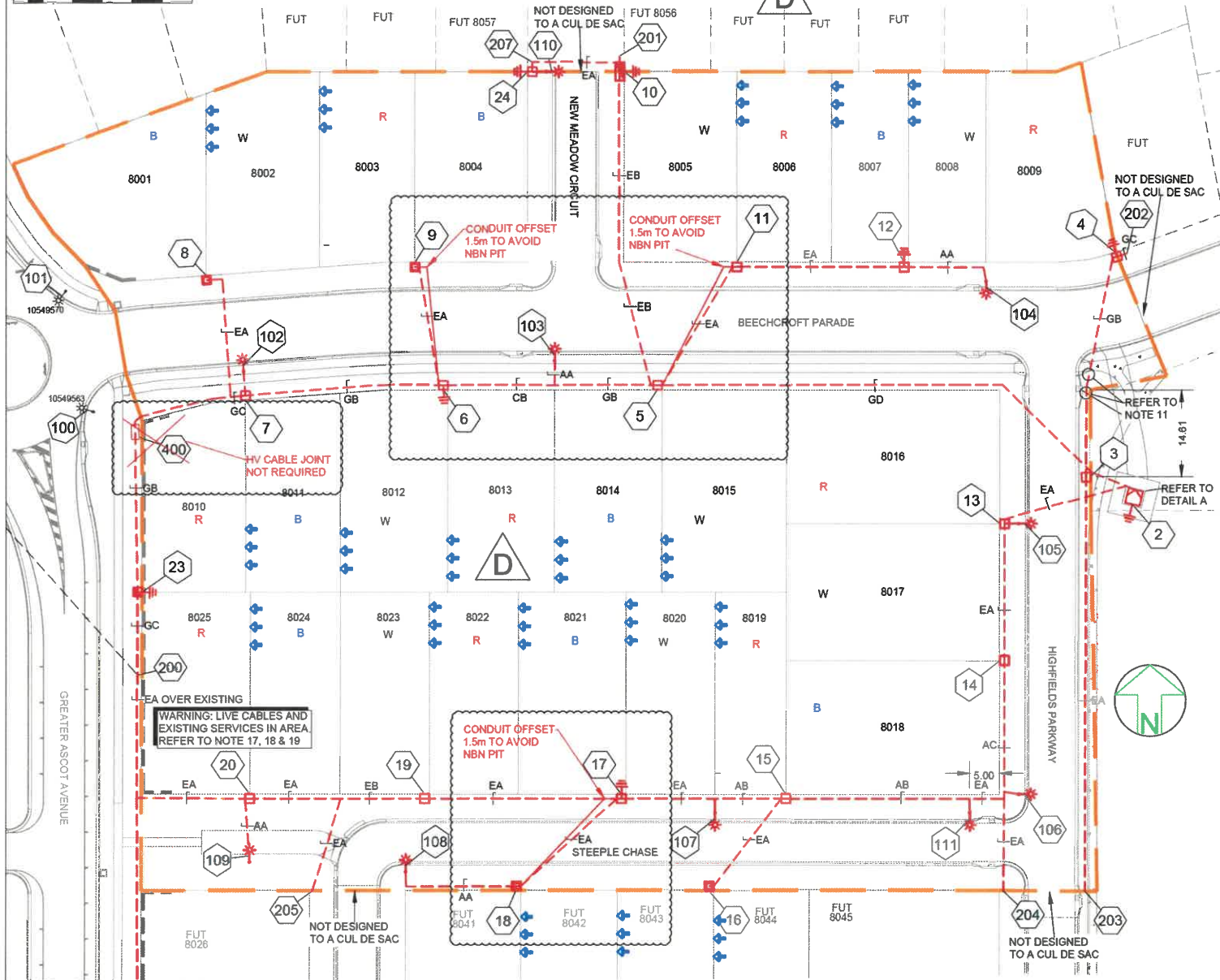
Local Authority: Townsville City Council      Locality: Shaw

Date: 8th June, 2022  
 Sheet 1 of 1 Sheets  
 Scale: AS SHOWN      A1  
 Plan No: 26700/235 A

braziermotti.com.au



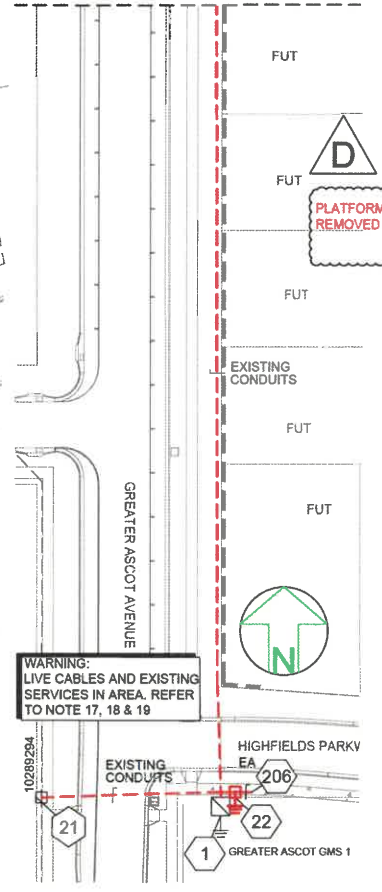
**SITE PLAN A**  
1:500 @ A1



FOR CONTINUATION REFER TO SITE PLAN A

**WORKPLAN NOTES**

- FOR STANDARD UNDERGROUND DUCT SECTIONS REFER TO UNDERGROUND CONSTRUCTION MANUAL DRAWING 5168.
- POLYMERIC COVER TO BE INSTALLED OVER CONDUITS OUTSIDE NORMAL ERGON ALIGNMENT AS PER ERGON DRAWING. 5022-1 AND 5124-1 & 2.
- STANDARD TRENCH ALIGNMENT IS 0.3 TO 0.9 METRES OFF PROPERTY ALIGNMENT SUBJECT TO LOCATION OF OTHER SERVICES. REFER TO UNDERGROUND CONSTRUCTION MANUAL DRAWING 5183 AND DRAWING 5228 FOR TRENCHES WITH NBNC<sub>0</sub> CONDUITS.
- STREETLIGHT POLE FOOTINGS SHALL BE LOCATED PERPENDICULAR TO THE KERB, AT THE PROLONGATION OF THE SIDE PROPERTY BOUNDARY, UNLESS DETAILED OTHERWISE. WHERE DIMENSIONS ARE SHOWN, THEY TAKE PRECEDENCE OVER GRID COORDINATES.
- ALL CONDUITS SHALL BE CONTINUOUS UNLESS DETAILED OTHERWISE.
- FOR STANDARD UDC CONSTRUCTION PRACTICES REFER TO UNDERGROUND CONSTRUCTION MANUAL DRAWINGS 5022, 5085 AND 5124.
- INSTALLATION OF PADMOUNT SUBSTATION REQUIRED IN ROAD RESERVE IN THE PARK, STATION 2. PADMOUNT SITE IS TO BE 2.5m x 2.5m WITH A RAISED PLATFORM. REFER TO UNDERGROUND CONSTRUCTION MANUAL DWG 5300-4/2-5000
- DEVELOPER SHALL INSTALL SUBSTATION PLINTH AND CONCRETE SURROUND. REFER TO UNDERGROUND CONSTRUCTION MANUAL DWG 5085-4 TO 15.
- INSTALL PADMOUNTED SUBSTATION EARTHING - COMMON EARTH ARRANGEMENT. REFER TO UNDERGROUND CONSTRUCTION MANUAL DRAWING 5013.
- 2 x 125mm HV CONDUITS INSTALLED ACROSS ROAD FROM STN 200, 1 x SPARE AND 1 x CABLE. CONTRACTOR TO REQUEST SAFETY ADVICE BEFORE CUTTING INTO EXISTING CONDUIT AT STN 200 TO CONNECT TO NEW CONDUIT FROM STN 2. CONDUIT SHOULD BE SCALLOPED AND PROVEN TO ENSURE DIRECT LINE FROM STN 1.
- WHERE NOTED ON THE DESIGN, ELECTRICAL CONDUITS SHALL BE INSTALLED UNDERNEATH STORMWATER PIPES WHERE CLASHES OCCUR. SEPARATION FROM BOTTOM OF STORMWATER PIPE TO TOP OF ERGON CONDUIT SHALL BE NO LESS THAN 300mm.
- THERE ARE 7 x 17W LED SYLVANIA STREET & 3 x 28W LED SYLVANIA STREETLED, MINOR ROAD STREETLIGHTS ON RATE 2.
- STREETLIGHT DESIGN TO AS1158 CATEGORY P4.
- MINOR STREETLIGHTS - THE DEVELOPER SHALL SUPPLY AND INSTALL STREETLIGHT BASES. FOUNDATION DEPTH IS 1200mm FOR MINOR STREETLIGHTS. REFER TO LIGHTING CONSTRUCTION MANUAL DRAWING 1-8-4-1 & 2. CENTRELINE OF STREETLIGHT SHALL BE 1.05m FROM BACK OF KERB. WHERE THE ROAD IS UN-KERBED OR THERE IS A FLUSH KERB, CENTRELINE OF STREETLIGHT SHALL BE 1.3m FROM THE OUTER EDGE OF THE BITUMEN.
- THE LIGHTING DESIGN INCLUDES AN ALLOWANCE FOR CONSTRUCTION TOLERANCE OF LIGHT POLES SUCH THAT ANY STREETLIGHT CAN BE POSITIONED UP TO A MAXIMUM OF ±350mm LONGITUDINALLY FROM THE POSITION SHOWN AND UP TO 100mm MAXIMUM FURTHER AWAY FROM KERB EDGE, INCLUDING POLES WITH GRID COORDINATES, AND STILL MAINTAIN COMPLIANCE.
- CONFIRM ALL CONDUIT AND CABLE LENGTHS PRIOR TO INSTALLATION.
- IN ACCORDANCE WITH ELECTRICAL SAFETY ACT, A SAFETY OBSERVER MUST BE PRESENT AT ALL TIMES WHEN WORKING IN THE VICINITY OF ENERGISED CABLES. CONTACT ERGON ENERGY ON 131048.
- ALL CONTRACTORS MUST CARRY OUT A DIAL BEFORE YOU DIG ENQUIRY BEFORE COMMENCING ANY EXCAVATION.
- WARNING: LIVE CABLES AND EXISTING SERVICES IN AREA. CONTRACTOR TO USE POT HOLING, HYDRO-VAC EXCAVATION AND CABLE LOCATION WHEN INSTALLING NEW INFRASTRUCTURE.
- WHERE SHOWN, 35mm sq ANNEALED BARE Cu EARTH SHALL BE INSTALLED AT BOTTOM OF TRENCH, IN NATURAL SOIL, BELOW BEDDING SAND. LOCATED A MINIMUM OF 50mm HORIZONTALLY TOWARDS PROPERTY BOUNDARY FROM CONDUITS (HV OR LV) INSTALLED ON PROPERTY BOUNDARY SIDE OF TRENCH. COIL 2m OF CABLE AT SPECIFIED STATIONS IN THE CONDUIT DUCTING SCHEDULE AND ALL REQUIRED JOINTS FOR CONNECTION BY ELECTRICAL CONTRACTOR. THE USE OF THE EARTH ROD CONNECTOR (U-BOLT, IIN. 0719437) IS NOT ACCEPTABLE FOR CONDUCTOR / CABLE TO CONDUCTOR / CABLE CONNECTIONS. IN ADDITION PARALLEL GROOVE CLAMPS ARE NOT ACCEPTABLE FOR JOINING OR CONNECTING EARTHS BELOW GROUND LEVEL. ACCEPTABLE METHODS SHALL BE EITHER A CRIMP LINK OR A 'C' TYPE COMPRESSION CONNECTOR. CRIMP LINKS AND 'C' TYPE COMPRESSION CONNECTORS ARE AVAILABLE FROM ERGON ENERGY STORES IIN. 0157746 AND IIN. 2408222 RESPECTIVELY.
- ELECTRONIC CABLE MARKERS (ECMs) ARE TO BE SUPPLIED BY THE ELECTRICAL CONTRACTOR AND ARE REQUIRED AT ENDS OF ALL SPARE CONDUITS AND AT ALL CABLE JOINTS. ECM'S SHALL BE PLACED 150mm ABOVE THE LINE OF CONDUIT FOR CABLE JOINTS AND 150mm ABOVE THE LINE OF CONDUIT FOR SPARE CONDUITS. ECM'S ARE RECOVERABLE AND SHALL BE REMOVED AND RETURNED TO THE ELECTRICAL CONTRACTOR WHEN ALL SPARE CONDUIT ENDS ARE REMOVED FROM A LOCATION.
- ADDITIONAL CONDUIT BENDS SHALL BE INSTALLED TO ACHIEVE INCREASED BURIAL DEPTH AT ROAD CROSSINGS. REFER TO UNDERGROUND CONSTRUCTION MANUAL DRAWING 5022.
- PARALLEL FEED FROM STN 10 TO 2. BOTH CABLES ARE TO BE TERMINATED TOGETHER AT BOTH ENDS. PARALLELING KIT REQUIRED AT STN 10 & 2.
- INSTALL PILLAR OFFSET IN ACCORDANCE WITH ERGON DRAWING 5196-2. IF DRIVEWAY ACCESS IS LOCATED WITHIN 1m OF PILLAR THEN BOLLARDS WILL BE REQUIRED AS PER ERGON UNDERGROUND MANUAL. REFER TO DETAIL B.
- CONTRACTOR TO SUPPLY AND INSTALL ENGRAVED LABEL LOCATED ON LIGHTING TERMINAL STATING "LIGHT FED FROM PILLAR ASSET NUMBER".
- WHERE REQUIRED CONTRACTOR TO INSTALL JOINT AT STN 400. CONTRACTOR TO MONITOR PULLING TENSIONS TO DETERMINE IF JOINT REQUIRED.
- EXISTING CONDUITS INSTALLED AT EXISTING RMU. CONTRACTOR TO INSTALL PILLAR ADJACENT EXISTING RMU STN 1 AND CONNECT EXISTING CONDUITS INTO NEW PILLAR WITH BENDS.
- 'ZA TRENCH SECTION' DENOTES 2 x 40mm STREET LIGHTING CONDUITS.
- INSTALLATION OF DISTRIBUTION CABINET REQUIRED IN ROAD RESERVE ADJACENT TO LOT 7, STATION 7. CABINET SITE IS TO BE 850mm x 300mm. REFER TO ERGON DWG VC115120-ERG.
- DEVELOPER SHALL INSTALL DISTRIBUTION CABINET FOUNDATION. REFER TO UNDERGROUND CONSTRUCTION MANUAL DRAWINGS-ASSEMBLY- 534 & 535.



**SITE PLAN B**  
1:500 @ A1

FOR CONTINUATION REFER TO SITE PLAN B

**SPA LIGHTING DESIGN COMPLIANCE CERTIFICATE**

THIS LIGHTING DESIGN COMPLIES GENERALLY WITH THE NOMINATED CATEGORIES OF AS1158 FOR RATE 1 AND RATE 2 LUMINAIRES.

NAME: JANE ERREY TITLE: SENIOR ELECTRICAL ENGINEER  
RPEQ: 6863

LIGHTING CATEGORIES: LOCAL COUNCIL: TOWNSVILLE CITY COUNCIL  
LUMINAIRE UPCAST: 0 DEGREES UPCAST ANGLE  
MAINTENANCE FACTOR: 0.75

THE DESIGN ASSUMES MAINTENANCE FACTORS OF 0.7 FOR MINOR ROAD LIGHTING AND 0.75 FOR MAJOR ROAD LIGHTING. THESE MAINTENANCE FACTORS ARE BASED ON THE FOLLOWING MAINTENANCE SCHEDULE, WHICH MIGHT NOT NECESSARILY BE ADOPTED BY ERGON.

- LAMPS SHALL BE REPLACED AT 36-MONTH INTERVALS.
- ALL THAT TIME, LUMINAIRES SHALL BE CLEANED, INSPECTED AND MAINTAINED.
- VEGETATION SHALL BE KEPT CLEAR OF STREET LIGHTS.
- INSPECTION PATROLS AND SPOT LAMP REPLACEMENT SHALL MAINTAIN SERVICE AVAILABILITY AT NO LESS THAN 95%.
- LUMINAIRES AND LAMPS SHALL BE REPLACED WITH EXACT EQUIVALENTS.

ALL LIGHTING CALCULATIONS ARE AVAILABLE UPON REQUEST.

FOR LIGHTING ARRANGEMENT, SPACINGS, MOUNTING HEIGHTS, OUTREACH DETAILS AND SIGNIFICANT ROAD FEATURES, REFER TO DRAWING.

STN NO	SITE LABEL	POLE ALIGNMENT	POLE SETTING DEPTH	ACTION	CONSTRUCTION CLASS	CONSTRUCTION CODE	DRAWING NUMBER	POSITION ON POLE	REMARKS
1	10289280			INSTALL - ERGON	HV CABLE TERMINATION	11 PM/CTC/ASL/185T	5245		ERGON ENERGY TO INSTALL HV CABLE TERMINATION FOR CABLE STN 1 TO 2.
21	11896898			INSTALL - ERGON	PILLAR UPGRADE	LV PNU2-3/240/N	5074		ERGON ENERGY TO UPGRADE PILLAR TO 3-WAY IN THIS STAGE AND TERMINATE CABLE FROM STN 21 TO 22.

Code	Date	Description	Revised	Code	Date	Description	Revised
D	27/8/22	AS CONSTRUCTED		SW			
C	18/3/22	ADDED STN 10 & 24		SW			
B	15/12/21	SITE LABELS ADDED		SW			
A	6/12/21	FOR CONSTRUCTION		SW			

**spa consulting engineers**  
Simon Perkins & Associates

Client: PARKSIDE DEVELOPMENT PTY LTD  
PO Box 4018 KIRWAN, QLD. 4817 Ph: 07 4431 2690 Fax: [redacted]  
CIVIL ENGINEER PREMISE (TOWNSVILLE)  
PO Box 1110, TOWNSVILLE, QLD. 4810 Ph: 074772 0666 Fax: [redacted]

Tel: (07) 4032 3311 Fax: (07) 4032 5633  
PO Box 964 North Cairns QLD 4870  
Email Address: admin@spaconline.com.au  
A business unit of SPA Consulting Engineers (QAS) Pty Ltd. a/c. 002484918

**LV PULLING TENSION CALCULATED AND RECORDED**

STATION FROM	STATION TO	CALCULATED	RECORDED
22	23	2,194.98 N	N
2	10	3,005.49 N	N

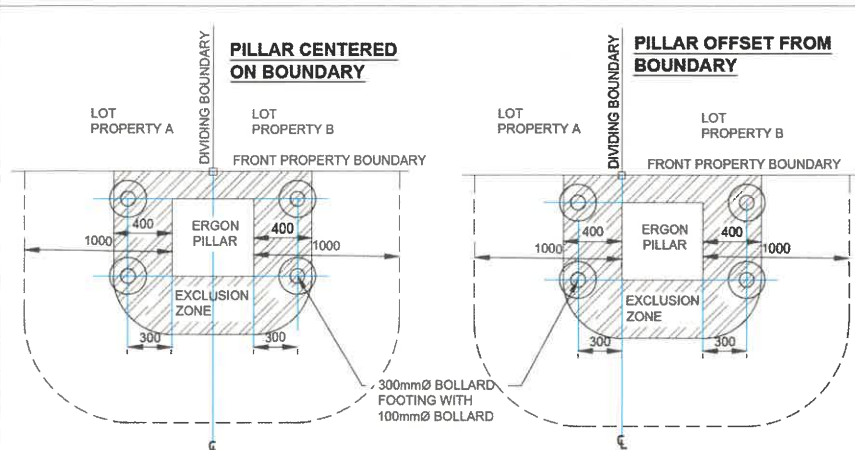
**HV PULLING TENSION CALCULATED AND RECORDED**

STATION FROM	STATION TO	CALCULATED	RECORDED
1	2	16,185.63 N	N
1	400	3,397.71 N	N
400	2	5,196.92 N	N

HV CABLE JOINT NOT REQUIRED

HV CABLE JOINT NOT REQUIRED



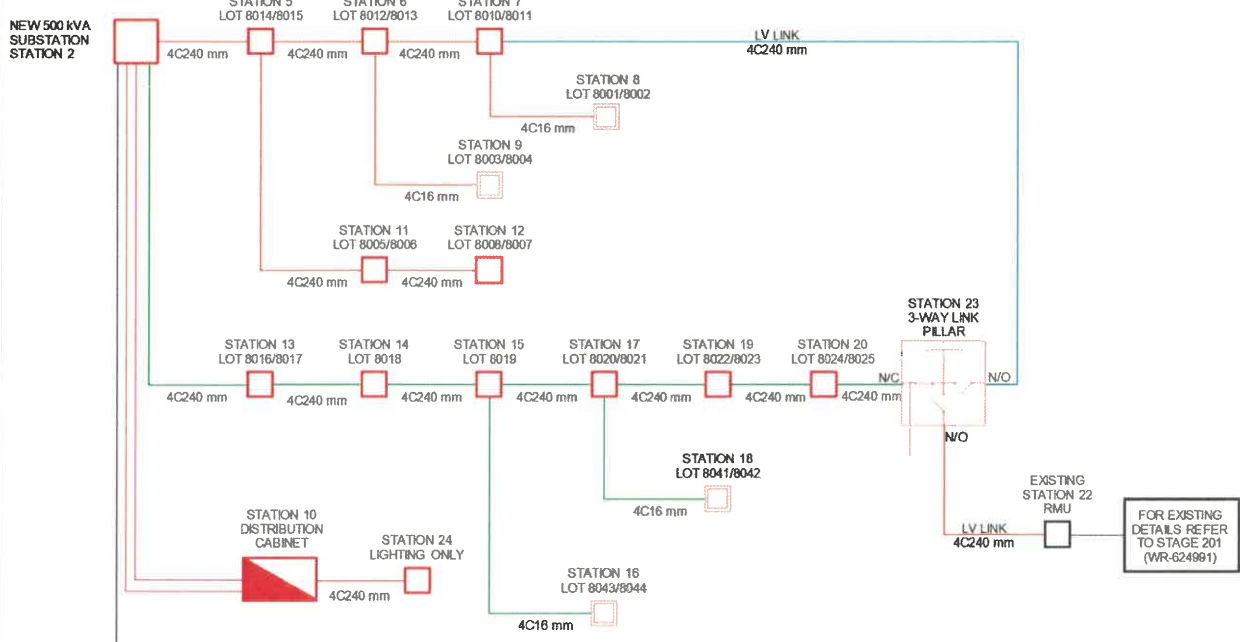


**DETAIL B: PILLAR ON BUILD TO BOUNDARY LOTS**

- PILLAR TO BE INSTALLED OFFSET FROM PROPERTY BOUNDARY TOWARD ADJACENT LOT, UNLESS DRIVEWAY ACCESSES FOR BOTH LOTS ARE LOCATED ON THE COMMON BOUNDARY.
- EDGE OF PILLAR CANNOT BE LOCATED MORE THAN 100mm FROM PROPERTY BOUNDARY PEG.
- DRIVEWAY ACCESS TO LOTS CANNOT BE LOCATED WITHIN 1m OF THE EDGE OF PILLAR, OR SAFETY BOLLARDS MUST BE INSTALLED, AS SHOWN.

<b>AS CONSTRUCTED</b>	
ON COMPLETION, MARK UP THIS PRINT CLEARLY WITH ALL FINAL CHANGES AND RETURN TO PROJECT MANAGER	
CHANGES:	YES/NO
<b>ELECTRICAL CONTRACTOR</b>	
NAME:	Powerlines Plus
SIGNATURE:	Mark Ahern
DATE:	27/8/22
<b>CIVIL CONTRACTOR</b>	
NAME:	Townsville Earth Moving
SIGNATURE:	Michael Brosnan
DATE:	27/8/22

**LV SCHEMATIC**



Code	Date	Description	Revised	Code	Date	Description	Revised
C	27/8/22	AS CONSTRUCTED		SW			
B	18/3/22	ADDED STN 10 & 24		SW			
A	6/12/21	FOR CONSTRUCTION		SW			

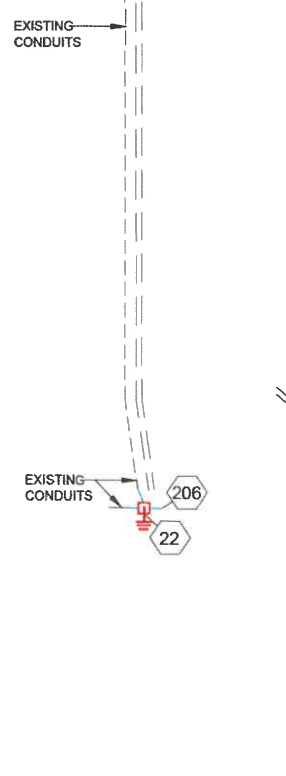
CLIENT: PARKSIDE DEVELOPMENT PTY LTD  
 PO Box 4018, KIRWAN, QLD, 4817  
 Ph 07 4431 2690 Fax  
 CIVIL ENGINEER: PREMISE (TOWNVILLE)  
 PO BOX 1110, TOWNVILLE, QLD 4810  
 Ph 074772 0666 Fax



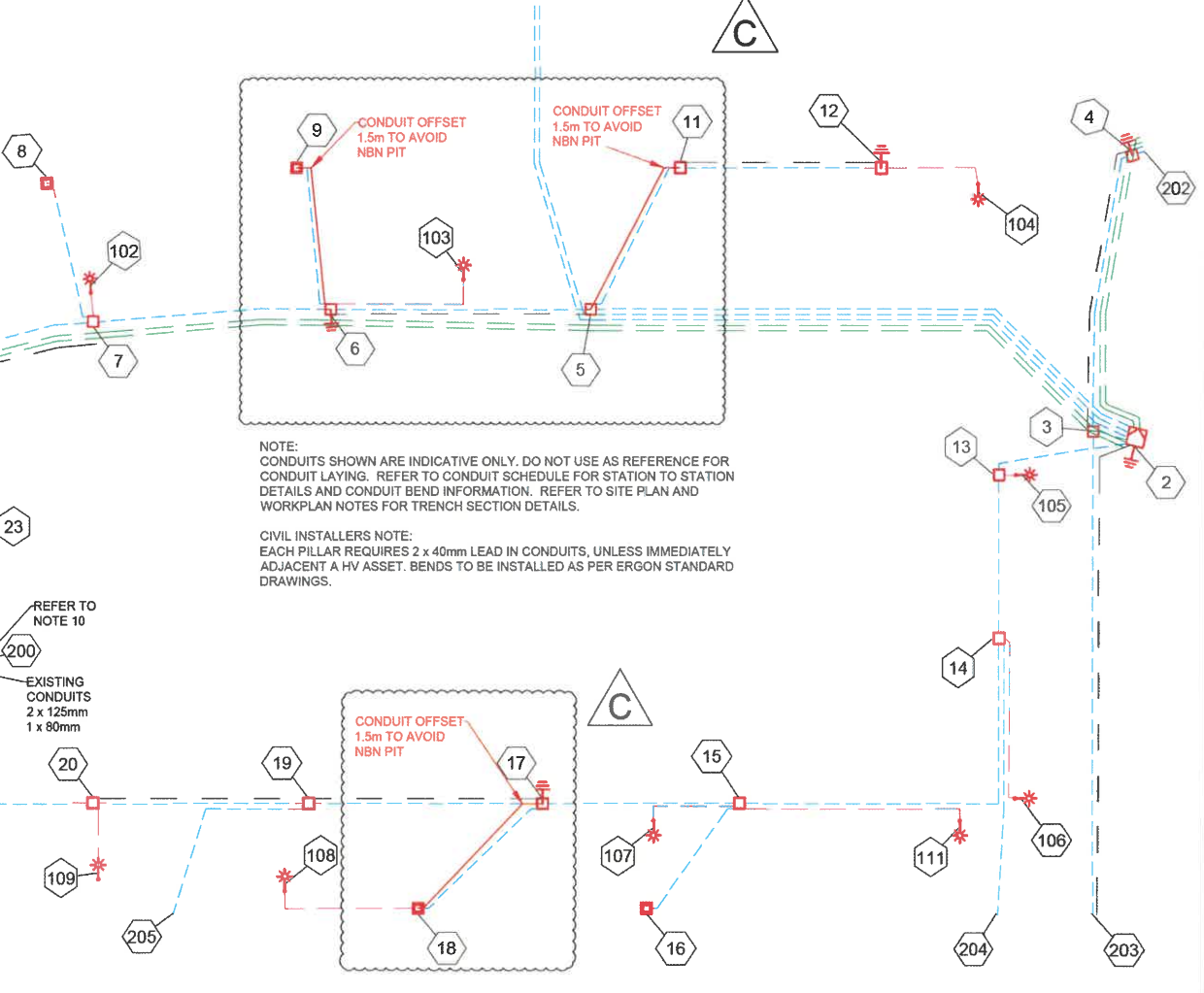
**LEGEND**

---	CABLE EXISTING	□	SUBSTATION
---	CABLE PLANNED	□	COMMERCIAL/ INDUSTRIAL PILLAR
---	CABLE RECOVER	□	DISTRIBUTION CABINET
---	LV DUCT	□	STREETLIGHT
---	LIGHTING DUCT	□	LV ISOLATING DEVICE
---	35mm sq ANNEALED BARE COPPER EARTH	□	NORMAL PILLAR
---		□	CROSS ROAD PILLAR
---		□	LINKING PILLAR

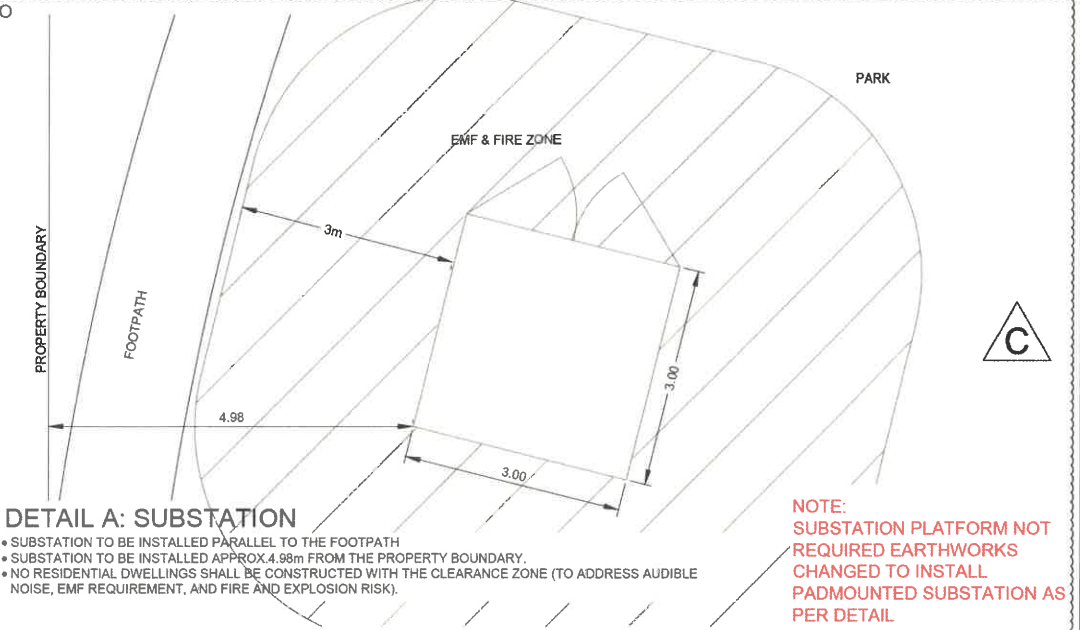
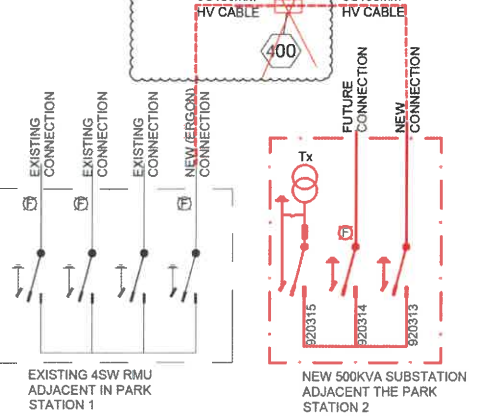
**CONDUIT SCHEMATIC: B**



**CONDUIT SCHEMATIC: A**



**HV SCHEMATIC**



**DETAIL A: SUBSTATION**

- SUBSTATION TO BE INSTALLED PARALLEL TO THE FOOTPATH
- SUBSTATION TO BE INSTALLED APPROX 4.98m FROM THE PROPERTY BOUNDARY.
- NO RESIDENTIAL DWELLINGS SHALL BE CONSTRUCTED WITH THE CLEARANCE ZONE (TO ADDRESS AUDIBLE NOISE, EMF REQUIREMENT, AND FIRE AND EXPLOSION RISK).

**NOTE:** SUBSTATION PLATFORM NOT REQUIRED EARTHWORKS CHANGED TO INSTALL PADMOUNTED SUBSTATION AS PER DETAIL

<b>Drawing Title</b>		Date	OCTOBER 2021
GREATER ASCOT STAGE 801 UDC UG ELECTRICAL RETICULATION SCHEMATIC DIAGRAMS AND DETAIL A & B		Scale	N.T.S
Project Description		Drawn	SW
GREATER ASCOT ESTATE SHAW		RPEQ Design Certification	Jane Emery 6863
		Sheet	3 OF 3
		ERGON Project Number	SPA Drawing Number
		1710387	3482-E02
		Revision	C

any use of this drawing is forbidden without the company's consent

**STANDARD DESIGN NOTES:**

- THERE ARE A TOTAL OF 25 SINGLE RESIDENTIAL DWELLING LOTS.
- REFER TO SPA DRAWING 3482-E01. FOR COORDINATION WITH THE ELECTRICAL DESIGN.

**LEGEND**

PIT-ID 2	NBN Co PIT TYPE 2 PLASTIC PIT OR SIMILAR	ZERO LOT PROPERTY BOUNDARY
PIT-ID 5	NBN Co PIT TYPE 5 PLASTIC PIT OR SIMILAR	SHARED TRENCH
PIT-ID 6	NBN Co PIT TYPE 6 PLASTIC PIT OR SIMILAR	TRANSFORMER / KIOSK / PAD MOUNT SUB-STATION / POLE MOUNT TRANSFORMER
PIT-ID 8	NBN Co PIT TYPE 8 PLASTIC PIT OR SIMILAR	END CAP CONDUIT WITH STATION NO.
5	EXISTING TELSTRA PIT (2,3,4,5,6,7,8,9)	CAP SERVICE CONDUIT (P50/P20) P20=P23 mm NBNCo SERVICE CONDUIT
PIT-ID 8	EXISTING NBN Co PIT	LOCAL CONDUIT (P100/P50)
- - -	EXISTING CONDUIT	NBNCo STAGE BOUNDARY

**SDU Development Information**

Development Name:  
Greater Ascot

Developer Company:  
Parkside development Pty Ltd

Development Address:  
Greater Ascot Avenue, Shaw

Authorised Rep:  
SPA Consulting Engineers (Qld) Pty Ltd  
Phone: 074 7283026  
E-Mail: admin@spaconsulting.com.au

nbn Reference Number: STG-M000062824  
Stage Number: 801  
Design Revision: A

**BILL OF MATERIAL**

NO OF LOTS: 25

SIZE	QTY	SIZE	QTY	MTRS
2	5	P100	14	506.9
5	9	P50	5	129.6
6	0	P20	25	178.5
8	2			
9	0			

TOTAL NUMBER OF PITS: 16  
TOTAL NUMBER OF MANHOLES: 0  
TOTAL NUMBER OF CONDUITS: 44  
TOTAL LENGTH OF CONDUITS: 815

**CONDUIT CONFIGURATION**

CONDUITS AND DUCTS ARE IN LAYER:  
< L480 NBN Support - Underground >  
AND TERMINOLOGY CATEGORISED INTO TWO GROUPS IN  
THE DRAWINGS AS PER BELOW:

1- DUCT USED WITH LOCAL NETWORK  
2- CONDUIT USED WITH LEAD-IN DROPS

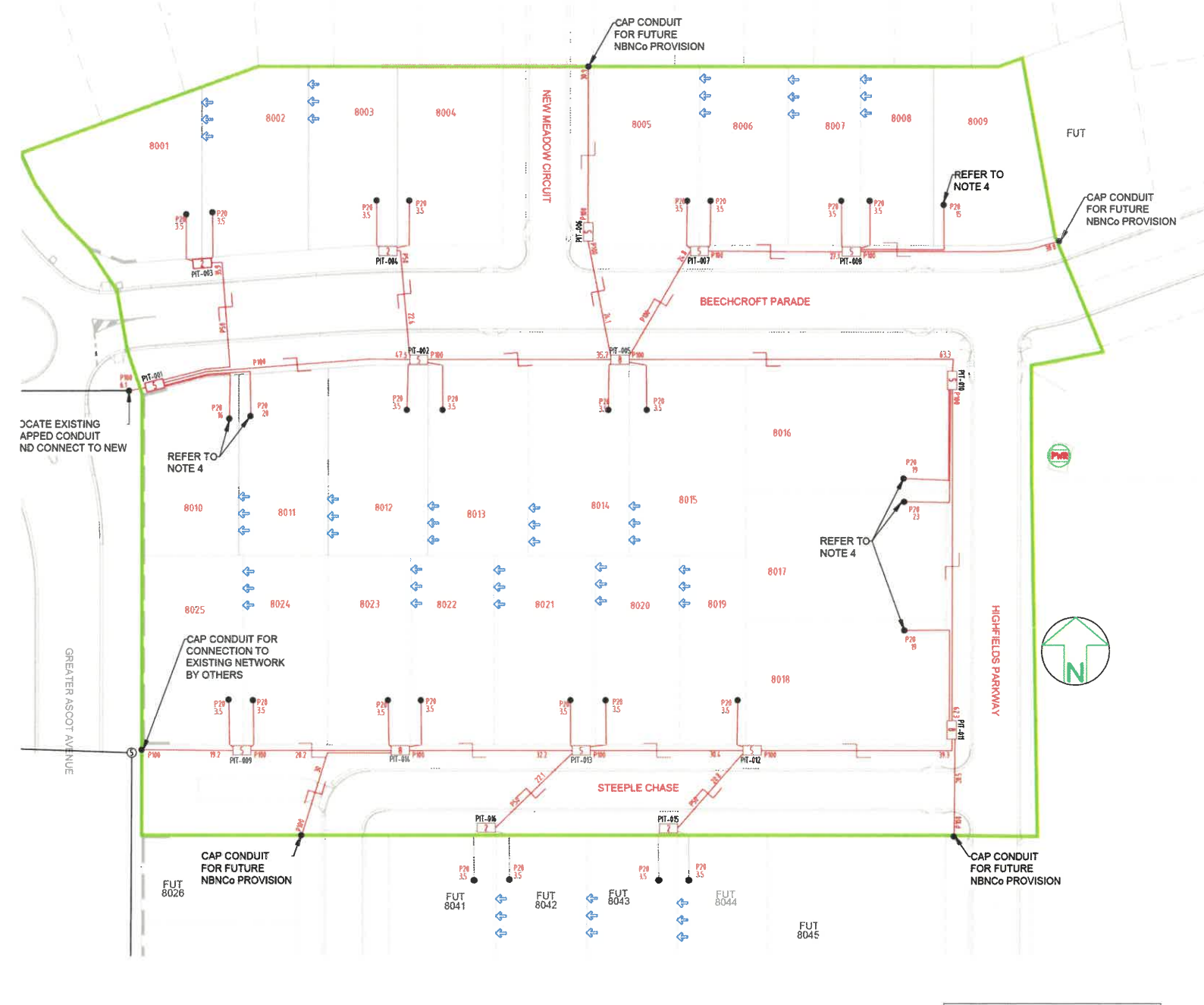
ATTRIBUTES ATTACHED TO CONDUITS ARE AS SHOWN

**NOTE:**

- P100 HAS AN INTERNAL DIAMETER OF 104.9 mm AND A MINIMUM WALL THICKNESS OF 4.5 mm
- P50 HAS AN INTERNAL DIAMETER OF 53 mm AND A MINIMUM WALL THICKNESS OF 3.1 mm
- P20 HAS AN INTERNAL DIAMETER OF 23.3 mm AND A MINIMUM WALL THICKNESS OF 1.4 mm

**STANDARD CONSTRUCTION NOTES:**

- REFER TO NBN Co DOCUMENT NO. NBN-TE-CTO-194 (DEPLOYMENT OF THE NBN Co CONDUIT AND PIT NETWORK - GUIDELINES FOR DEVELOPERS) FOR DETAILED CONSTRUCTION SPECIFICATION.
- MULTIPLE 15° CONDUIT BENDS TO BE USED TO SWING IN AND OUT OF THE STANDARD TRENCH ALIGNMENT AND ENTER THE NARROW ENDS OF THE PIT.
- PITS TO INCLUDE LID GASKET TO PREVENT DIRT ENTRY AND SPREADER BARS TO PREVENT PIT BUCKLING DURING BACKFILL / GROUND COMPACTION. PIT LIDS TO BE EMBOSSED WITH 'NBN' AND COMPLY AS PER CLAUSE 5.3.2 OF THE ABOVE NBN Co DOCUMENT.
- SERVICE CONDUITS TO EXTEND 1m INSIDE THE FRONT PROPERTY BOUNDARY. REFER EXTENDED SERVICE CONDUIT DETAIL FOR DISTANCES FROM DIVIDING PROPERTY BOUNDARY FOR BOUNDARIES WITHOUT PIT. CONTRACTORS TO TIE TELECOMMUNICATIONS CAUTION TAPE TO END OF SERVICE CONDUITS AND EXTEND TO ABOVE GROUND LEVEL FOR FUTURE CONDUIT LOCATION.
- ALL CONDUITS TO ENTER AND EXIT AT NARROW ENDS OF PITS ONLY. LOCATE CONDUITS AS CENTRALLY IN PIT END WALLS AS POSSIBLE. CONDUITS SHALL NOT BE INSTALLED WITHIN 50 mm OF ANY CORNER OF THE PIT. MINIMUM SEPARATION BETWEEN CONDUITS TO BE 25 mm. INSTALL CONDUITS AND CONDUIT COLLARS (BUSHES) TO BE SQUARE AND FLUSH WITH THE PIT END WALL. REFER TO THE PIT END WALL DETAILS IN THIS DESIGN FOR ADDITIONAL REQUIREMENTS.
- MINIMUM COVER TO BE: 300 mm FOR SERVICE DROP CONDUITS, 450 mm IN VERGE, 600 mm UNDER LOCAL ROADS, AND 800 mm UNDER MAIN ROADS.
- CONDUITS ARE TO BE CLEANED AND PROVEN USING A MANDREL. AFTER TESTING INSTALL A SUITABLE DRAW ROPE TO ALL CONDUITS AND CAP CONDUIT ENDS. SEAL CONDUITS AT PIT TO PREVENT ENTRY OF DUST AND MOISTURE. SERVICE CONDUIT DRAW ROPES TO BE ADDITIONALLY FITTED WITH A PLASTIC LABEL AT PIT END, IDENTIFYING LOT NUMBER AND DISTANCE / DIRECTION FROM BOUNDARY.
- INSTALL NON CONDUCTIVE (METAL FREE) MARKER TAPE ABOVE ALL NBN Co CONDUITS, 300 mm BELOW FINISHED GROUND LEVEL. INSTALL METALLIC KERB MARKERS AT ROAD CROSSINGS.
- REFER TO ERGON ENERGY STANDARD DRAWINGS 5228 AND 5168 SHEETS 1 TO 3 FOR SHARED TRENCH CROSS SECTIONS.
- GRADE TOP OF PIT TO MATCH VERGE / FOOTPATH.
- WHERE REQUIRED, SUPPLY AND INSTALL SERVICE AND ROAD CROSSING CONDUITS SHOWN IN THE SITE PLAN.
- WHERE CONDUIT BURIAL DEPTH IS LESS THAN THAT SPECIFIED IN THE NBN Co DEPLOYMENT OF CONDUIT AND PIT NETWORK GUIDELINES, SUPPLY AND INSTALL CONCRETE COVER (FOR VERGE AND FOOTPATH) / CONCRETE ENCASEMENT (FOR ROADWAYS) ENSURE THAT MINIMUM SEPARATION TO ALL OTHER SERVICES ARE MAINTAINED.
- SUPPLY AND INSTALL ADDITIONAL DEVIATING CONDUIT BENDS TO ACHIEVE THE INCREASED / DECREASED BURIAL DEPTH REQUIRED TO AVOID CLASH WITH OTHER SERVICES.



LAYOUT PLAN  
SCALE 1:500 @ A1

**AS-BUILT**

**SAFETY FIRST**  
SAFETY STARTS WITH YOU

ON COMPLETION, MARK UP THIS PRINT CLEARLY WITH ALL FINAL CHANGES AND RETURN TO PROJECT MANAGER

CHANGES: YES/NO

**CIVIL CONTRACTOR**

NAME: TOWNSVILLE EARTH MOVING

SIGNATURE: MICHAEL BROSANAN

DATE: 2/6/22

**STAFF WORKING ON THIS ESTIMATE PLEASE NOTE:**

The location of other authorities services which may affect this work have not been obtained by the estimator. Constructor to obtain service information before commencing.



REV	DATE	DRAFTER	DESCRIPTION	APPROVED
B	2/6/22	SW	AS BUILT	NBN
A	13/12/21	SW	FOR CONSTRUCTION	NBN
1	7/12/21	SW	FOR APPROVAL	NBN

**STRICTLY CONFIDENTIAL**

NBNCo APPROVAL RECORD:

SIGNATURE	DATE
<input type="checkbox"/> DD	
<input type="checkbox"/> WG	
<input type="checkbox"/> AB	

QUALITY RECORD:

NBNCo DISCLAIMER  
THIS DOCUMENT HAS BEEN PREPARED SOLELY FOR THE USE OF NBNCo LIMITED (ABN 86 136 533 741) FOR USE IN MAINTAINING NBNCo FACILITIES. IT HAS NOT BEEN CREATED FOR ANY OTHER USE. IT SHOULD NOT BE SCALED TO LOCATE NBNCo ASSETS. NO WARRANTY IS GIVEN THAT THE INFORMATION IS ACCURATE OR COMPLETE.



**KEY PLAN**

DRAWING TITLE:  
GREATER ASCOT STAGE 801  
NBNCo PIT AND PIPE DESIGN  
LAYOUT PLAN

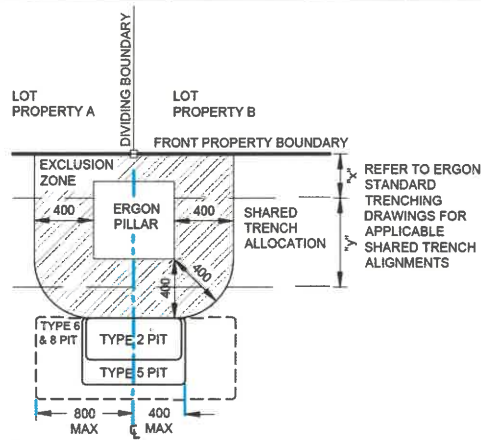
ENABLED:

STATE: QLO	REGION: NO	
FSA:	SAM:	ADA:
PROJECT No: STG-62824		
CADREF No: 3482-T01		
SCALE: AS SHOWN	SHEET No. 1 OF 2	REV B

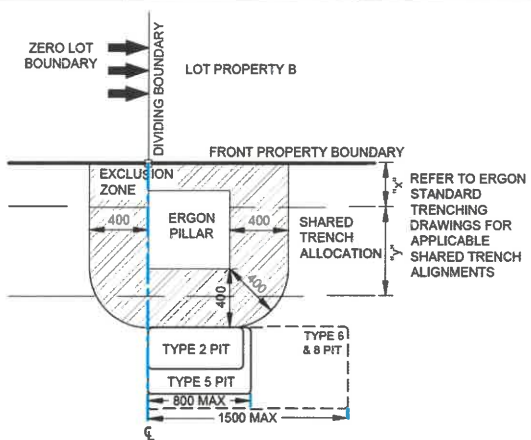


**TYPICAL PIT DETAILS**

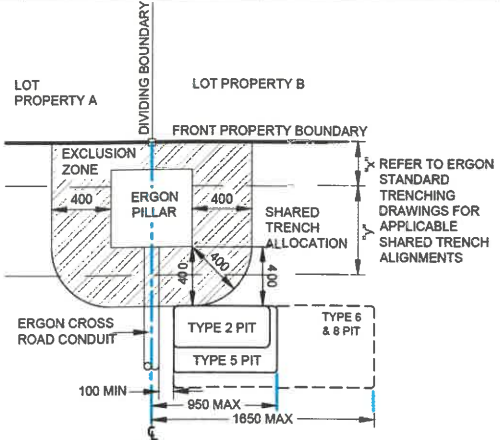
- NOTES:**
- THESE DETAILS REPRESENT TYPICAL PIT CONFIGURATIONS AND THE CONTRACTOR SHALL DETERMINE THE MOST SUITABLE DETAIL FOR EACH PARTICULAR APPLICATION, IGNORING REDUNDANT DETAILS.
  - PITS SHALL BE INSTALLED CLEAR OF DRIVEWAYS AND FUTURE DRIVEWAY LOCATIONS. COORDINATE FINAL LOCATIONS WITH CIVIL DRAWINGS.
  - ENSURE PITS ARE INSTALLED IN ACCORDANCE WITH NBN Co GUIDELINES AND THE FOLLOWING CLEARANCES:
    - A. 100 mm FROM LV / 300 mm FROM HV ELECTRICAL CONDUITS
    - B. 150 mm FROM WATER RETICULATION & 300mm FROM HIGH PRESSURE MAINS
    - C. 150 mm FROM SEWER RETICULATION & 300mm FROM MAINS
    - D. 150 mm FROM STORMWATER RETICULATION
    - E. 100mm FROM OTHER TELECOMMUNICATIONS CARRIERS
  - MIRROR CONFIGURATION WHERE APPROPRIATE



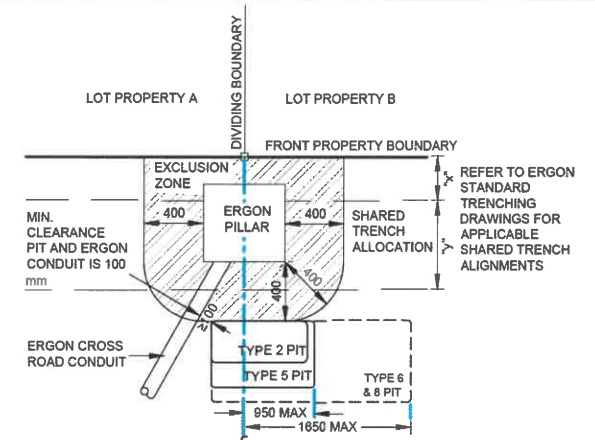
**TYPICAL PIT DETAIL 1**  
PIT CENTRAL TO THE BOUNDARY WITH AN ERGON PILLAR.  
- LOCATE CENTRE OF PIT IN LINE WITH PROLONGATION OF DIVIDING BOUNDARY.



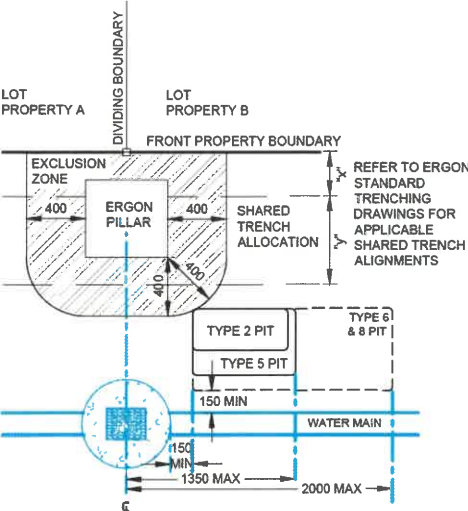
**TYPICAL PIT DETAIL 2**  
PIT OFFSET FROM BOUNDARY WITH AN ERGON PILLAR (ZERO LOT BOUNDARY).  
- ENSURE PIT TO BE CLEAR OF THE ZERO LOT BOUNDARY



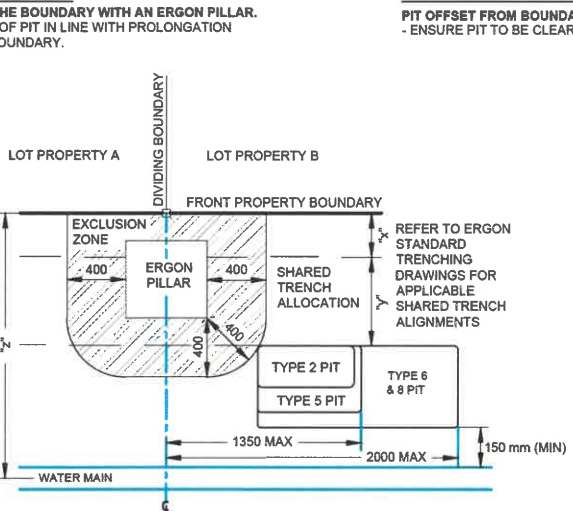
**TYPICAL PIT DETAIL 3**  
PIT OFFSET FROM BOUNDARY WITH AN ERGON PILLAR AND 90° ERGON CONDUIT.  
- ENSURE 100 mm MIN CLEARANCE TO ERGON CROSS ROAD CONDUIT



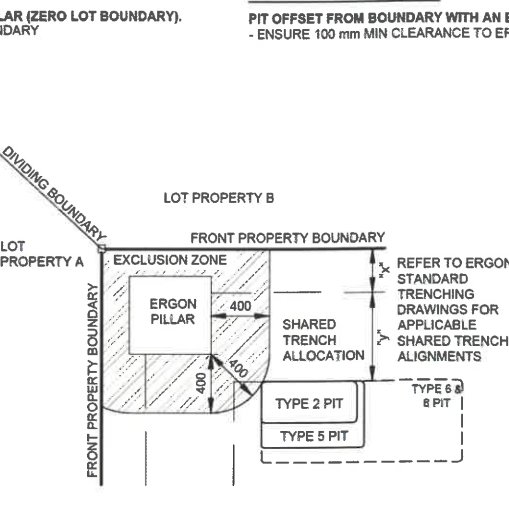
**TYPICAL PIT DETAIL 4**  
PIT OFFSET FROM BOUNDARY WITH AN ERGON PILLAR AND ANGLED ERGON CONDUIT.  
- LOCATE FAR END OF PIT AS CLOSE AS POSSIBLE TO THE PROLONGATION OF DIVIDING BOUNDARY WHILST MAINTAINING A MINIMUM OF 100 mm CLEARANCE FROM ERGON CONDUIT(S) TO MINIMISE DRIVEWAY INTRUSION.



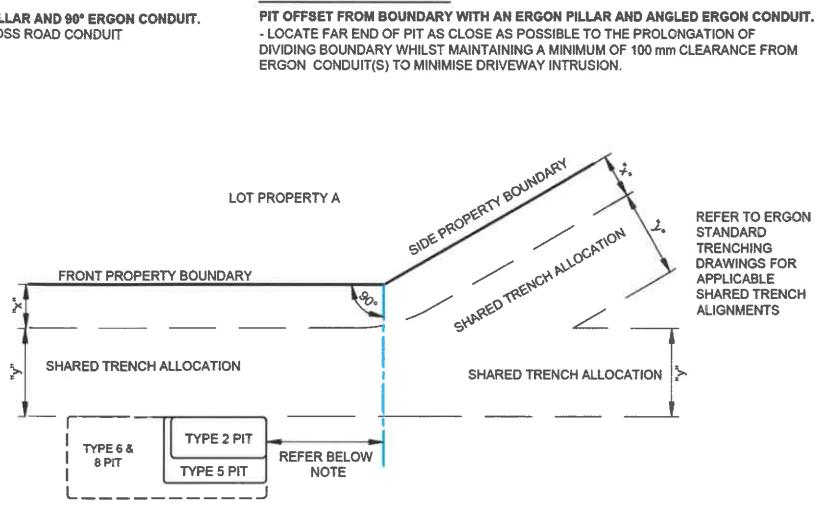
**TYPICAL PIT DETAIL 5**  
PIT OFFSET FROM BOUNDARY WITH AN ERGON PILLAR AND FIRE HYDRANT.  
- LOCATE END OF PIT AS CLOSE AS POSSIBLE TO THE PROLONGATION OF DIVIDING BOUNDARY WHILST MAINTAINING MINIMUM 150 mm CLEARANCE FROM FIRE HYDRANT AND MARGIN SETT TO MINIMISE DRIVEWAY INTRUSION.



**TYPICAL PIT DETAIL 6**  
TYPE 8 PIT OFFSET FROM BOUNDARY WITH AN ERGON PILLAR AND CLASHING WITH WATER MAIN.  
- LOCATE END OF PIT AS CLOSE AS POSSIBLE TO THE PROLONGATION OF DIVIDING BOUNDARY WHILST MAINTAINING MINIMUM 150 mm CLEARANCE FROM WATER MAIN TO MINIMISE DRIVEWAY INTRUSION.

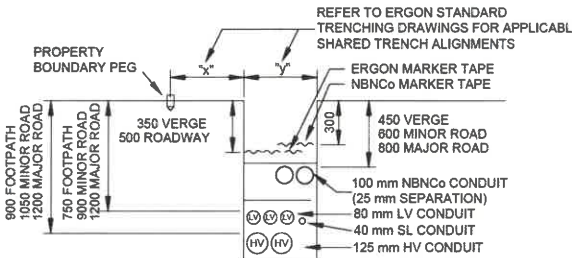


**TYPICAL PIT DETAIL 7**  
PIT OFFSET FROM BOUNDARY WITH AN ERGON PILLAR ON CORNER LOT.  
- LOCATE END OF PIT AS CLOSE AS PRACTICABLE TO THE INTERSECTING PROPERTY BOUNDARIES WHILST MAINTAINING CLEARANCE TO PILLAR EXCLUSION ZONE TO MINIMISE DRIVEWAY INTRUSION.



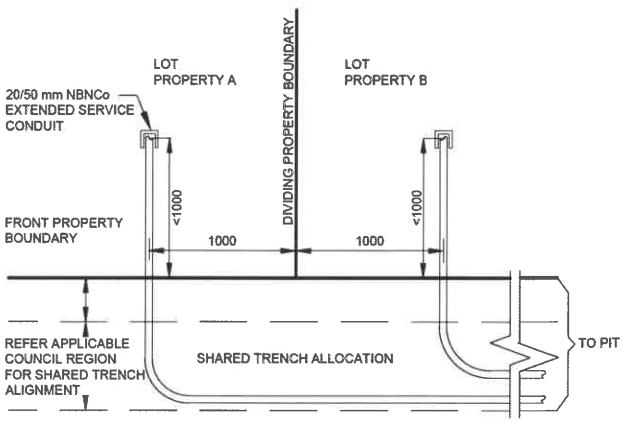
**TYPICAL PIT DETAIL 8**  
PIT OFFSET FROM PROPERTY TRUNCATION POINT.  
- LOCATE END OF PIT AS CLOSE AS PRACTICABLE TO THE TRUNCATION, WHERE APPLICABLE MAINTAIN REQUISITE COMPLIANCE TO FIGURE 13 IN THE NBN DEPLOYMENT GUIDELINES NBN-CTO-194.

SEPARATION FROM ERGON CONDUITS		
ERGON CONDUIT TYPE	PARALLEL SEPARATION (mm)	CROSSING SEPARATION (mm)
LV/SL	100	100
HV	300	100

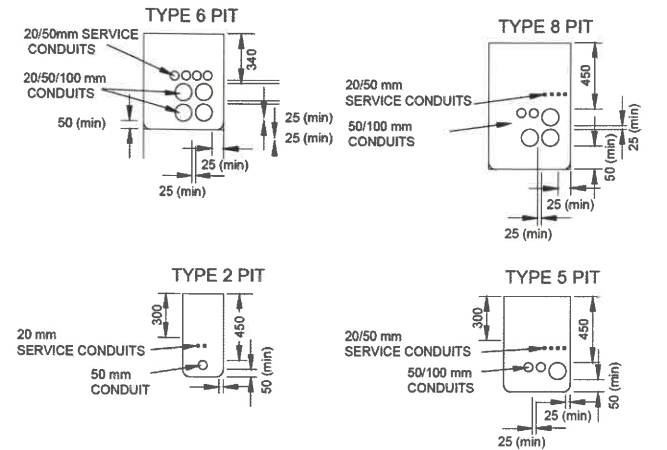


**STANDARD TRENCH SECTION**  
SCALE 1:25 @ A1

NBN Co PIT SIZES							
PIT TYPE	NAME	NOMINAL EXTERNAL DIMENSIONS (mm)			MINIMUM INTERNAL DIMENSIONS (mm)		
		LENGTH	WIDTH	DEPTH	LENGTH	WIDTH	DEPTH
SERVICE DROP ACCESS PIT	TYPE 2	650	280	565	490	150	500
SERVICE DROP ACCESS PIT or BOUNDARY PIT or FJL PIT	TYPE 5	700	450	650	510	290	540
SERVICE DROP ACCESS PIT or LN PIT or FJL PIT	TYPE 6	1360	555	650	1130	340	600
DISTRIBUTION PIT or LN CONNECTION PIT	TYPE 8	1360	555	860	1130	390	820



**EXTENDED SERVICE CONDUITS TO DISTANT PIT**  
SCALE 1:25 @ A1



**TYPICAL PIT END WALL DETAILS**  
SCALE 1:25 @ A1

**AS-BUILT**

ON COMPLETION, MARK UP THIS PRINT CLEARLY WITH ALL FINAL CHANGES AND RETURN TO PROJECT MANAGER

CHANGES: YES/NO

**CIVIL CONTRACTOR**  
NAME: TOWNSVILLE EARTH MOVING  
SIGNATURE: MICHAEL BROSNAN  
DATE: 2/8/22



REV	DATE	DRAFTER	DESCRIPTION	APPROVED
B	2/6/22	SW	AS BUILT	NBN
A	13/12/21	SW	FOR APPROVAL	NBN
1	7/12/21	SW	FOR APPROVAL	NBN

**STRICTLY CONFIDENTIAL**

NBNCO APPROVAL RECORD

SIGNATURE	DATE
<input type="checkbox"/> DO	
<input type="checkbox"/> WO	
<input type="checkbox"/> AB	

QUALITY RECORD:

NBNCO DISCLAIMER  
THIS DOCUMENT HAS BEEN PREPARED SOLELY FOR THE USE OF NBNCO LIMITED (ABN 86 136 533 741) FOR USE IN MAINTAINING NBNCO FACILITIES. IT HAS NOT BEEN CREATED FOR ANY OTHER USE. IT SHOULD NOT BE SCALED TO LOCATE NBNCO ASSETS. NO WARRANTY IS GIVEN THAT THE INFORMATION IS ACCURATE OR COMPLETE.



KEY PLAN

DRAWING TITLE:  
GREATER ASCOT STAGE 001  
NBN Co PIT AND PIPE DESIGN  
TYPICAL PIT LAYOUTS AND TRENCH DETAILS

ENABLE#:

STATE: QLD REGION: NO

FSA: SAM: ADA:

PROJECT No: STG-M00062824

CADREF No: 34B2-T02

SCALE: AS SHOWN SHEET No: 2 OF 2 REV: B