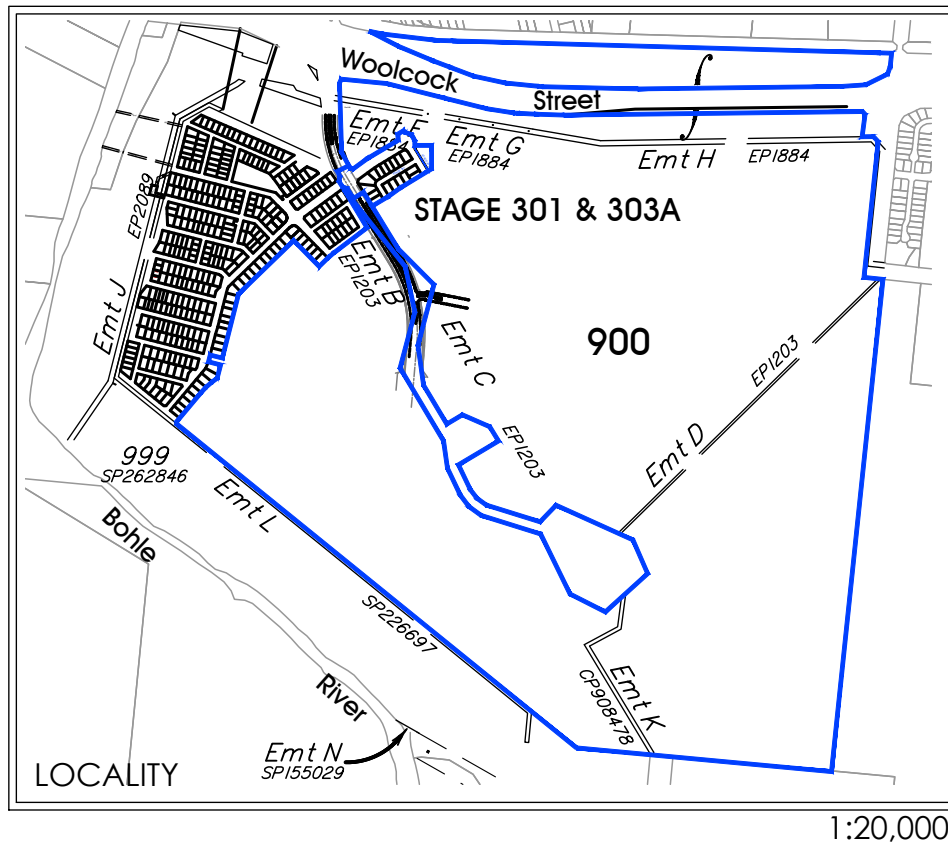


COSGROVE

PROPOSED RECONFIGURATION

Lots 400-416, 900 and 901
Cancelling Lot 900 on SP321621



1:20,000

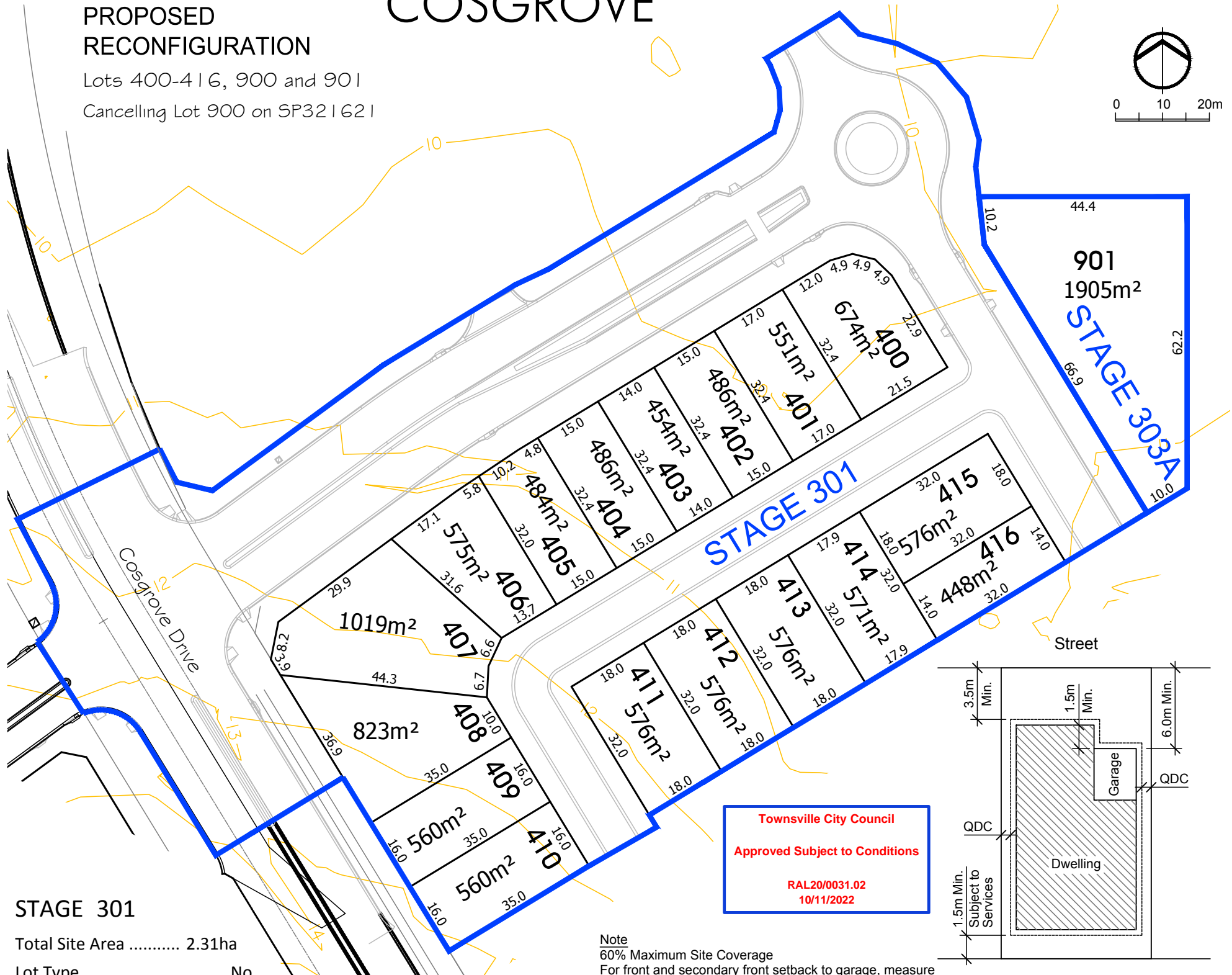
DESIGN CODE - ALL ALLOTMENTS

Type	House, Front Loaded
Lot Access	Front
Lot Depth (Min)	25m (20m where 15m width proposed)
Lot Width (Min)	12.5
Site Coverage	May exceed 50% in response to Code Requirements, but no more than 60% Site Coverage.
Setback Front Ground (min) and upper (min)	3.5m
Setback Front Garage	6m and 1.5m behind front of dwelling
Setback Principal Side Ground (min)	QDC
Setback Principal Side Upper (min)	QDC
Setback Secondary Road Frontage (min)	2.0m
Garage setback Secondary Road Frontage(min)	3.5m
Setback Principal Rear (min)	1.5m (*Sewer lines and manholes may enforce greater setbacks)
Outbuilding (Shed) Width (max)	Lesser of 50% of rear boundary or 9m
Outbuilding (Shed) Depth (max)	9m
Outbuilding (Shed) Rear Setback	0-1.0m
Outbuilding (Shed) Side Setback	Zero if lot 12.5m wide. As per Principal setback if lot >12.5m wide
Floor Height Principal (min)	400mm
Maximum Storeys	As per the Applicable Scheme
Private Open Space (min) (may be covered)	4mx4m
Parking (min)	Two (2), one of which must be covered

*Note: Clearances to sewer lines and manholes are required in accordance with council policy.

NOTES:

- The final intended use of all allotments is for residential except if otherwise marked purposes in accordance with Cosgrove Plan of Development
- There are no buildings or structures over the land relevant to this stage
- Access into each allotment shall be via the road frontage. Specific locations to be determined at time of detailed engineering design and preparation of access envelopes.



STAGE 301

Total Site Area 2.31ha

Lot Type	No.
<400	0
401-500	5
501-600	9
601-700	1
700+	2
Total.....	17
Average Lot Area.....	588m ²

Total Length of New Road ... 435m	
16.6m Reserve	172m
20.0m Reserve	96m
30.0m Collector	167m

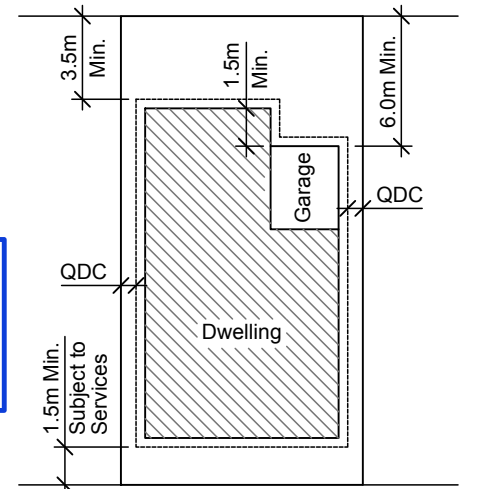
STAGE 301A

Total Site Area 1905m²

Total Open Space 1905m²
Total..... 1

Townsville City Council
Approved Subject to Conditions
RAL20/0031.02
10/11/2022

Note
60% Maximum Site Coverage
For front and secondary front setback to garage, measure from the front boundary to the garage opening (wall). All other setbacks are measured from the boundary to the outermost projection (including carports).



Typical Setback Requirements
Not to Scale

CORNER SIGHT LINES

Comply with sight lines requirement of the Queensland Development code on road corners. This is typically a 9m x 9m exclusion zone based on boundaries. For clipped corners, footpaths wider than 4.2m and lots with park frontages typically this is a 18m x 18m exclusion zone based on edge of traffic lane. Rear access lanes are exempted from this requirement.

Date: 10th August, 2022	
Scale: 1:1000	A3
Drawn: MJM	
Job No: 27001-005-02	
Plan No: 27001/258 D	

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1.0m contour
 Stage Boundary

M.G.A. COORDINATES GDA-2020

STATION	EASTING	NORTHING	ZONE	P.U.	LINEAGE	METHOD	REMARKS
PM131701	469 170.420	7 870 049.192	55	0-019	Datum	SCDB	OPM
PM209120	469 725.774	7 869 697.673	55	0-020	Derived	CORS (AUSPOS)	Mini Mk



Area of New Road

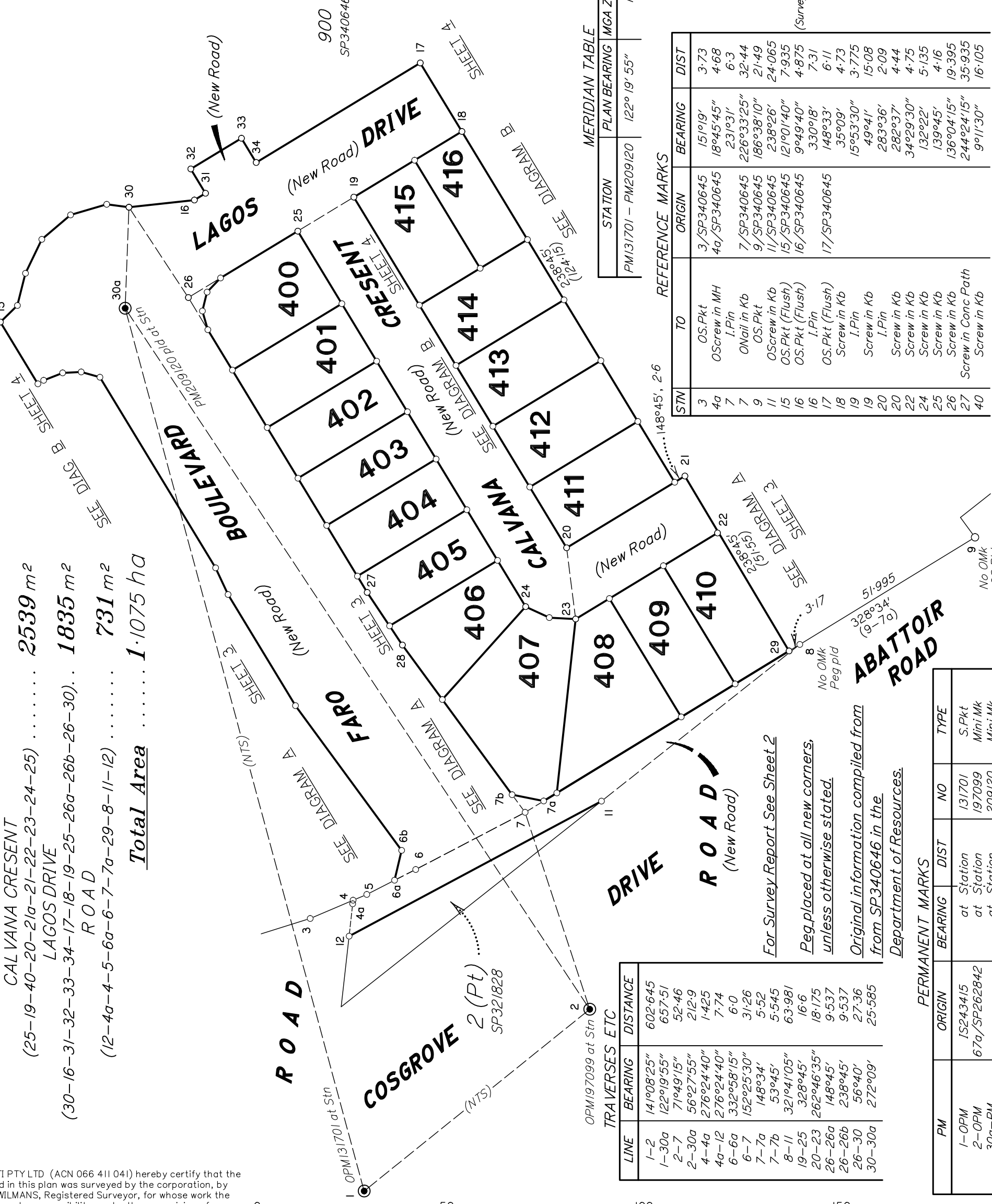
FARO BOULEVARD
(6a-6b-15-30-26-26b-27-28-7b-7a-7-6-6a) 5970 m²

CALVANA CRESENT
(25-19-40-20-21a-21-22-23-24-25) 2539 m²

LAGOS DRIVE
(30-16-31-32-33-34-17-18-19-25-26a-26b-26-30) 1835 m²

ROAD
(12-4a-4-5-6a-6-7-7a-29-8-11-12) 731 m²

Total Area 1.1075 ha



MERIDIAN TABLE

STATION	PLAN BEARING	MGA ZONE	BEARING
PM131701 - PM209120	122° 19' 55"	55	122° 19' 56"

REFERENCE MARKS

STN	TO	ORIGIN	BEARING	DIST
3	OS.Pkt	3/SP340645	151°19'	3.73
4a	OS.Screw in MH	4a/SP340645	18°45'45"	4.68
7	I.Pin	7/SP340645	231°31'	6.3
9	ONail in Kb	9/SP340645	226°33'25"	32.44
11	OS.Pkt	11/SP340645	186°38'10"	21.49
15	OS.Screw in Kb	15/SP340645	238°26'	24.065
16	OS.Pkt (Flush)	16/SP340645	121°01'40"	7.935
16	OS.Pkt (Flush)	16/SP340645	9°49'40"	4.875
17	I.Pin	17/SP340645	330°18'	7.31
18	OS.Pkt (Flush)	18/SP340645	148°33'	6.11
19	Screw in Kb	19/SP340645	35°09'	4.73
19	Screw in Kb	19/SP340645	15°53'30"	3.775
20	I.Pin	20/SP340645	49°41'	15.08
20	Screw in Kb	20/SP340645	283°36'	2.09
22	Screw in Kb	22/SP340645	282°37'	4.44
24	Screw in Kb	24/SP340645	34°29'30"	4.75
25	Screw in Kb	25/SP340645	132°22'	5.135
26	Screw in Kb	26/SP340645	139°45'	4.16
27	Screw in Kb	27/SP340645	136°04'15"	19.395
40	Screw in Conc Path	40/SP340645	244°24'15"	35.935
			9°11'30"	16.105

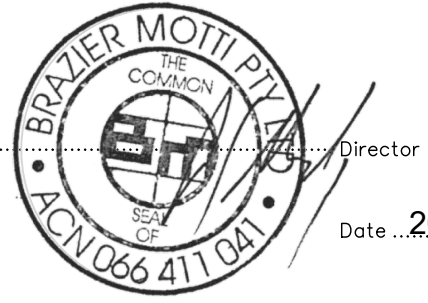
TRAVERSES ETC

LINE	BEARING	DISTANCE
1-2	141°08'25"	602.645
1-30a	122°19'55"	657.51
2-7	71°49'15"	52.46
2-30a	56°27'55"	212.9
4-4a	276°24'40"	1.425
4a-12	276°24'40"	7.74
6-6a	332°58'15"	6.0
6-7	152°25'30"	31.26
7-7a	148°34'	5.52
7-7b	53°45'	5.545
8-11	321°41'05"	63.981
19-25	328°45'	16.6
20-23	262°46'35"	18.175
26-26a	148°45'	9.537
26-26b	238°45'	9.537
26-30	56°40'	27.36
30-30a	272°09'	25.585

PERMANENT MARKS

PM	BEARING	DIST	NO	TYPE
1-OPM	at Station	131701		S.Pkt
2-OPM	at Station	197099		Mini Mk
30a-PM	at Station	209120		Mini Mk

BRAZIER MOTTI PTY LTD (ACN 066 411 041) hereby certify that the land comprised in this plan was surveyed by the corporation, by Julie Rachael WILMANS, Registered Surveyor, for whose work the corporation accepts responsibility, under the supervision of Geoffrey Edwin OSBALDISTON, Cadastral Surveyor, and that the plan is accurate, that the said survey was performed in accordance with the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the said survey was completed on 26th May, 2023.



Director
Date: 20-07-23

0m 50m 100m 150m
0 50mm 100mm 150mm State copyright reserved.

Plan of Lots 400-416

Cancelling Lot 914 on SP340645 & Lot 915 on SP340646

LOCAL TOWNSVILLE CITY
GOVERNMENT: COUNCIL LOCALITY: COSGROVE

Meridian: MGA (Zone 55) Vide SP340646

Survey Records: No

Scale: 1:1000
Format: STANDARD

SP335161

**WARNING : Folded or Mutilated Plans will not be accepted.
Plans may be rolled.
Information may not be placed in the outer margins.**

(Dealing No.)

4. Lodged by

(Include address, phone number, email, reference, and Lodger Code)

I. Existing		Created		
Title Reference	Description	New Lots	Road	Secondary Interests
51324140 51324139	Lot 915 on SP340646 Lot 914 on SP340645	400 - 416	New Rd New Rd	

Emt Z on SP262842 (Dealing 715892439) fully absorbed by new road

SURVEY REPORT

Datum

Meridian is MGA (Zone 55) vide SP340646. This is confirmed by Meridian Table through connections to PM131701 (SCDB Datum coordinates) and PM209120 (CORS coordinates).

Connection to datum is made by connections to PM131701 (SCDB) and PM209120 (CORS).

Boundary Reinstatement

Boundaries 3-4-4a-12-11-8-9 were reinstated from original corner and/or reference marks found at Stns 3, 4a, 11 & 9, plus deed angles and distances.

Boundaries 4-5-6-7-8 were reinstated using deed angles and distances between Stns 4 & 8.

Boundaries 15-16 were reinstated from original corner and/or reference marks found at Stns 15 & 16, plus deed angles and distances.

Boundaries 17-21a-21-29 were reinstated from the original reference mark found at Stn 17, plus deed angles and distances from Stn 17.

Boundaries 6a-15 and 16-17 were compiled from SP340646.

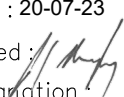
400-416	Lot 915 on SP340646
Lots	Orig

2. Orig Grant Allocation :

3. References :

Dept File :
Local Govt :
Surveyor : 27001/177-01 - 27001_288A.dwg - SLR - 05/2023 - V2

5. Passed & Endorsed :

By : BRAZIER MOTTI PTY LTD
Date : 20-07-23
Signed : 
Designation : Liaison Officer

6. Building Format Plans only.

I certify that :
* As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or road;
* Part of the building shown on this plan encroaches onto adjoining * lots and road

.....
Cadastral Surveyor/Director* Date
*delete words not required

7. Lodgement Fees :

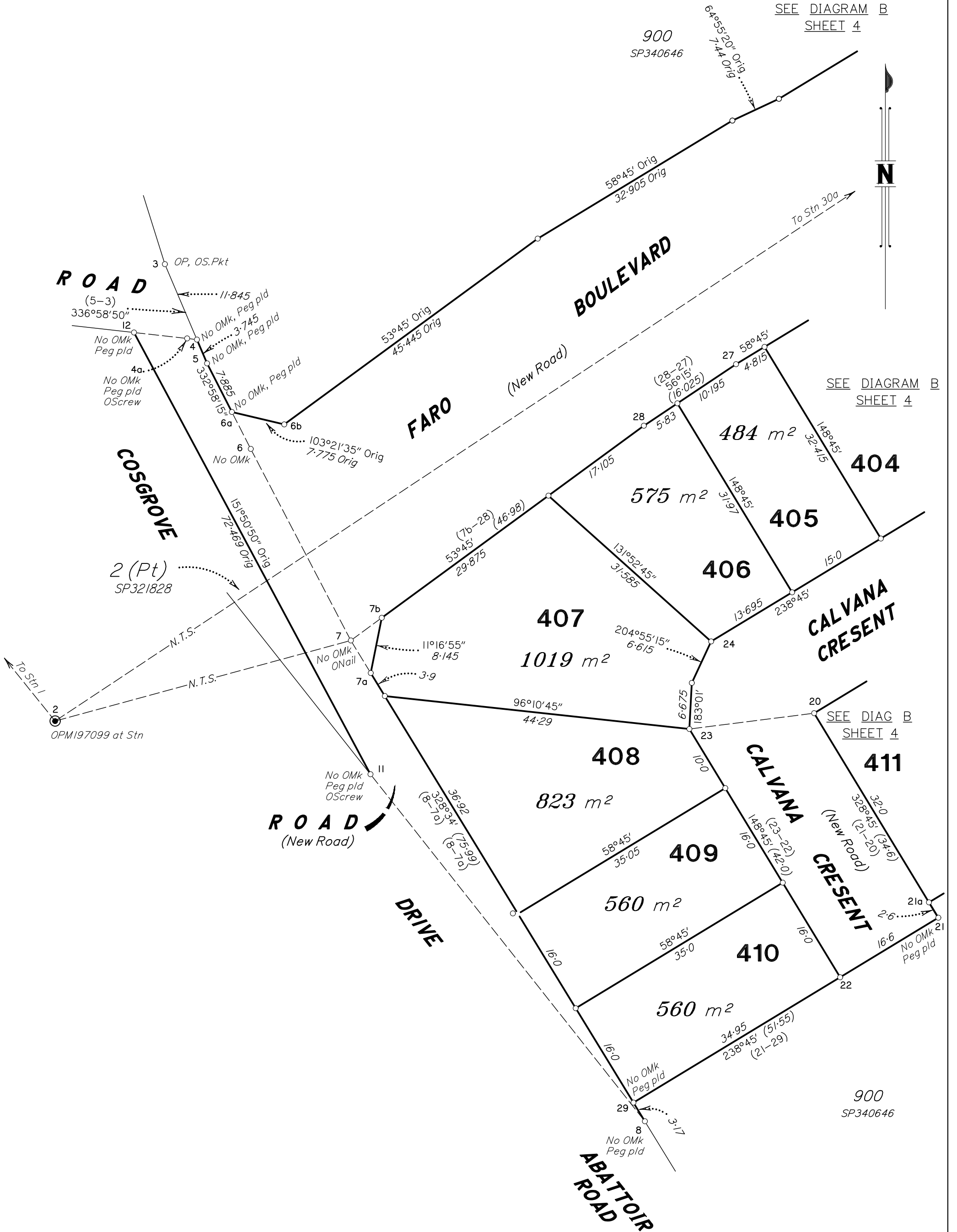
Survey Deposit	\$
Lodgement	\$
.....New Titles	\$
Photocopy	\$
Postage	\$
TOTAL	\$

8. Insert Plan Number

SP335161

SEE DIAGRAM B
SHEET 4

900
SP340646



SEE DIAGRAM B
SHEET 4

SEE DIAG B
SHEET 4

DIAGRAM A
Scale 1:500



State copyright reserved.

Insert
Plan
Number **SP335161**

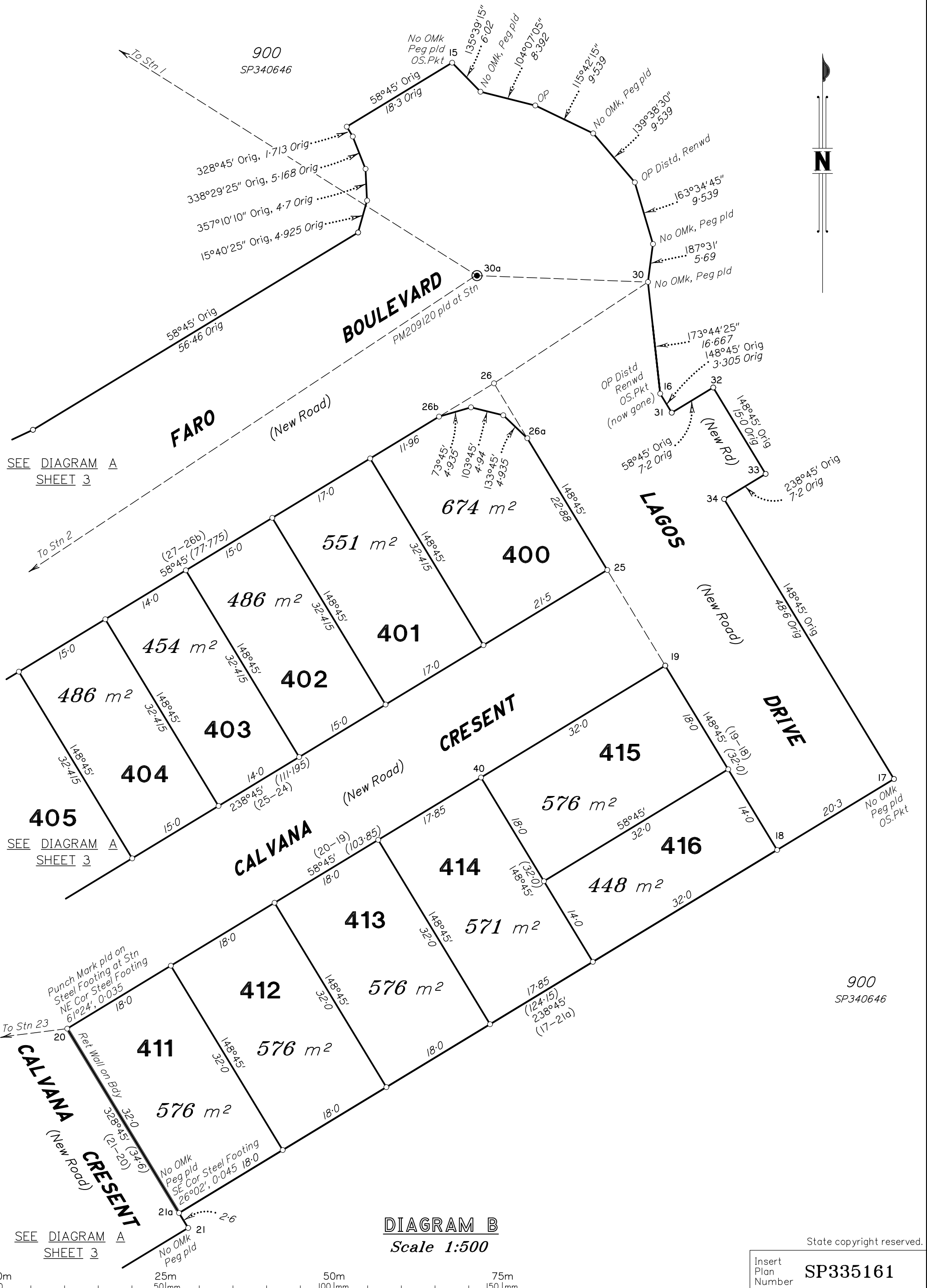


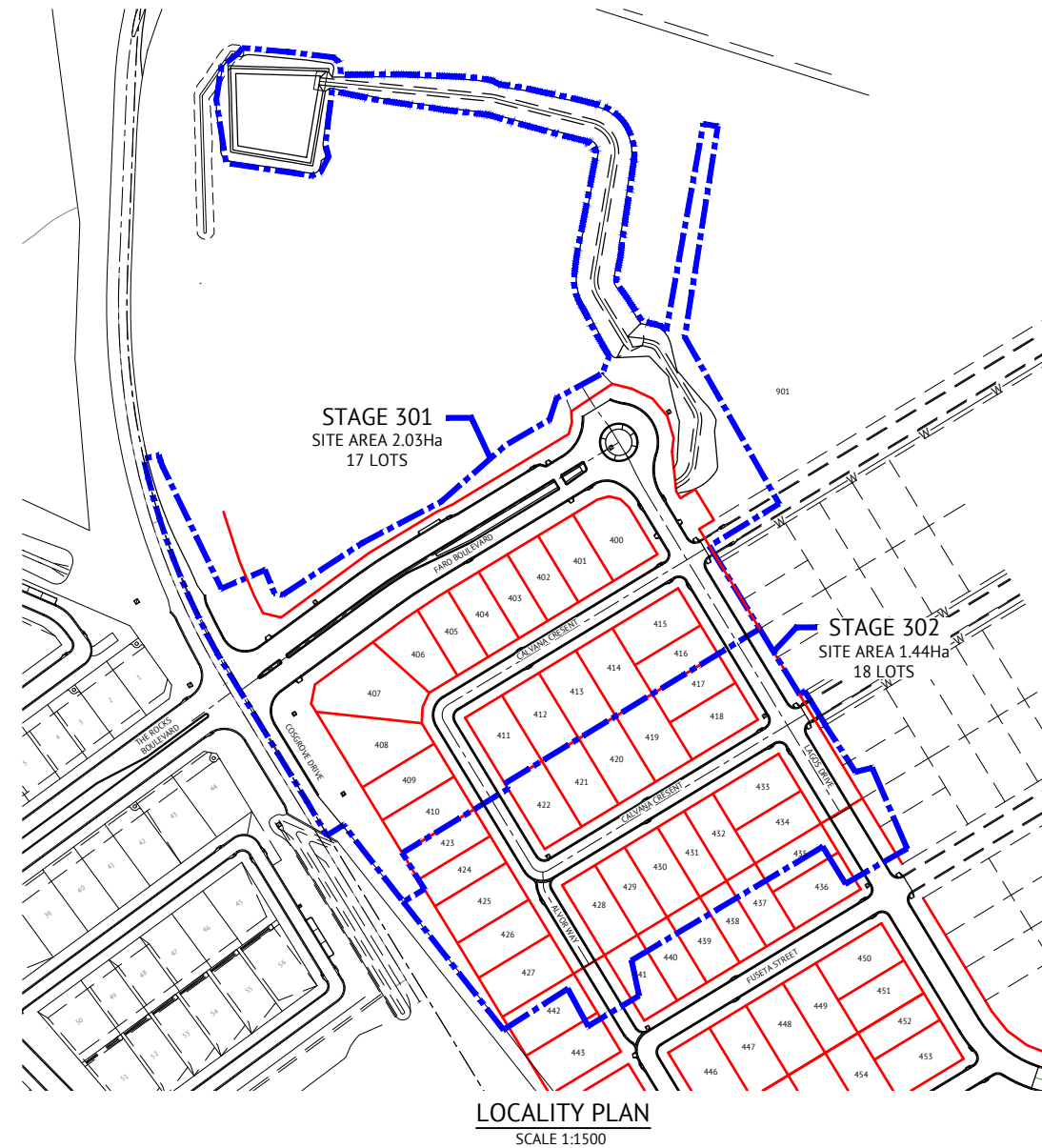
DIAGRAM B
Scale 1:500



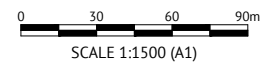
COSGROVE STAGES 301 & 302

COSGROVE DRIVE, COSGROVE

FOR PARKSIDE DEVELOPMENT PTY LTD



DRAWING SCHEDULE	
DRAWING NO.	DRAWING TITLE
266	COVER SHEET, LOCALITY PLAN & DRAWING SCHEDULE
267	EARTHWORKS LAYOUT PLAN
268	ROADWORKS & STORMWATER DRAINAGE PLAN
269	COSGROVE DRIVE LONGITUDINAL AND CROSS SECTIONS
270	FARO BOULEVARD LONGITUDINAL AND CROSS SECTIONS
271	LAGOS DRIVE LONGITUDINAL AND CROSS SECTIONS
272	CALVANA CRESCENT LONGITUDINAL AND CROSS SECTIONS
273	ALVOR WAY LONGITUDINAL AND CROSS SECTIONS
274	ROADWORKS DETAILS PLAN - SHEET 1 OF 2
275	ROADWORKS DETAILS PLAN - SHEET 2 OF 2
276	MISCELLANEOUS DETAILS PLAN
277	RETAINING WALL DETAILS
278	LINEMARKING DETAILS PLAN - SHEET 1 OF 3
279	LINEMARKING DETAILS PLAN - SHEET 2 OF 3
280	LINEMARKING DETAILS PLAN - SHEET 3 OF 3
281	Q2 STORMWATER LONGITUDINAL SECTION - SHEET 1 OF 3
282	Q2 STORMWATER LONGITUDINAL SECTION - SHEET 2 OF 3
283	Q2 STORMWATER LONGITUDINAL SECTION - SHEET 3 OF 3
284	WATER RETICULATION PLAN
285	SEWER RETICULATION PLAN
286	BIO-RETENTION DETAILS PLAN



Revisions			
No.	Date	Details	Check
A	16.06.23	Original Issue	GEO

Level Datum: AHD (DERIVED)
 B.M. Used: PM127952 RL 9.066
 Coordinate Projection: Plane
 Coordinate Datum: Site
 Origin of Coordinates: PM127952 E: 69522.193
 Meridian: MGA Zone 55 N: 91444.889
 Map Reference:
 Contour Interval:
 Job No: 27001-178-01
 File No: 27001_266A.dwg

Surveyed by: BM
 Drawn: MJM
 Approved:

MENDI CONSTRUCTIONS DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

AUTHORISED DELEGATE
 DATE: 23/06/2023

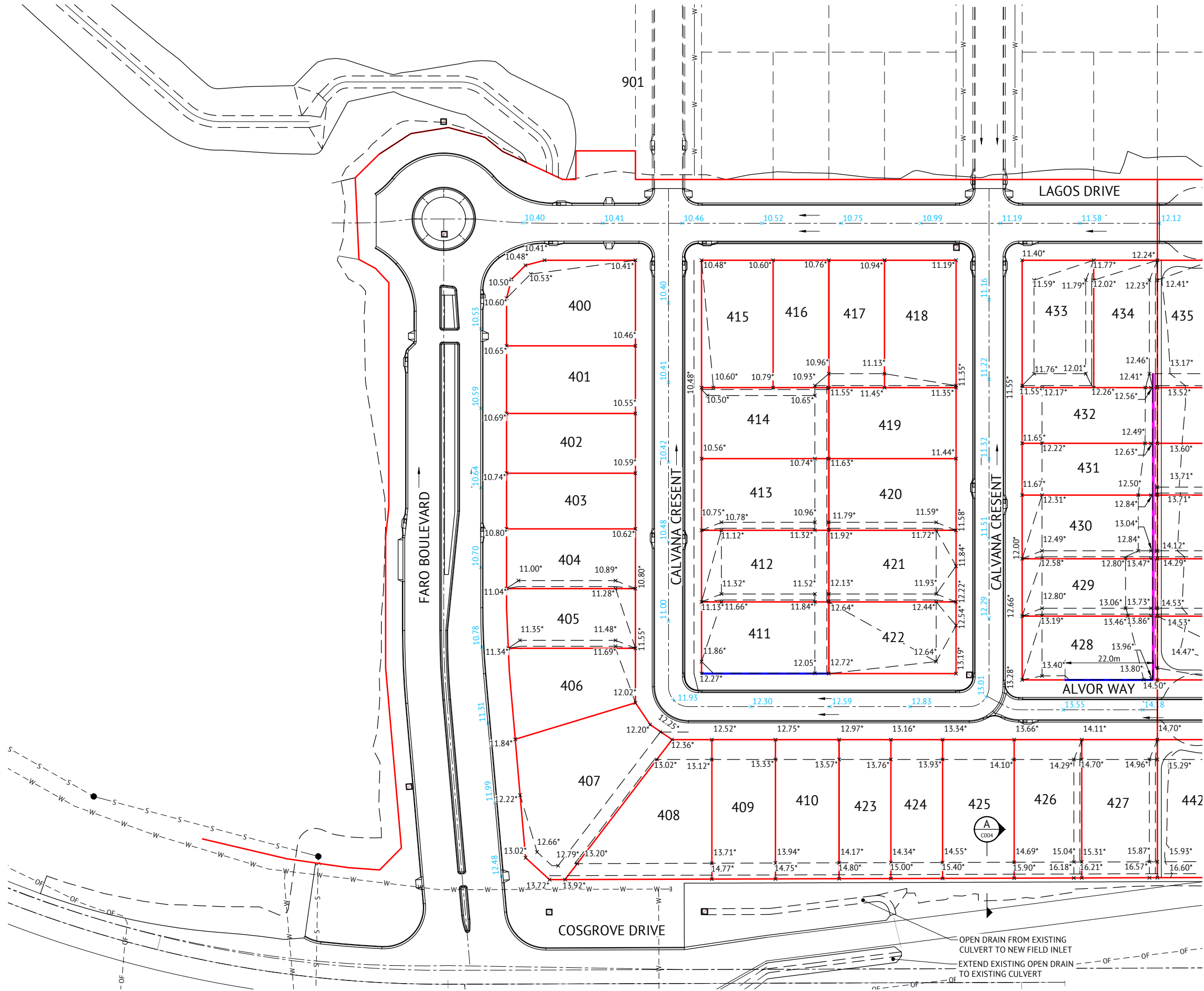
PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

RPEQ 13231
 DATE: 27/06/23

Client:	PARKSIDE DEVELOPMENT PTY LTD
Project:	AS CONSTRUCTED - COSGROVE 301 & 302 COSGROVE DRIVE, COSGROVE COVER SHEET, LOCALITY PLAN & DRAWING SCHEDULE
Local Authority:	Townsville City Council
Locality:	Cosgrove

Date:	16th June, 2023
Sheet:	1 of 1 Sheets
Scale:	AS SHOWN A1
Plan No:	27001/266 A

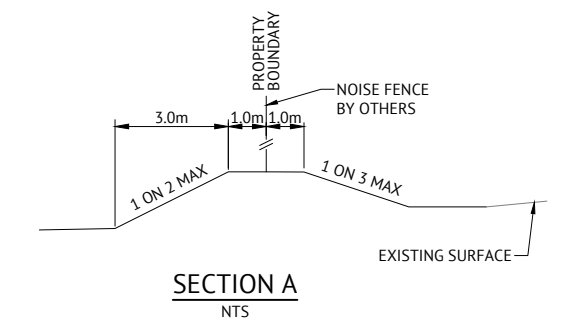
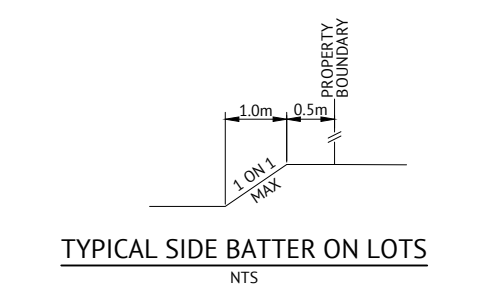
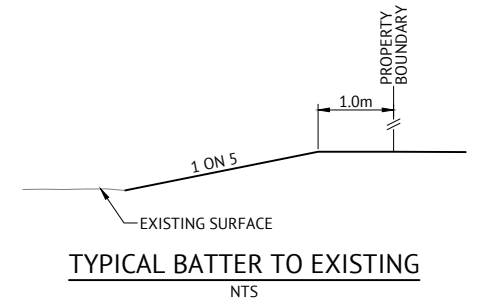
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 MAPPING&GIS



EARTHWORKS LEGEND

6.32*	FINISHED ALLOTMENT LEVEL
x	DENOTES EXISTING ALLOTMENT LEVEL
6.41	DENOTES Q100 FLOOD LEVEL
6.30	DENOTES Q100 FLOOD LEVEL
---	TOP OF BATTER
---	BOTTOM OF BATTER
---	INVERT OF DRAIN
→	DIRECTION OF KERB & CHANNEL FLOW
█	RETAINING WALL - VERTICAL MASONRY BLOCK
█	RETAINING WALL - CONCRETE SLEEPER

- ### EARTHWORKS NOTES
- ALL EARTHWORKS OPERATIONS ARE UNDERTAKEN IN ACCORDANCE WITH THE PROJECT SPECIFICATION.
 - ALLOTMENTS GRADED EVENLY BETWEEN LEVELS SHOWN. MINIMUM FINISHED ALLOTMENT GRADE TO BE 1:200.



No.	Date	Details	Check
A	16.06.23	Original Issue	GEO

Level Datum: AHD (DERIVED)
 B.M. Used: PM127952 RL 9.066
 Coordinate Projection: Plane
 Coordinate Datum: Site
 Origin of Coordinates: PM127952 E: 69522.193
 Meridian: MGA Zone 55 N: 91444.889
 Map Reference:
 Contour Interval:
 Job No: 27001-178-01
 File No: 27001_267A.dwg

Surveyed by: BM
 Drawn: MJM
 Approved:

BRAZIER MOTTI PTY LTD (ACN 066 411 041), 595 FLINDERS STREET, TOWNSVILLE HEREBY CERTIFY THAT THIS DRAWING ACCURATELY AND CORRECTLY DESCRIBES AND RECORDS THE NATURE AND LOCATION OF THE WORKS IDENTIFIED BY ASTERISKS (*) HEREON AS THEY HAVE BEEN CONSTRUCTED BY THE DIVISION.

23-06-23

MENDI CONSTRUCTIONS DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

AUTHORISED DELEGATE
23/06/2023

PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

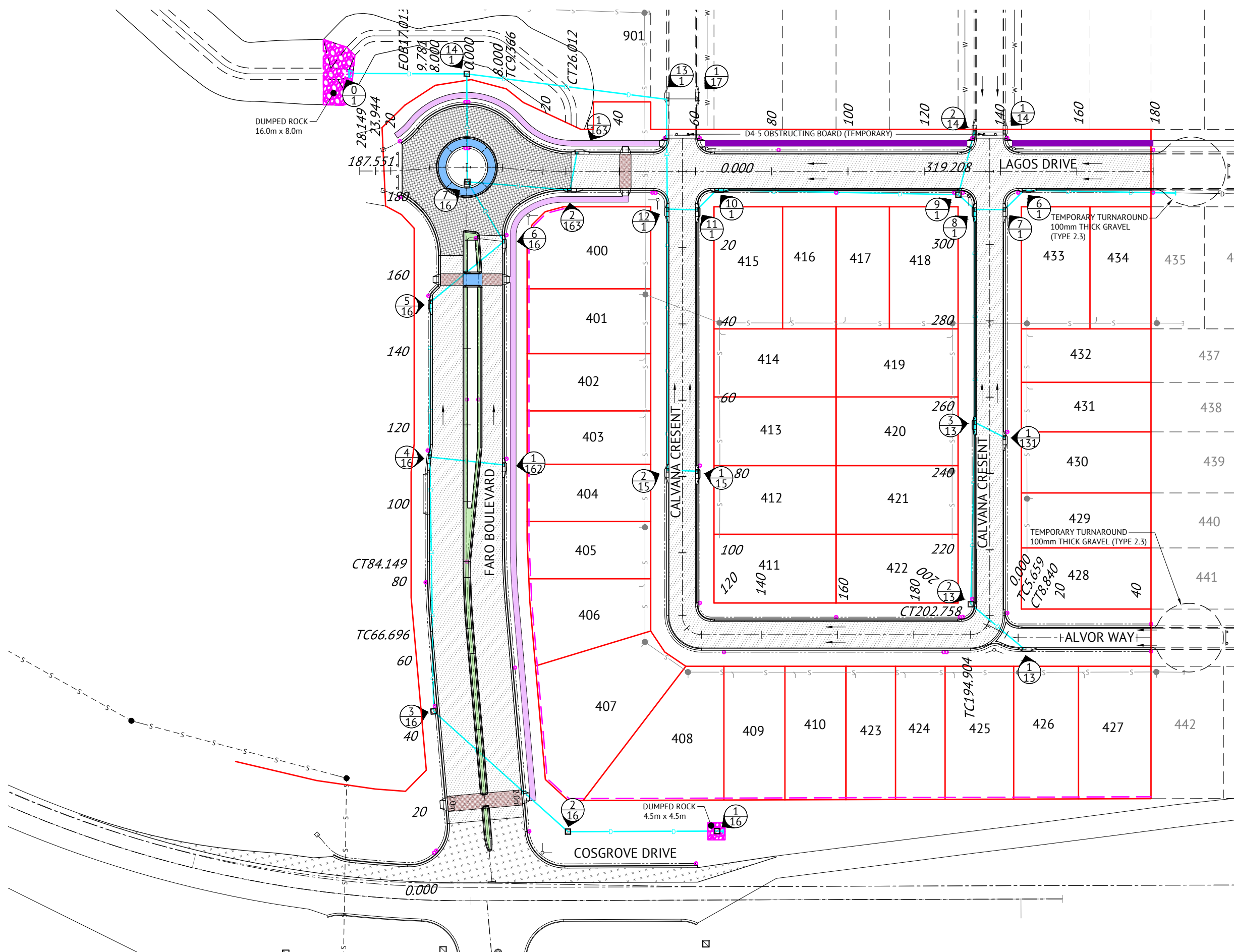
RPEQ 13231
 DATE 27/06/23

Client: **PARKSIDE DEVELOPMENT PTY LTD**
 Project: **AS CONSTRUCTED - COSGROVE 301 & 302**
COSGROVE DRIVE, COSGROVE
EARTHWORKS LAYOUT PLAN

Local Authority: Townsville City Council
 Locality: Cosgrove

Date: 16th June, 2023
 Sheet 1 of 1 Sheets
 Scale: AS SHOWN A1
 Plan No: 27001/267 A

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STORMWATER LEGEND:

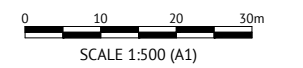
- SEWER MAIN
- STORMWATER DRAINAGE LINE
- STORMWATER MANHOLE (MANHOLE NO./LINE NO.)
- KERB INLET PIT (PIT NO./LINE NO.)
- EXISTING STORMWATER DRAINAGE LINE
- EXISTING STORMWATER MANHOLE (MANHOLE NO./LINE NO.)
- EXISTING KERB INLET PIT (PIT NO./LINE NO.)
- DUMPED ROCK SCOUR PROTECTION ON GEOTEXTILE FABRIC (200g/m²)
ROCK GRADING - 400mm THICK
75mm-325mm, AVERAGE SIZE 200mm

- ### STORMWATER NOTES
- ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
 - FOR STORMWATER LEVELS, PIPE LENGTHS, PIPE CLASS AND STRUCTURE TYPES, REFER STORMWATER LONGITUDINAL DRAWINGS.
 - ALL PIPE CUTS MADE USING A MASONRY SAW.
 - ALL TRENCHES UNDER ROAD PAVEMENT BACKFILLED WITH CRUSHER DUST TO SUBGRADE LEVEL.

ROADWORKS LEGEND

- LAYBACK KERB AND CHANNEL (TYPE L1)
- BARRIER KERB AND CHANNEL (TYPE B1 MODIFIED)
- MEDIAN KERB (TYPE SM1)
- 900mm WIDE DISH DRAIN (TYPE D1)
- D4-5 OBSTRUCTING BOARD (TEMPORARY)
- DOUBLE STREET NAME PLATE
- DIRECTION OF KERB & CHANNEL FLOW
- SUBSOIL DRAIN & CLEANOUT POINT
- 1m x 1m x 100mm CONCRETE HEADWALL TO SUBSOIL DRAIN OUTLET
- 50mm THICK POLYMER MODIFIED ASPHALT
- 30mm THICK ASPHALT
- 30mm THICK POLYMER MODIFIED ASPHALT
- 1.5m CONCRETE PATHWAY
REFER TCC STD DWG SD-070
- MEDIAN INFILL. STAMPED CONCRETE, SAND/SANDSTONE COLOUR, COBBLESTONE PATTERN (TBA)
- MEDIAN INFILL. PLAIN CONCRETE
- STAMPED ASPHALT. TERRACOTTA COLOUR, COBBLESTONE PATTERN (TBA)
- 1.5m WIDE CONCRETE FOOTPATH - 150mm THICK SL82 MESH, 50mm TOP COVER USING N32 CONCRETE
- 1.5m WIDE KERB RAMP, UNLESS NOTED OTHERWISE
- NOISE BARRIER (REFER TO LANDSCAPE ARCHITECTS DETAILS)

- ### ROADWORKS NOTES
- ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
 - ALL SUBSOIL DRAINS GRADED AT MINIMUM 0.5% FROM HIGH POINT TO OUTLET, UNLESS NOTED OTHERWISE.



No.	Date	Details	Check
A	16.06.23	Original Issue	GEO

Level Datum: AHD (DERIVED)
 B.M. Used: PM127952 RL 9.066
 Coordinate Projection: Plane
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 Origin of Coordinates: PM127952 E: 69522.193
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 Map Reference:
 Contour Interval:
 Job No: 27001-178-01
 File No: 27001_268A.dwg
 Surveyed by: BM
 Drawn: MJM
 Approved:

BRAZIER MOTTI PTY LTD (ACN 066 411 041), 595 FLINDERS STREET, TOWNSVILLE HEREBY CERTIFY THAT THIS DRAWING ACCURATELY AND CORRECTLY DESCRIBES AND RECORDS THE NATURE AND LOCATION OF THE WORKS NOTED BY ASTERISKS (*) HEREON AS THEY HAVE BEEN CONSTRUCTED FOR APPROVAL.

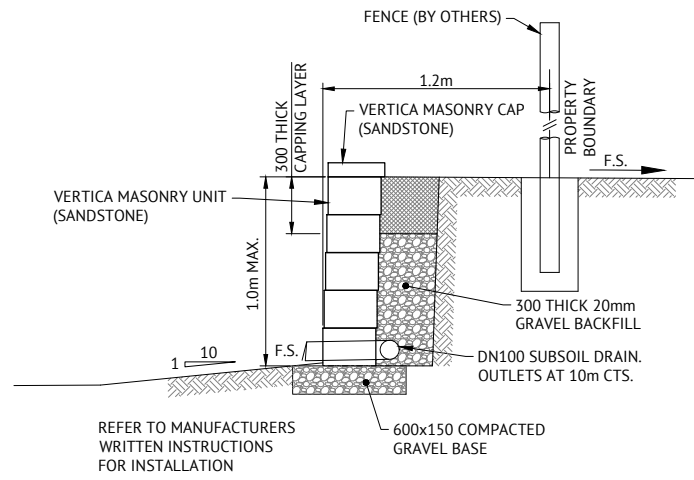
 DIRECTOR
 DATE: 23-06-23

MENDI CONSTRUCTIONS DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.
 AUTHORISED DELEGATE:
 DATE: 23/06/2023

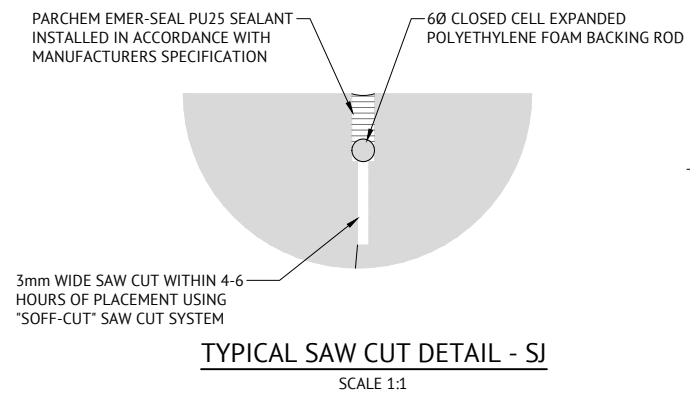
PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.
 RPEQ: 13231
 DATE: 27/06/23

Client: PARKSIDE DEVELOPMENT PTY LTD
 Project: AS CONSTRUCTED - COSGROVE 301 & 302
 COSGROVE DRIVE, COSGROVE
 ROADWORKS & STORMWATER DRAINAGE PLAN
 Local Authority: Townsville City Council
 Locality: Cosgrove

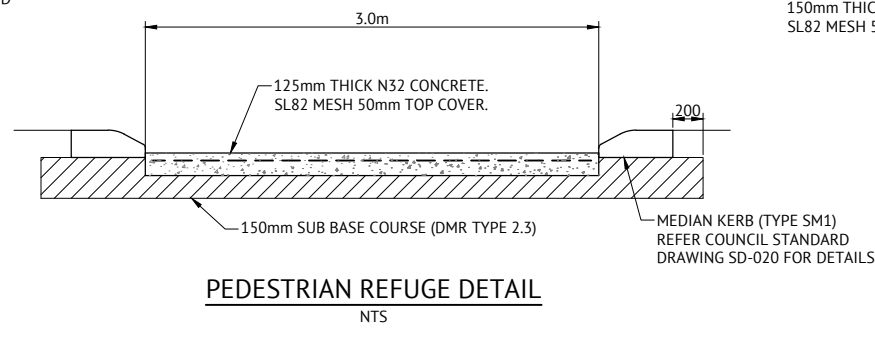
Date: 16th June, 2023
 Sheet 1 of 1 Sheets
 Scale: AS SHOWN
 Plan No: 27001/268 A
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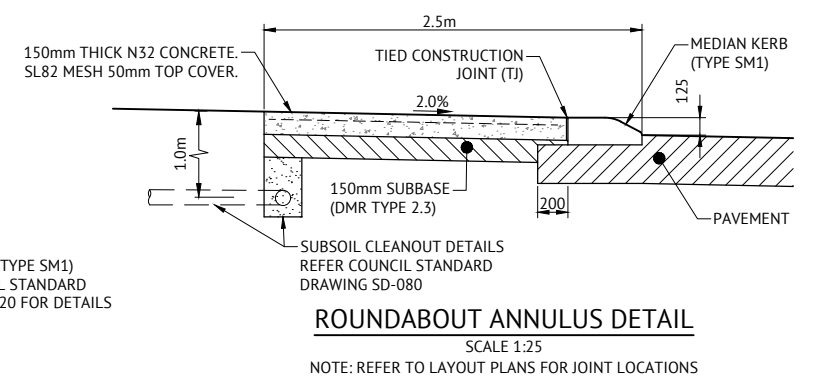
**TYPICAL RETAINING WALL DETAIL
(VERTICA MASONRY BLOCK)**
SCALE 1:20



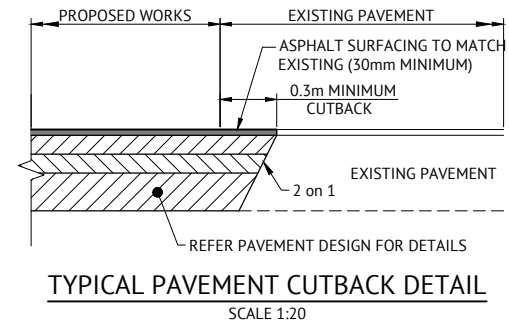
TYPICAL SAW CUT DETAIL - SJ
SCALE 1:1



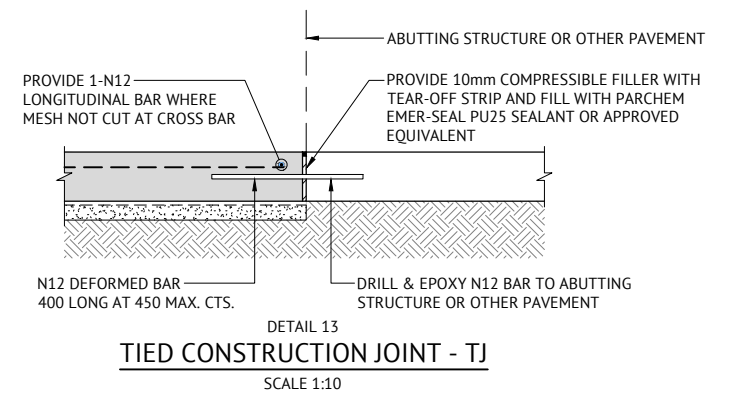
PEDESTRIAN REFUGE DETAIL
NTS



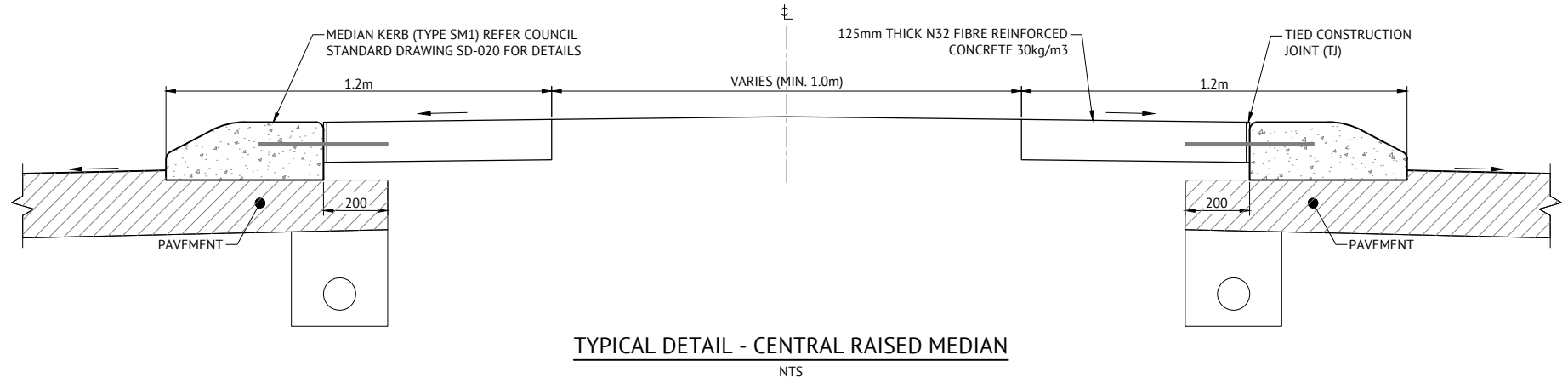
ROUNDABOUT ANNULUS DETAIL
SCALE 1:25
NOTE: REFER TO LAYOUT PLANS FOR JOINT LOCATIONS



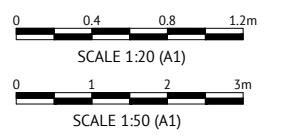
TYPICAL PAVEMENT CUTBACK DETAIL
SCALE 1:20



TIED CONSTRUCTION JOINT - TJ
SCALE 1:10



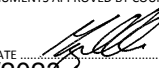
TYPICAL DETAIL - CENTRAL RAISED MEDIAN
NTS




Revisions			
No.	Date	Details	Check
A	16.06.23	Original Issue	GEO

Level Datum: AHD (DERIVED)	
B.M. Used: PM127952 RL 9.066	
Coordinate Projection: Plane	
Coordinate Datum: Site	
Origin of Coordinates: PM127952	E: 69522.193
Meridian: MGA Zone 55	N: 91444.889
Map Reference:	
Contour Interval:	Surveyed by: BM
Job No: 27001-178-01	Drawn: MJM
File No: 27001_276A.dwg	Approved:

MENDI CONSTRUCTIONS DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

AUTHORISED DELEGATE 
DATE ... 23/06/2023

PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

RPEQ  13231
DATE ... 27/06/23

Client: **PARKSIDE DEVELOPMENT PTY LTD**

Project: **AS CONSTRUCTED - COSGROVE 301 & 302
COSGROVE DRIVE, COSGROVE
MISCELLANEOUS DETAILS PLAN**

Local Authority: Townsville City Council Locality: Cosgrove

Date: 16th June, 2023


Sheet 1 of 1 Sheets

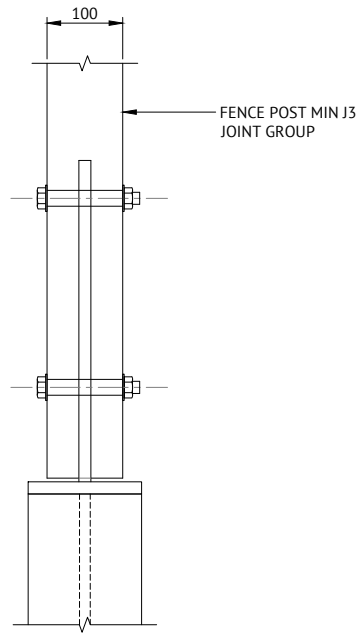
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Plan No: 27001/276 A

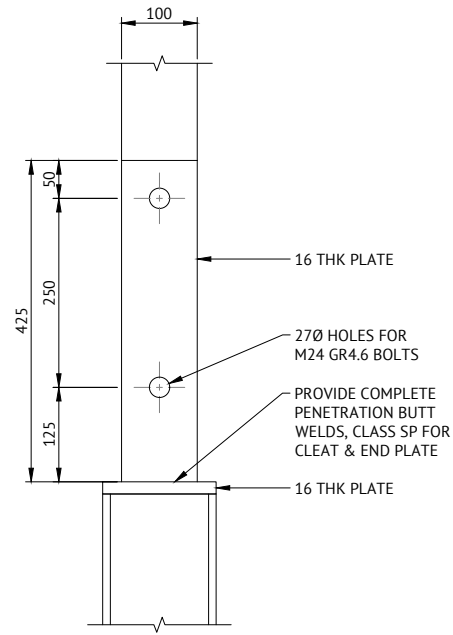
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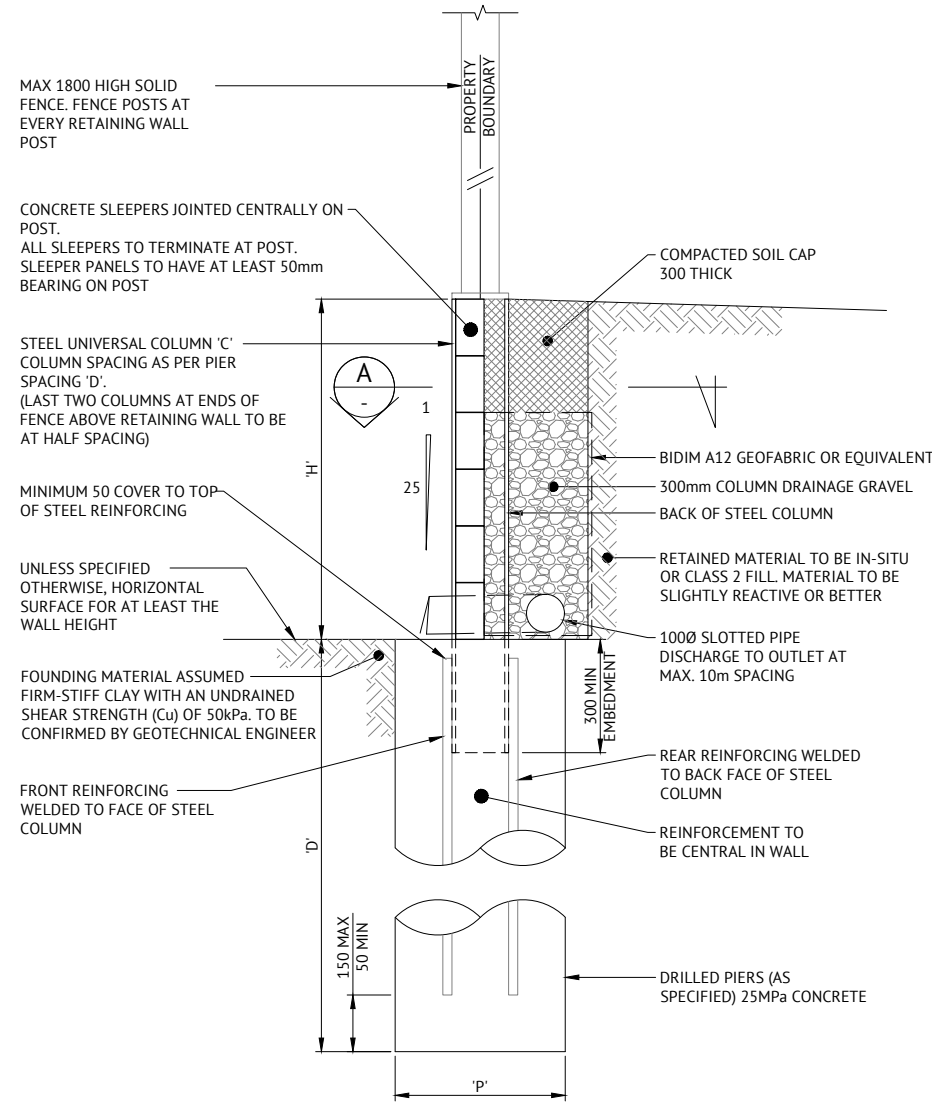




**FENCE CONNECTION
FRONT ELEVATION**
SCALE 1:5



**FENCE CONNECTION
SIDE ELEVATION**
SCALE 1:5



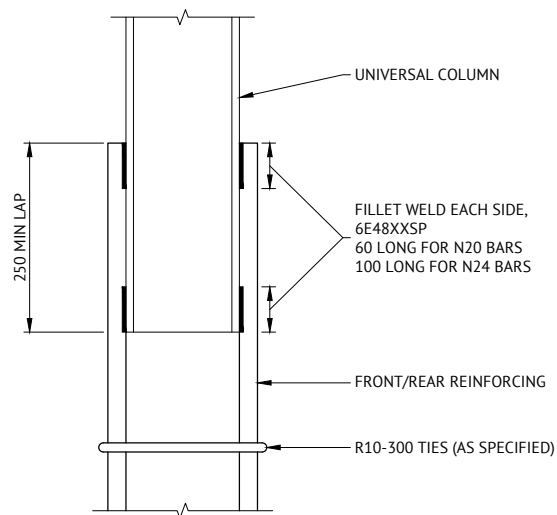
TYPICAL SLEEPER WALL SECTION
SCALE 1:10

WALL NOTES:

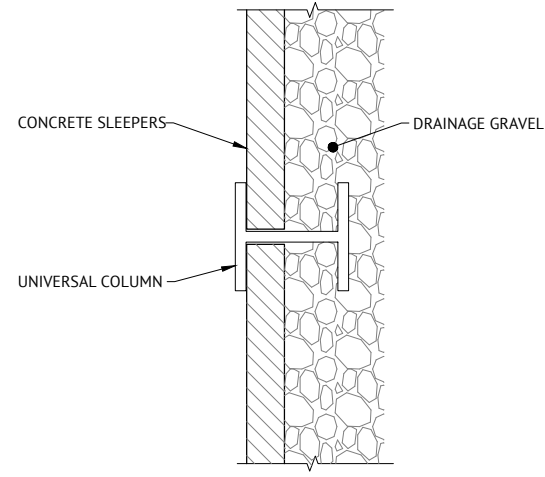
1. STEEL COLUMNS TO BE MINIMUM GRADE 300t AND HOT DIPPED GALVANISED, HDG500 AS PER AS4680.
2. CONCRETE SLEEPERS ARE TO CONCRIB SPECIFICATIONS.
3. THE WALL IS DESIGNED FOR A MAXIMUM BACKSLOPE ABOVE THE WALL OF 1 IN 10.
4. CONSTRUCTION TRAFFIC MUST BE KEPT A DISTANCE EQUIVALENT TO THE WALL HEIGHT AWAY FROM THE BACK OF THE WALL.
5. LARGE TREES AND SHRUBS ARE NOT TO BE PLANTED CLOSE TO THE WALL.
6. WATERING OF GARDEN BEDS AT THE TOP OF THE WALL MUST BE KEPT TO A MINIMUM.
7. THE WALL SHOULD HAVE A BACK LEAN OF APPROXIMATELY 1 IN 25.
8. BACKFILLING SHOULD NOT TAKE PLACE UNTIL THE CONCRETE HAS CURED FOR AT LEAST 3 DAYS.
9. NO EXCAVATION TO TAKE PLACE WITHIN 1m OF THE FRONT OF THE WALL.
10. THIS WALL IS NOT SUITABLE FOR AREAS SUBJECT TO FLOODING.
11. MINIMUM ALLOWABLE BEARING CAPACITY FOR FOUNDING SOILS IS 100kPa.
12. THE WALL HAS BEEN DESIGNED FOR 5kPa LIVE LOAD.
13. THE WALL HAS A DESIGN LIFE OF 60 YEARS AS PER AS4678.
14. THE WALL HAS BEEN DESIGNED BASED ON RETAINED MATERIAL HAVING AN INTERNAL FRICTION ANGLE OF 28°. GEOTECHNICAL ENGINEER TO CONFIRM.
15. DESIGN IS BASED ON A C2 WIND CLASSIFICATION.
16. WALL IS DESIGNED FOR DRAINED CONDITIONS. GEOTECHNICAL ENGINEER TO CONFIRM.
17. FOOTINGS HAVE BEEN DESIGNED BASED ON A FIRM-STIFF CLAY WITH AN UNDRAINED COHESION OF 50kPa. GEOTECHNICAL ENGINEER TO CONFIRM.
18. BOTTOM & MIDDLE FENCE RAILS TO BE INSTALLED AT COMPLETION OF POST INSTALLATION FOR SAFETY.
19. GEOTECHNICAL ENGINEER TO CONFIRM SOIL IS NON-AGGRESSIVE.

NOTE:
IF CONDITIONS ON SITE VARY FROM THE ABOVE, CONTACT PREMISE IMMEDIATELY.

'CONCRIB' OR APPROVED EQUIVALENT CONCRETE SLEEPER WALL TO MANUFACTURER'S SPECIFICATION



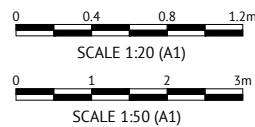
WELDING DETAILS
SCALE 1:5



SECTION A
SCALE 1:5

WALL DETAILS

WALL HEIGHT 'H'	FRONT FACE REINFORCMENT	REAR FACE REINFORCEMENT	TIES	COLUMN SIZE 'C'	PIER FOOTING SIZE 'P'	PIER FOOTING SIZE 'D'
≤ 1000	2 x N20	3 x N20	R10-300	150UC23.4	450Ø	1900 @ 2000 CTRS
≤ 1400	2 x N20	3 x N20	R10-300	150UC23.4	450Ø	2400 @ 2000 CTRS



No.	Date	Details	Check
A	16.06.23	Original Issue	GEO

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 Meridian: MGA Zone 55 N: 91444.889
 Map Reference:
 Contour Interval:
 Job No: 27001-178-01
 File No: 27001_277A.dwg

Surveyed by: BM
 Drawn: MJM
 Approved:

MENDI CONSTRUCTIONS DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

AUTHORISED DELEGATE
 DATE **23/06/2023**

PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

RPEQ 13231
 DATE ...27/06/23...

Client:	PARKSIDE DEVELOPMENT PTY LTD
Project:	AS CONSTRUCTED - COSGROVE 301 & 302 COSGROVE DRIVE, COSGROVE RETAINING WALL DETAILS
Local Authority:	Townsville City Council
Locality:	Cosgrove

Date:	16th June, 2023
Sheet:	1 of 1 Sheets
Scale:	AS SHOWN
Plan No:	27001/277 A

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 MAPPING&GIS

WATER LEGEND

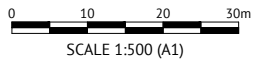
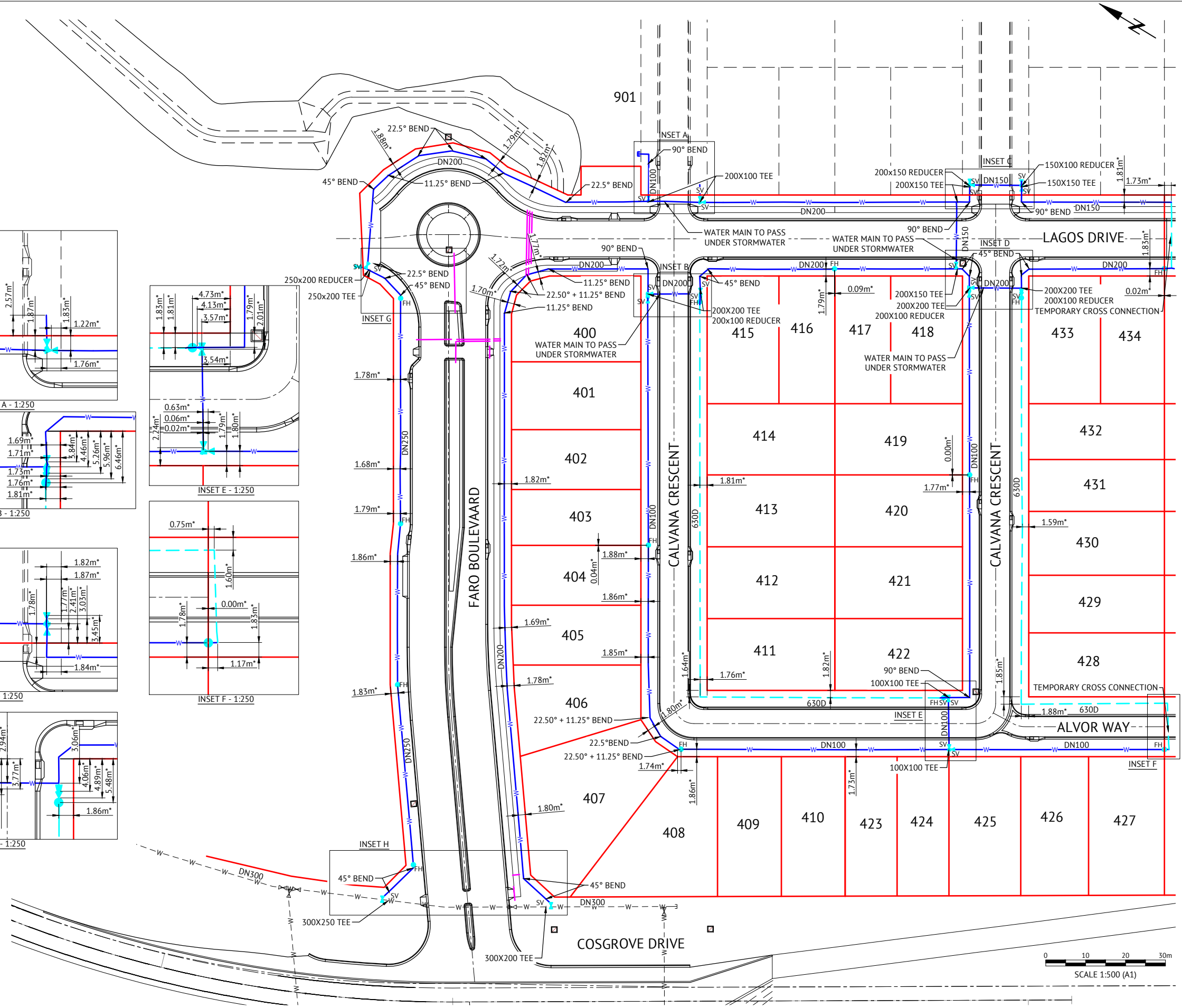
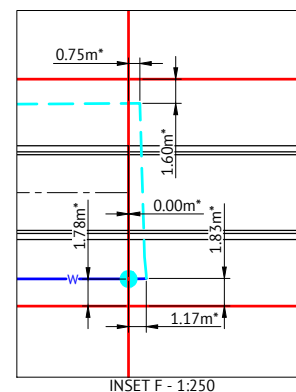
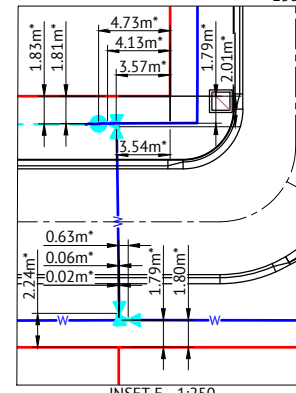
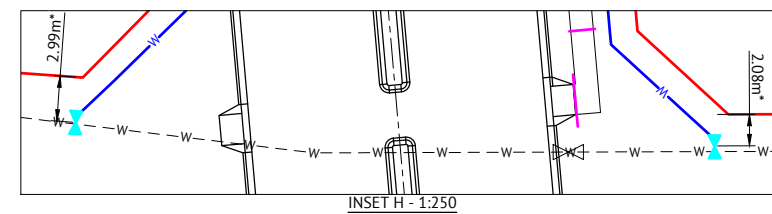
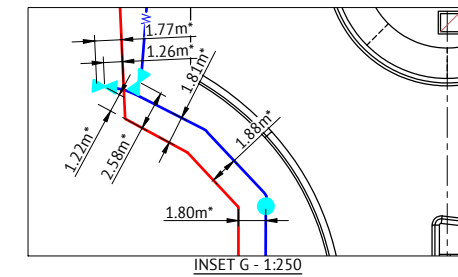
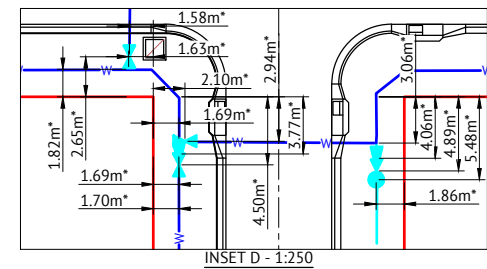
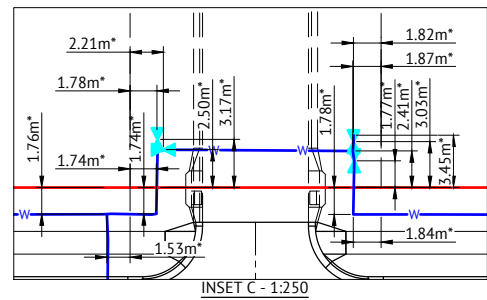
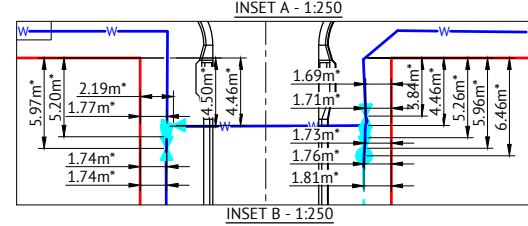
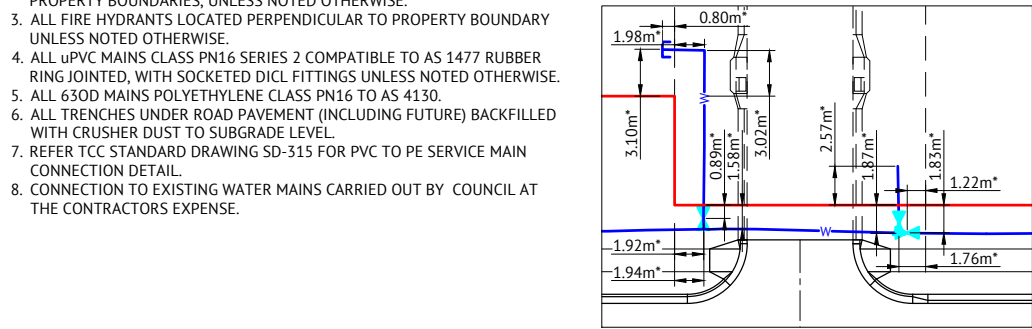
- DN100 WATER MAIN AND DIAMETER
- 630D POLYETHYLENE WATER MAIN AND DIAMETER
- FH SV FIRE HYDRANT, VALVE AND REDUCER
- EXISTING WATER MAIN, VALVE AND HYDRANT

IRRIGATION CONDUITS LEGEND

- DN100 CONDUIT
- DN150 CONDUIT

WATER NOTES

1. ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND PROJECT SPECIFICATION.
2. ALL WATER MAINS LOCATED ON A 1.8m ±0.1m ALIGNMENT OFFSET FROM PROPERTY BOUNDARIES, UNLESS NOTED OTHERWISE.
3. ALL FIRE HYDRANTS LOCATED PERPENDICULAR TO PROPERTY BOUNDARY UNLESS NOTED OTHERWISE.
4. ALL uPVC MAINS CLASS PN16 SERIES 2 COMPATIBLE TO AS 1477 RUBBER RING JOINTED, WITH SOCKETED DICL FITTINGS UNLESS NOTED OTHERWISE.
5. ALL 630D MAINS POLYETHYLENE CLASS PN16 TO AS 4130.
6. ALL TRENCHES UNDER ROAD PAVEMENT (INCLUDING FUTURE) BACKFILLED WITH CRUSHER DUST TO SUBGRADE LEVEL.
7. REFER TCC STANDARD DRAWING SD-315 FOR PVC TO PE SERVICE MAIN CONNECTION DETAIL.
8. CONNECTION TO EXISTING WATER MAINS CARRIED OUT BY COUNCIL AT THE CONTRACTORS EXPENSE.



No.	Date	Details	Check
A	16.06.23	Original Issue	GE0

Level Datum: AHD (DERIVED)
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 Meridian: MGA Zone 55 N: 91444.889
 Map Reference:
 Contour Interval:
 Surveyed by: BM
 Job No: 27001-178-01
 File No: 27001_284A.dwg
 Drawn: MJM
 Approved:

BRAZIER MOTTI PTY LTD (ACN 066 411 041), 595 FLINDERS STREET, TOWNSVILLE HEREBY CERTIFY THAT THIS DRAWING ACCURATELY AND CORRECTLY DESCRIBES AND RECORDS THE NATURE AND LOCATION OF THE WORKS SHOWN BY ASTERISKS (*) HEREON AS THEY HAVE BEEN CONSTRUCTED BY THIS DIVISION.
 DATE: 23-06-23

MENDI CONSTRUCTIONS DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.
 AUTHORISED DELEGATE: [Signature]
 DATE: 23/06/2023

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 RPEQ: 13231
 DATE: 27/06/23

Client: PARKSIDE DEVELOPMENT PTY LTD
 Project: AS CONSTRUCTED - COSGROVE 301 & 302
 WATER RETICULATION PLAN
 Local Authority: Townsville City Council
 Locality: Cosgrove

Date: 16th June, 2023
 Sheet 1 of 1 Sheets
 Scale: AS SHOWN
 Plan No: 27001/284 A
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FOR CONTINUATION SEE LEFT

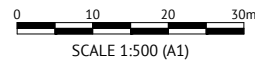
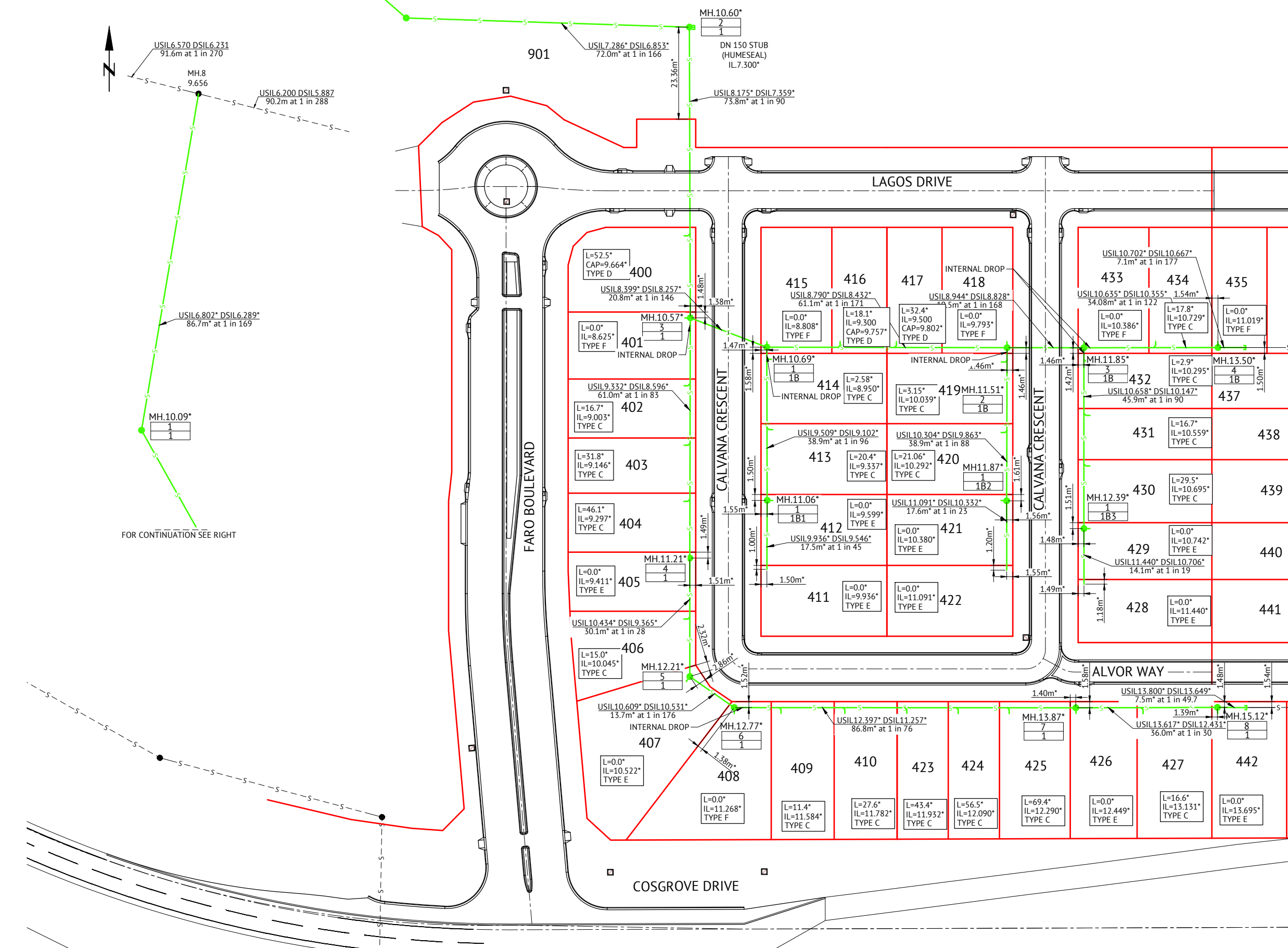


SEWER LEGEND

- STORMWATER DRAINAGE LINE
- SEWER MAIN AND MANHOLE (MH)
- SEWER MAIN AND MAINTENANCE SHAFT (MS)
- DN100 SEWER HOUSE DRAIN
- EXISTING SEWER MAIN AND MANHOLE
- MH.6.57*
1
ML04f
TYPE & INDICATIVE TOP OF MANHOLE
LEVEL MANHOLE NUMBER
LINE NUMBER
- HOUSE CONNECTION (X&Y DIMENSIONS AS
PER RELEVANT COUNCIL STANDARD
DRAWING U.N.O.)
- L=3.0*
IL=5.160*
TYPE D
DISTANCE FROM DOWNSTREAM MANHOLE
INVERT LEVEL OF HOUSE CONNECTION POINT
HOUSE CONNECTION TYPE
TYPE A - ACROSS BOUNDARY 'SLOPE DROP'
TYPE B - ACROSS BOUNDARY 'JUMP UP'
TYPE C - WITHIN LOT 'DIRECT CONNECTION'
TYPE D - WITHIN LOT 'JUMP UP'
TYPE E - MANHOLE 'DIRECT CONNECTION'
TYPE F - MANHOLE 'INTERNAL DROP'
TYPE G - MAINTENANCE SHAFT CONNECTION
TYPE Ex - EXISTING HOUSE CONNECTION

SEWER NOTES

1. ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND PROJECT SPECIFICATION
2. ALL SEWERAGE MAINS LOCATED ON 1.5m ±0.1m ALIGNMENT OFFSET FROM THE PROPERTY BOUNDARIES, UNLESS NOTED OTHERWISE.
3. ALL SEWERAGE MAINS DN150, UNLESS NOTED OTHERWISE.
4. ALL DN150 AND DN225 SEWERAGE MAINS uPVC DWV SN8, UNLESS NOTED OTHERWISE.
5. ALL DN100 HOUSE DRAINS uPVC DWV SN10, UNLESS NOTED OTHERWISE. (MAXIMUM LENGTH 10.0m)
6. ALL TRENCHES UNDER ROAD PAVEMENT BACKFILLED WITH CRUSHER DUST TO SUBGRADE LEVEL.
7. CONNECTION/ALTERATIONS TO EXISTING SEWERAGE INFRASTRUCTURE CARRIED OUT BY COUNCIL AT THE CONTRACTORS EXPENSE.
8. ALL MANHOLE INTERNAL DROP 'CORES' ARE NOT LOCATED WITHIN 150mm OF PRECAST WALL JOINTS.
IF CLASH OCCURS SUPERINTENDENT TO PROVIDE FURTHER INSTRUCTIONS PRIOR TO MANHOLE BEING 'CORED'.
9. TOP OF MANHOLE LEVELS PROVIDED ARE INDICATIVE. REFER TCC STANDARD DRAWING SD-475 FOR FINISHED LEVELS OF MANHOLE COVERS.



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DIRECTOR
 DATE: 23-06-23

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RPEQ: 13231
 DATE: 27/06/23

Client: PARKSIDE DEVELOPMENT PTY LTD
 Project: AS CONSTRUCTED - COSGROVE 301 & 302
 SEWERAGE RETICULATION PLAN
 Local Authority: Townsville City Council
 Locality: Cosgrove

Date: 16th June, 2023
 Sheet 1 of 1 Sheets
 Scale: AS SHOWN
 Plan No: 27001/285 A

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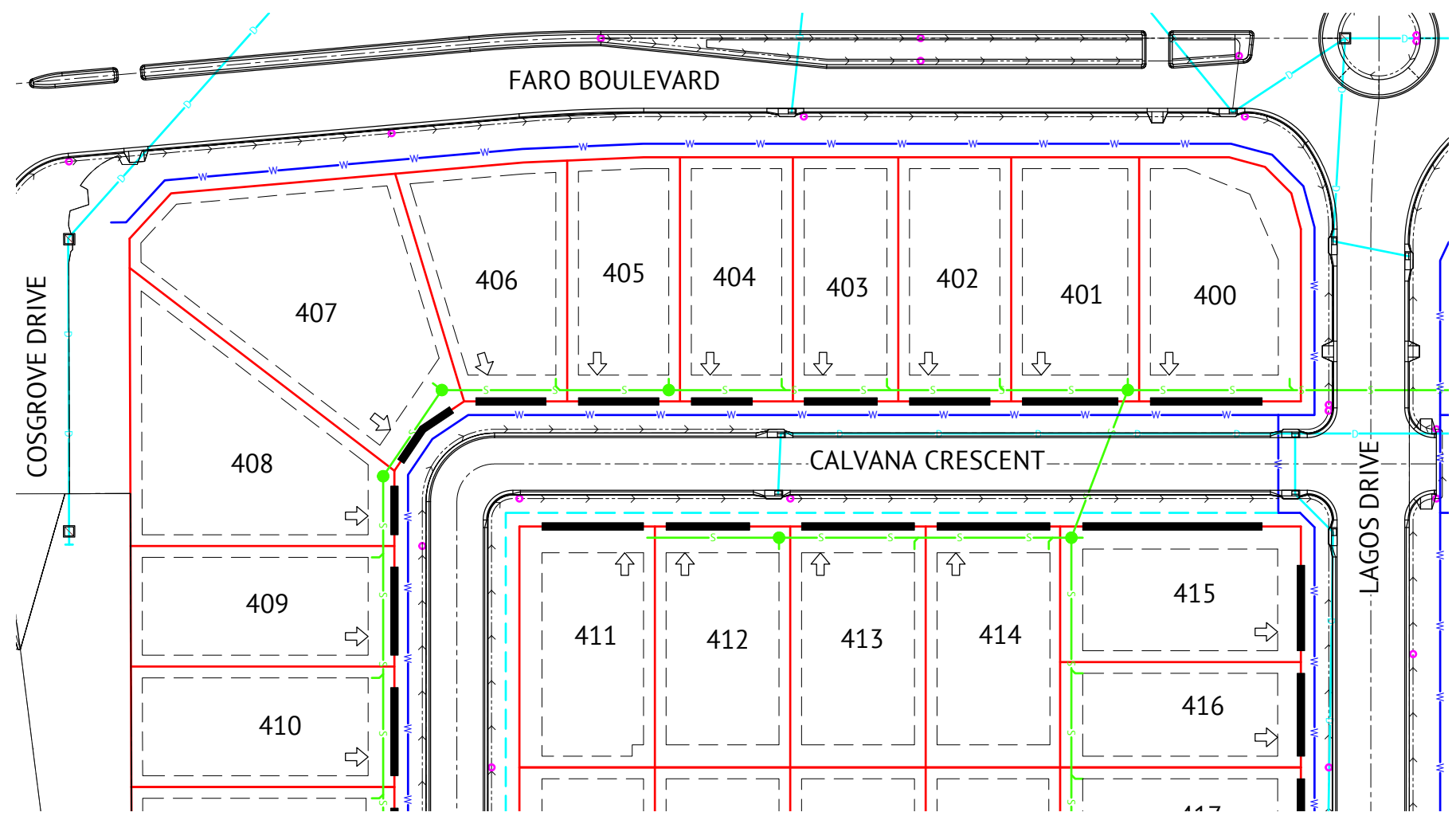
LEGEND

- ALLOWABLE DRIVEWAY ACCESS
- SEWER MAIN & MANHOLE
- WATER MAIN, FIRE HYDRANT & SLUICE VALVE
- STORMWATER DRAINAGE LINE
- SUBSOIL DRAIN & CLEANOUT POINT
- EXISTING SEWER MAIN & MANHOLE
- EXISTING WATER MAIN
- EXISTING STORMWATER
- BUILDING SETBACK, REFER NOTE 3
- PREFERRED DRIVEWAY LOCATION

- ### DRIVEWAY ACCESS ENVELOPE
- FOR DRIVEWAY ACCESS ENVELOPE ALLOW 0.5m MINIMUM CLEARANCE TO ALL COUNCIL INFRASTRUCTURE, EXCEPT STORMWATER PITS WHICH REQUIRE 0.6m MINIMUM CLEARANCE AND SEWERAGE HOUSE CONNECTIONS WHICH REQUIRE 1.2m MINIMUM CLEARANCE.
 - ALL DRIVEWAYS REQUIRED A PERMIT FROM COUNCIL PRIOR TO CONSTRUCTION

- ### CORNER SIGHT LINES
- COMPLY WITH SIGHT LINES REQUIREMENT OF THE QUEENSLAND AND DEVELOPMENT CODE ON ROAD CORNERS. THIS IS TYPICALLY A 9m x 9m EXCLUSION ZONE BASED ON BOUNDARIES.
 - FOR CLOPPED CORNERS AND LOTS WITH PARK FRONT AGES TYPICALLY THIS IS A 18m x 18m EXCLUSION ZONE BASED ON THE EDGE OF THE TRAFFIC LANE. REAR ACCESS LANES ARE EXEMPTED FROM THIS REQUIREMENT.

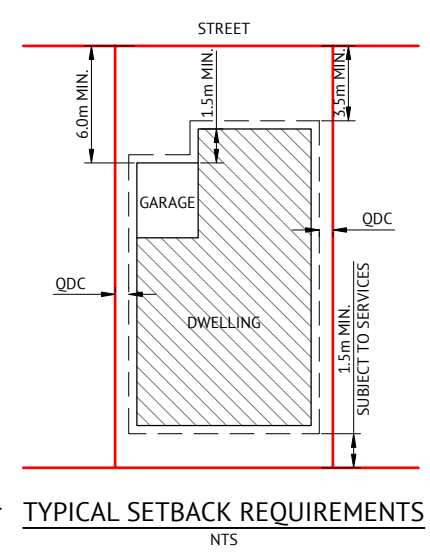
- ### BUILDING SETBACK
- "SETBACK" MEANS A LINE OR LINES PARALLEL TO ANY BOUNDARY OF A LOT BEYOND WHICH THE BUILDING OR OTHER STRUCTURE SHALL NOT ENCR OACH, AND MEASURED AS THE SHORTEST HORIZONTAL DISTANCE FROM THE OUTERMOST PROJECTION OF THE BUILDING OR OTHER STRUCTURE TO THE VERTICAL PROJECTION OF THE LOT BOUNDARY (TOWNSVILLE CITY PLAN 2005, PAGE 491).
 - THE BUILDING ENVELOPES ARE TO COMPLY WITH THE DESIGN CODE SHOWN ON THIS PLAN. GREATER SETBACKS MAY BE REQUIRED TO ACCOMMODATE THE ZONE OF INFLUENCE OF UNDERGROUND SERVICES AS STATED IN COUNCIL'S POLICY ON BUILDING OVER OR ADJACENT TO SEWERS.
 - DIMENSIONS ARE QDC GROUND DWELLING ONLY AND DO NOT ACCOUNT FOR BATTERS OR RETAINING WALLS. A SITE INSPECTION IS REQUIRED PRIOR TO COMMENCEMENT OF DESIGN. REFER DESIGN CODE FOR UPPER FLOOR AND GARAGE SETBACKS.



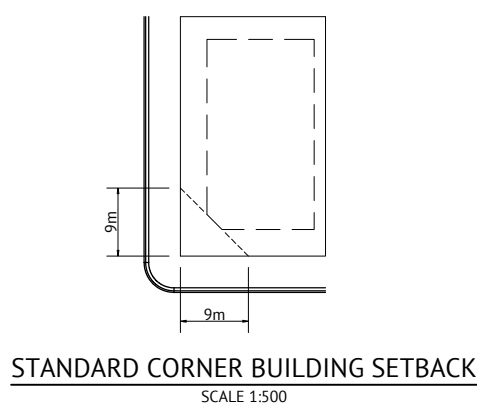
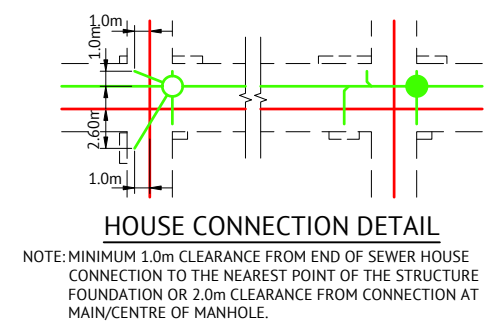
DESIGN CODE - ALL ALLOTMENTS

TYPE	HOUSE, FRONT LOADED
LOT ACCESS	FRONT
LOT DEPTH (MIN)	25m (20m WHERE 15m WIDTH PROPOSED)
LOT WIDTH (MIN)	10.0m
SITE COVERAGE	MAY EXCEED 50% IN RESPONSE TO CODE REQUIREMENTS, BUT NO MORE THAN 60% SITE COVERAGE.
SETBACK FRONT GROUND (MIN) AND UPPER (MIN)	3.5m
SETBACK FRONT GARAGE	6m AND 1.5m BEHIND FRONT OF DWELLING
SETBACK PRINCIPAL SIDE GROUND (MIN)	QDC
SETBACK PRINCIPAL SIDE UPPER (MIN)	QDC
SETBACK SECONDARY ROAD FRONTAGE (MIN)	2m
SETBACK PRINCIPAL REAR (MIN)	1.5m (SEWER LINES AND MANHOLES MAY ENFORCE GREATER SETBACKS)*
OUTBUILDING (SHED) WIDTH (MAX)	LESSER OF 50% OF REAR BOUNDARY OR 9m
OUTBUILDING (SHED) DEPTH (MAX)	9m
OUTBUILDING (SHED) REAR SETBACK	0-1.0m
OUTBUILDING (SHED) SIDE SETBACK	ZERO IF LOT 12.5m WIDE. AS PER PRINCIPAL SETBACK IF LOT >12.5m WIDE
FLOOR HEIGHT PRINCIPAL (MIN)	400mm
MAXIMUM STOREYS	AS PER THE APPLICABLE SCHEME
PRIVATE OPEN SPACE (MIN) (MAY BE COVERED)	4mx4m
PARKING (MIN)	TWO (2), ONE OF WHICH MUST BE COVERED

*NOTE: CLEARANCES TO SEWER LINES AND MANHOLES ARE REQUIRED IN ACCORDANCE WITH COUNCIL POLICY.



- ### NOTES
- 60% MAXIMUM SITE COVERAGE.
 - FOR FRONT SETBACK TO GARAGE, MEASURE FROM THE FRONT BOUNDARY TO THE GARAGE OPENING (WALL).
 - ALL OTHER SETBACKS ARE MEASURED FROM THE BOUNDARY TO THE OUTERMOST PROJECTIONS.



LIGHT POLES & TELSTRA PITS HAVE NOT BEEN SHOWN

CONSTRUCTION ISSUE

DATE	REV	DESCRIPTION	REC	APP
30/09/2022	A	ISSUED FOR CONSTRUCTION	LH	P.P
02/08/2022	2	COSGROVE DRIVE INTERSECTION AMENDED	G.F	P.P
10/04/2022	1	PRELIMINARY - NOT FOR CONSTRUCTION	LH	P.P

Premise
 TOWNSVILLE OFFICE
 84 DENHAM STREET
 PO BOX 1110
 TOWNSVILLE, QLD 4810
 PH: (07) 4772 0666
 WEB: www.premise.com.au

DESIGNED
G.FYSH
 CHECKED
P.PETERSEN
 PROJECT MANAGER
P.PETERSEN
 ENGINEERING CERTIFICATION
 P.PETERSEN RPEQ 13231

SCALE
 0 8 16 24m
 SCALE 1:400 (A1)
 ORIGINAL SHEET SIZE A1

CLIENT
PARKSIDE DEVELOPMENT PTY LTD
 PROJECT
COSGROVE STAGE 301 & 302
 LOCATION
COSGROVE DRIVE, COSGROVE
 SHEET TITLE
BUILDING ENVELOPE & DRIVEWAY ACCESS PLAN - SHEET 1 OF 2

JOB CODE
PAR-0226
 SHEET NUMBER
C032
 REV
A

LEGEND

- ALLOWABLE DRIVEWAY ACCESS
- SEWER MAIN & MANHOLE
- WATER MAIN, FIRE HYDRANT & SLUICE VALVE
- STORMWATER DRAINAGE LINE
- SUBSOIL DRAIN & CLEANOUT POINT
- EXISTING SEWER MAIN & MANHOLE
- EXISTING WATER MAIN
- EXISTING STORMWATER
- BUILDING SETBACK, REFER NOTE 3
- PREFERRED DRIVEWAY LOCATION



DRIVEWAY ACCESS ENVELOPE

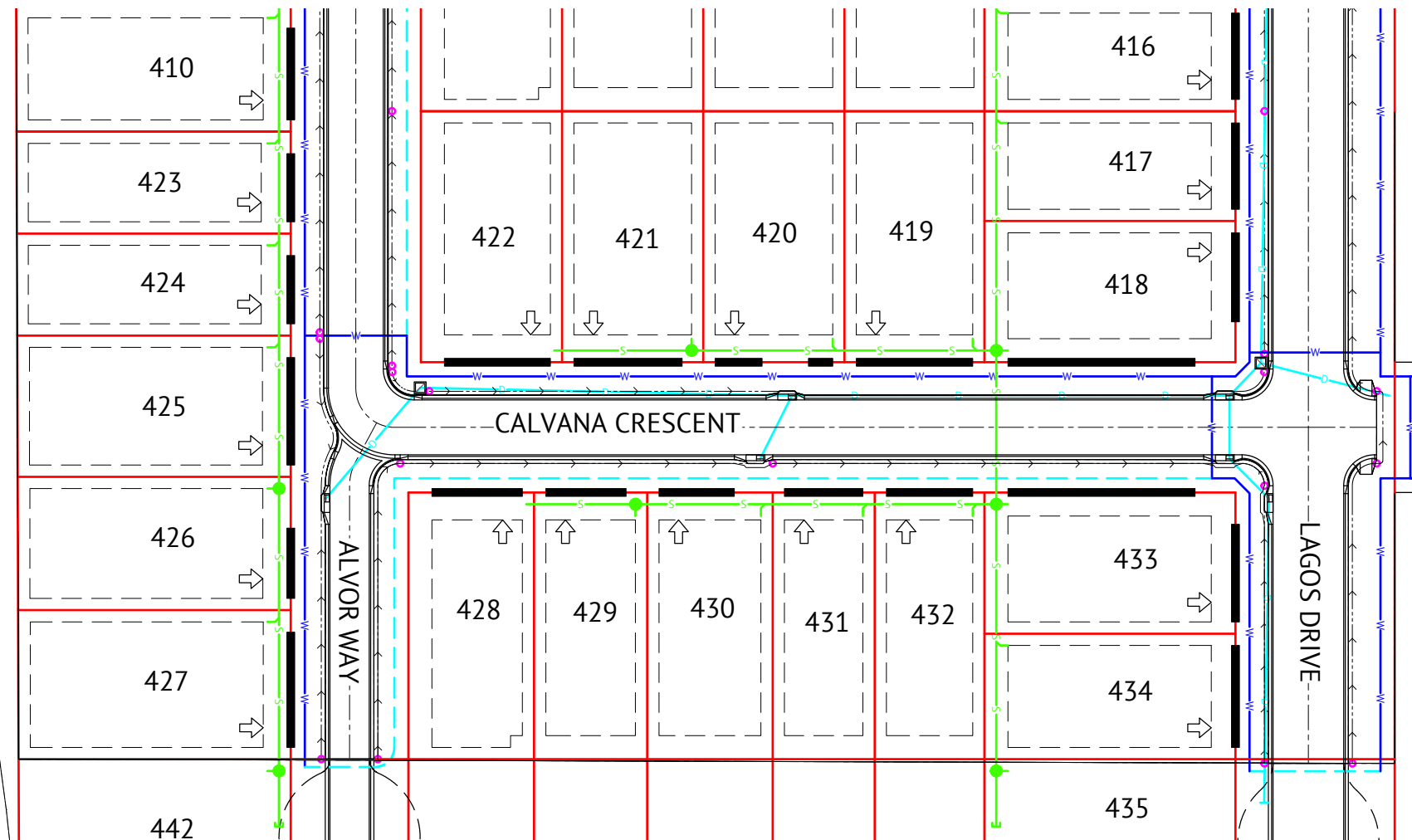
- FOR DRIVEWAY ACCESS ENVELOPE ALLOW 0.5m MINIMUM CLEARANCE TO ALL COUNCIL INFRASTRUCTURE, EXCEPT STORMWATER PITS WHICH REQUIRED 0.6m MINIMUM CLEARANCE AND SEWERAGE HOUSE CONNECTIONS WHICH REQUIRE 1.2m MINIMUM CLEARANCE.
- ALL DRIVEWAYS REQUIRED A PERMIT FROM COUNCIL PRIOR TO CONSTRUCTION

CORNER SIGHT LINES

- COMPLY WITH SIGHT LINES REQUIREMENT OF THE QUEENSLAND AND DEVELOPMENT CODE ON ROAD CORNERS. THIS IS TYPICALLY A 9m x 9m EXCLUSION ZONE BASED ON BOUNDARIES.
- FOR CLOPPED CORNERS AND LOTS WITH PARK FRONT AGES TYPICALLY THIS IS A 18m x 18m EXCLUSION ZONE BASED ON THE EDGE OF THE TRAFFIC LANE. REAR ACCESS LANES ARE EXEMPTED FROM THIS REQUIREMENT.

BUILDING SETBACK

- "SETBACK" MEANS A LINE OR LINES PARALLEL TO ANY BOUNDARY OF A LOT BEYOND WHICH THE BUILDING OR OTHER STRUCTURE SHALL NOT ENCROACH, AND MEASURED AS THE SHORTEST HORIZONTAL DISTANCE FROM THE OUTERMOST PROJECTION OF THE BUILDING OR OTHER STRUCTURE TO THE VERTICAL PROJECTION OF THE LOT BOUNDARY (TOWNSVILLE CITY PLAN 2005, PAGE 491).
- THE BUILDING ENVELOPES ARE TO COMPLY WITH THE DESIGN CODE SHOWN ON THIS PLAN. GREATER SETBACKS MAY BE REQUIRED TO ACCOMMODATE THE ZONE OF INFLUENCE OF UNDERGROUND SERVICES AS STATED IN COUNCIL'S POLICY ON BUILDING OVER OR ADJACENT TO SEWERS.
- DIMENSIONS ARE QDC GROUND DWELLING ONLY AND DO NOT ACCOUNT FOR BATTERS OR RETAINING WALLS. A SITE INSPECTION IS REQUIRED PRIOR TO COMMENCEMENT OF DESIGN. REFER DESIGN CODE FOR UPPER FLOOR AND GARAGE SETBACKS.



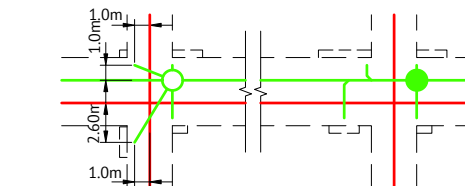
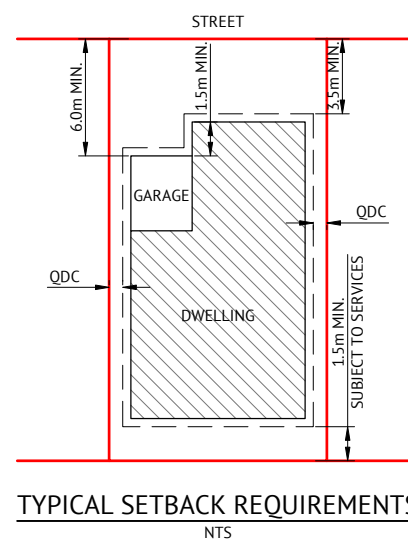
DESIGN CODE - ALL ALLOTMENTS

TYPE	HOUSE, FRONT LOADED
LOT ACCESS	FRONT
LOT DEPTH (MIN)	25m (20m WHERE 15m WIDTH PROPOSED)
LOT WIDTH (MIN)	10.0m
SITE COVERAGE	MAY EXCEED 50% IN RESPONSE TO CODE REQUIREMENTS, BUT NO MORE THAN 60% SITE COVERAGE.
SETBACK FRONT GROUND (MIN) AND UPPER (MIN)	3.5m
SETBACK FRONT GARAGE	6m AND 1.5m BEHIND FRONT OF DWELLING
SETBACK PRINCIPAL SIDE GROUND (MIN)	QDC
SETBACK PRINCIPAL SIDE UPPER (MIN)	QDC
SETBACK SECONDARY ROAD FRONTAGE (MIN)	2m
SETBACK PRINCIPAL REAR (MIN)	1.5m (SEWER LINES AND MANHOLES MAY ENFORCE GREATER SETBACKS)*
OUTBUILDING (SHED) WIDTH (MAX)	LESSER OF 50% OF REAR BOUNDARY OR 9m
OUTBUILDING (SHED) DEPTH (MAX)	9m
OUTBUILDING (SHED) REAR SETBACK	0-1.0m
OUTBUILDING (SHED) SIDE SETBACK	ZERO IF LOT 12.5m WIDE. AS PER PRINCIPAL SETBACK IF LOT >12.5m WIDE
FLOOR HEIGHT PRINCIPAL (MIN)	400mm
MAXIMUM STOREYS	AS PER THE APPLICABLE SCHEME
PRIVATE OPEN SPACE (MIN) (MAY BE COVERED)	4m x 4m
PARKING (MIN)	TWO (2), ONE OF WHICH MUST BE COVERED

*NOTE: CLEARANCES TO SEWER LINES AND MANHOLES ARE REQUIRED IN ACCORDANCE WITH COUNCIL POLICY.

NOTES

- 60% MAXIMUM SITE COVERAGE.
- FOR FRONT SETBACK TO GARAGE, MEASURE FROM THE FRONT BOUNDARY TO THE GARAGE OPENING (WALL).
- ALL OTHER SETBACKS ARE MEASURED FROM THE BOUNDARY TO THE OUTERMOST PROJECTIONS.



HOUSE CONNECTION DETAIL
NOTE: MINIMUM 1.0m CLEARANCE FROM END OF SEWER HOUSE CONNECTION TO THE NEAREST POINT OF THE STRUCTURE FOUNDATION OR 2.0m CLEARANCE FROM CONNECTION AT MAIN/CENTRE OF MANHOLE.

LIGHT POLES & TELSTRA PITS HAVE NOT BEEN SHOWN

STANDARD CORNER BUILDING SETBACK
SCALE 1:500

TYPICAL SETBACK REQUIREMENTS
NTS

CONSTRUCTION ISSUE

DATE	REV	DESCRIPTION	REVISIONS	LH	P.P
30/09/2022	A	ISSUED FOR CONSTRUCTION		LH	P.P
10/04/2022	1	PRELIMINARY - NOT FOR CONSTRUCTION		LH	P.P

Premise
TOWNSVILLE OFFICE
84 DENHAM STREET
PO BOX 1110
TOWNSVILLE, QLD 4810
PH: (07) 4772 0666
WEB: www.premise.com.au

DESIGNED
G.FYSH
CHECKED
P.PETERSEN
PROJECT MANAGER
P.PETERSEN
ENGINEERING CERTIFICATION
P.PETERSEN RPEQ 13231

SCALE
0 8 16 24m
SCALE 1:400 (A1)
ORIGINAL SHEET SIZE A1

CLIENT
PARKSIDE DEVELOPMENT PTY LTD
PROJECT
COSGROVE STAGE 301 & 302
LOCATION
COSGROVE DRIVE, COSGROVE
SHEET TITLE
BUILDING ENVELOPE & DRIVEWAY ACCESS PLAN - SHEET 2 OF 2

JOB CODE
PAR-0226
SHEET NUMBER
C033
REV
A

STANDARD DESIGN NOTES:

- THERE ARE A TOTAL OF 17 SINGLE RESIDENTIAL DWELLING LOTS.
- REFER TO SPA DRAWING 3544-E01 FOR COORDINATION WITH THE ELECTRICAL DESIGN.

LEGEND

PIT-ID 2	NBN Co PIT TYPE 2 PLASTIC PIT OR SIMILAR	ZERO LOT PROPERTY BOUNDARY
PIT-ID 5	NBN Co PIT TYPE 5 PLASTIC PIT OR SIMILAR	SHARED TRENCH
PIT-ID 6	NBN Co PIT TYPE 6 PLASTIC PIT OR SIMILAR	TRANSFORMER / KIOSK / PAD MOUNT SUB-STATION / POLE MOUNT TRANSFORMER
PIT-ID 8	NBN Co PIT TYPE 8 PLASTIC PIT OR SIMILAR	END CAP CONDUIT WITH STATION NO.
5	EXISTING TELSTRA PIT (2,3,4,5,6,7,8,9)	CAP SERVICE CONDUIT (P50/P20) P20=P23 mm NBNCo SERVICE CONDUIT
PIT-ID 8	EXISTING NBN Co PIT	LOCAL CONDUIT (P100/P50)
---	EXISTING CONDUIT	NBNCo STAGE BOUNDARY

CONDUIT CONFIGURATION

CONDUITS AND DUCTS ARE IN LAYER:
< L460 NBN Support - Underground >
AND TERMINOLOGY CATEGORISED INTO TWO GROUPS IN
THE DRAWINGS AS PER BELOW:

1-DUCT USED WITH LOCAL NETWORK
2-CONDUIT USED WITH LEAD-IN DROPS

ATTRIBUTES ATTACHED TO CONDUITS ARE AS SHOWN



- NOTE:**
- P100 HAS AN INTERNAL DIAMETER OF 104.9 mm AND A MINIMUM WALL THICKNESS OF 4.5 mm
 - P50 HAS AN INTERNAL DIAMETER OF 53 mm AND A MINIMUM WALL THICKNESS OF 3.1 mm
 - P20 HAS AN INTERNAL DIAMETER OF 23.3 mm AND A MINIMUM WALL THICKNESS OF 1.4 mm

SDU Development Information

Development Name:
Cosgrove Estate
Developer Company:
Parkside Development Pty Ltd
Development Address:
Cosgrove Dr, Cosgrove
Authorised Rep:
SPA Consulting Engineers (Qld) Pty Ltd
Phone: 074 7283026
E-Mail: admin@spaconsulting.com.au
nbn Reference Number: STG-M000097825
Stage Number: 301
Design Revision: B

BILL OF MATERIAL

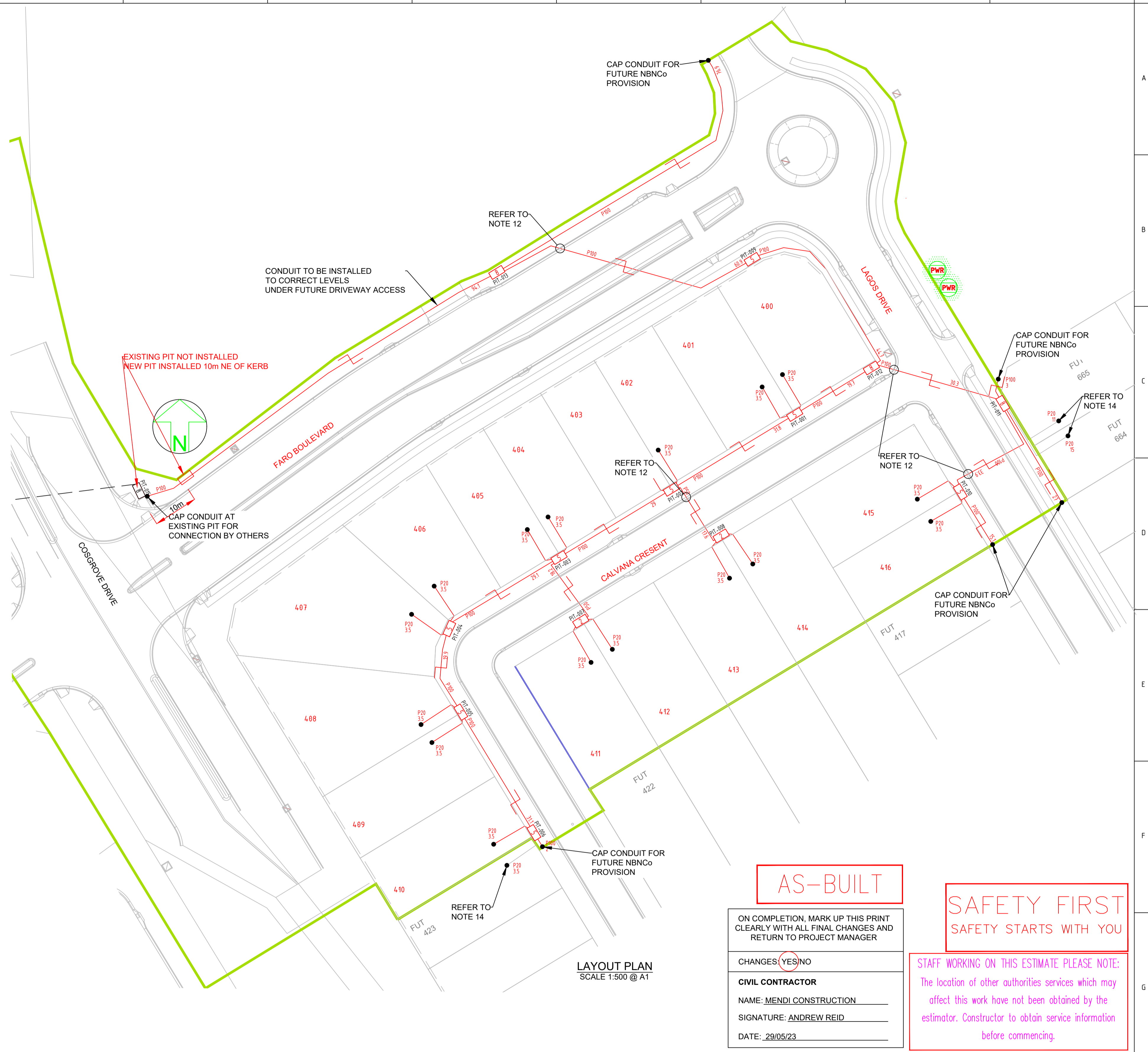
NO OF LOTS: 17

PITS		DUCTS		
SIZE	QTY	SIZE	QTY	MTRS
2	2	P100	15	545.5
5	8	P50	2	35.8
6	0	P20	17	62.5
8	3			
9	0			

TOTAL NUMBER OF PITS: 13
TOTAL NUMBER OF MANHOLES: 0
TOTAL NUMBER OF CONDUITS: 35
TOTAL LENGTH OF CONDUITS: 643.8

STANDARD CONSTRUCTION NOTES:

- REFER TO NBN Co DOCUMENT NO. NBN-TE-CTO-194 (DEPLOYMENT OF THE NBN Co CONDUIT AND PIT NETWORK - GUIDELINES FOR DEVELOPERS) FOR DETAILED CONSTRUCTION SPECIFICATION.
- MULTIPLE 15° CONDUIT BENDS TO BE USED TO SWING IN AND OUT OF THE STANDARD TRENCH ALIGNMENT AND ENTER THE NARROW ENDS OF THE PIT.
- PITS TO INCLUDE LID GASKET TO PREVENT DIRT ENTRY AND SPREADER BARS TO PREVENT PIT BUCKLING DURING BACKFILL / GROUND COMPACTION. PIT LIDS TO BE EMBOSSED WITH "NBN" AND COMPLY AS PER CLAUSE 5.3.2 OF THE ABOVE NBN Co DOCUMENT.
- SERVICE CONDUITS TO EXTEND 1m INSIDE THE FRONT PROPERTY BOUNDARY. REFER EXTENDED SERVICE CONDUIT DETAIL FOR DISTANCES FROM DIVIDING PROPERTY BOUNDARY FOR BOUNDARIES WITHOUT PIT. CONTRACTORS TO TIE TELECOMMUNICATIONS CAUTION TAPE TO END OF SERVICE CONDUITS AND EXTEND TO ABOVE GROUND LEVEL FOR FUTURE CONDUIT LOCATION.
- ALL CONDUITS TO ENTER AND EXIT AT NARROW ENDS OF PITS ONLY. LOCATE CONDUITS AS CENTRALLY IN PIT END WALLS AS POSSIBLE. CONDUITS SHALL NOT BE INSTALLED WITHIN 50 mm OF ANY CORNER OF THE PIT. MINIMUM SEPARATION BETWEEN CONDUITS TO BE 25 mm. INSTALL CONDUITS AND CONDUIT COLLARS (BUSHES) TO BE SQUARE AND FLUSH WITH THE PIT END WALL. REFER TO THE PIT END WALL DETAILS IN THIS DESIGN FOR ADDITIONAL REQUIREMENTS.
- MINIMUM COVER TO BE: 300 mm FOR SERVICE DROP CONDUITS, 450 mm IN VERGE, 600 mm UNDER LOCAL ROADS, AND 800 mm UNDER MAIN ROADS.
- CONDUITS ARE TO BE CLEANED AND PROVEN USING A MANDREL. AFTER TESTING INSTALL A SUITABLE DRAW ROPE TO ALL CONDUITS AND CAP CONDUIT ENDS. SEAL CONDUITS AT PITS TO PREVENT ENTRY OF DUST AND MOISTURE. SERVICE CONDUIT DRAW ROPES TO BE ADDITIONALLY FITTED WITH A PLASTIC LABEL AT PIT END, IDENTIFYING LOT NUMBER AND DISTANCE / DIRECTION FROM BOUNDARY.
- INSTALL NON CONDUCTIVE (METAL FREE) MARKER TAPE ABOVE ALL NBN Co CONDUITS, 300 mm BELOW FINISHED GROUND LEVEL. INSTALL METALLIC KERB MARKERS AT ROAD CROSSINGS.
- REFER TO ERGON ENERGY STANDARD DRAWINGS 5228 AND 5168 SHEETS 1 TO 3 FOR SHARED TRENCH CROSS SECTIONS.
- GRADE TOP OF PIT TO MATCH VERGE / FOOTPATH.
- WHERE REQUIRED, SUPPLY AND INSTALL SERVICE AND ROAD CROSSING CONDUITS SHOWN IN THE SITE PLAN.
- WHERE SPECIFIED ON THE SITE PLAN, NBN Co CONDUIT TO BE INSTALLED UNDERNEATH STORM WATER. REFER TO THE NBN Co DEPLOYMENT OF CONDUIT AND PIT NETWORK GUIDELINES FOR THE MINIMUM CLEARANCES REQUIRED.
- SUPPLY AND INSTALL ADDITIONAL DEVIATING CONDUIT BENDS TO ACHIEVE THE INCREASED / DECREASED BURIAL DEPTH REQUIRED TO AVOID CLASH WITH OTHER SERVICES.
- CONDUIT INSTALLED IN THIS STAGE. FIBRE TO BE RETICULATED IN FUTURE STAGE.



AS-BUILT

SAFETY FIRST
SAFETY STARTS WITH YOU

ON COMPLETION, MARK UP THIS PRINT CLEARLY WITH ALL FINAL CHANGES AND RETURN TO PROJECT MANAGER

CHANGES YES/NO

CIVIL CONTRACTOR

NAME: MENDI CONSTRUCTION

SIGNATURE: ANDREW REID

DATE: 29/05/23

STAFF WORKING ON THIS ESTIMATE PLEASE NOTE:
The location of other authorities services which may affect this work have not been obtained by the estimator. Constructor to obtain service information before commencing.

LAYOUT PLAN
SCALE 1:500 @ A1



REV	DATE	DRAFTER	DESCRIPTION	APPROVED
b	6/6/23	sw	AS BUILT	NBN
A	15/12/22	SW	FOR CONSTRUCTION	NBN
1	1/7/22	SW	FOR APPROVAL	NBN

STRICTLY CONFIDENTIAL

NBNC APPROVAL RECORD:

DD	WD	AB	SIGNATURE	DATE
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		

QUALITY RECORD:

NBNC DISCLAIMER
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KEY PLAN

DRAWING TITLE:
COSGROVE STAGE 301
NBNCo PIT AND PIPE DESIGN
LAYOUT PLAN

ENABLED:

STATE: QLD REGION: NQ

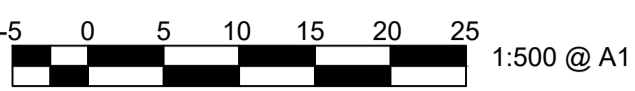
FSA: SAM: ADA:

PROJECT No: STG-M000097825

CADREF No: 3544-T01

SCALE SHEET No. OF 2 REV. b

SITE PLAN



STN NO	SITE LABEL	ACTION	CONSTRUCTION CODE	RATE	OWNER	MOUNTING HEIGHT (m)	REMARKS
97	10414264	INSTALL - ERGON	SLED PH 0912A	RATE 2	TCC	12	ERGON ENERGY TO INSTALL NEW LUMINARIE
100	10414265	INSTALL - ERGON	SLED PH 0912A	RATE 2	TCC	12	ERGON ENERGY TO INSTALL NEW LUMINARIE
101	10414266	INSTALL - ERGON	SLED PH 0912A	RATE 2	TCC	12	ERGON ENERGY TO INSTALL NEW LUMINAIRE
102	10414267	INSTALL - ERGON	SLED PH 0912A	RATE 2	TCC	12	ERGON ENERGY TO INSTALL NEW LUMINARIE
103	10414268	INSTALL - ERGON	SLED PH 0912A	RATE 2	TCC	12	ERGON ENERGY TO INSTALL NEW LUMINAIRE.

STN NO	SITE LABEL	POLE ALIGNMENT	POLE SETTING DEPTH	ACTION	CONSTRUCTION CLASS	CONSTRUCTION CODE	DRAWING NUMBER	POSITION ON POLE	REMARKS
1	10391926			INSTALL - ERGON	HV CABLE TERMINATION	11 PM/CTC/ASL/400TI	5245		ERGON ENERGY TO INSTALL HV CABLE TERMINATION FOR CABLE STN 1 TO 3
2	10452408			INSTALL - ERGON	ADDITIONAL STREETLIGHT FUSE	SLFUSES	5074		ERGON ENERGY TO INSTALL ADDITIONAL 32AMP SL FUSE AND TERMINATE CABLE FROM STN 2 TO 106.
2	10452408			INSTALL - ERGON	PILLAR UPGRADE	LV PNU2-3/240/N	5074		ERGON ENERGY TO UPGRADE PILLAR TO 3-WAY IN THIS STAGE AND TERMINATE CABLE FROM STN 2 TO 17.
120				INSTALL - ERGON	LV CABLE TERMINATION	LV CT PM11/16			ERGON ENERGY TO TERMINATE CABLE FROM STN 107 TO 120 INSIDE PIT

WORKPLAN NOTES

- FOR STANDARD UNDERGROUND DUCT SECTIONS REFER TO UNDERGROUND CONSTRUCTION MANUAL DRAWING 5168.
- POLYMERIC COVER TO BE INSTALLED OVER CONDUITS OUTSIDE NORMAL ERGON ALIGNMENT AS PER ERGON DRAWING. 5022-1 AND 5124-1 & 2.
- STANDARD TRENCH ALIGNMENT IS 0.3 TO 0.9 METRES OFF PROPERTY ALIGNMENT SUBJECT TO LOCATION OF OTHER SERVICES. REFER TO UNDERGROUND CONSTRUCTION MANUAL DRAWING 5163 AND DRAWING 5228 FOR TRENCHES WITH NBNC CONDUITS.
- STREETLIGHT POLE FOOTINGS SHALL BE LOCATED PERPENDICULAR TO THE KERB, AT THE PROLONGATION OF THE SIDE PROPERTY BOUNDARY, UNLESS DETAILED OTHERWISE. WHERE DIMENSIONS ARE SHOWN, THEY TAKE PRECEDENCE OVER GRID COORDINATES.
- ALL CONDUITS SHALL BE CONTINUOUS UNLESS DETAILED OTHERWISE.
- FOR STANDARD UDC CONSTRUCTION PRACTICES REFER TO UNDERGROUND CONSTRUCTION MANUAL DRAWINGS 5022 AND 5124.
- INSTALLATION OF PADMOUNT SUBSTATION (STN 4) AND RMU (STN 3) SITE REQUIRED IN ROAD RESERVE ADJACENT THE PARK. COMBINED SITE IS TO BE 6.0m x 2.8m, WITH A 15m x 7.2m SEPARATE EARTH EASEMENT, WHICH IS TO BE KEPT CLEAR OF ALL METALLIC OBJECTS, FOUNDATION, BUILDINGS AND TREES. REFER TO UNDERGROUND CONSTRUCTION MANUAL DWG 5175 & RMU DRAWING 5290. REFER TO DETAIL A.
- DEVELOPER SHALL INSTALL PLINTH AND CONCRETE SURROUND. REFER TO UNDERGROUND CONSTRUCTION MANUAL DRAWINGS 5004 & 5005 AND RMU DWG 5217.
- INSTALL PADMOUNT SUBSTATION AND RING MAIN UNIT (RMU) EARTHING - SEPARATE EARTH ARRANGEMENT. REFER TO UNDERGROUND CONSTRUCTION MANUAL DRAWING 5014 AND RMU DWG. 5294.
- THERE ARE 3 x 17W LED & 2 x 28W LED SYLVANIA STREET MINOR ROAD, 14x 90W PHILIPS ROADFLAIR MAJOR ROAD STREETLIGHTS ON RATE 2, AND 4 x 90W LED MAJOR ROAD LUMINAIRES TO BE INSTALLED ON EXISTING POLES 100-103.
- STREETLIGHT DESIGN TO AS1158 CATEGORY V3 TO COSGROVE Dr, V5 TO FARO BOULEVARD, PR3 TO LAGOS DRIVE AND PR5 TO ALL OTHER ROADS.
- MINOR STREETLIGHTS - THE DEVELOPER SHALL SUPPLY AND INSTALL STREETLIGHT BASES. FOUNDATION DEPTH IS 1200mm FOR MINOR STREETLIGHTS. FOR ALL OTHER FOOTPATH WIDTHS, CENTRELINE OF STREETLIGHT SHALL BE 1.05m FROM BACK OF KERB. WHERE THE ROAD IS UN-KERBED OR THERE IS A FLUSH KERB, CENTRELINE OF STREETLIGHT SHALL BE 1.3m FROM THE OUTER EDGE OF THE BITUMEN.
- MAJOR STREETLIGHTS - THE DEVELOPER SHALL SUPPLY AND INSTALL STREETLIGHT BASES. FOUNDATION DEPTH IS 2250mm FOR MAJOR STREETLIGHTS. REFER TO LIGHTING CONSTRUCTION MANUAL DRAWING 1-5-9-1 to 9 FOR SBM FOOTINGS AND 1-5-6-1 & 2 FOR BPM FOOTINGS. FOR ALL FOOTPATHS, CENTRELINE OF STREETLIGHT SHALL BE 1.05m FROM THE INVERT OF KERB AND CHANNEL. WHERE THE ROAD IS UN-KERBED, CENTRELINE OF STREETLIGHT SHALL BE 1.5m FROM THE EDGE OF BITUMEN. WHERE LIGHT POLES ARE INSTALLED IN THE MEDIAN THEN FOOTINGS SHALL BE INSTALLED CENTRE OF MEDIAN.
- THE LIGHTING DESIGN INCLUDES AN ALLOWANCE FOR CONSTRUCTION TOLERANCE OF LIGHT POLES SUCH THAT ANY STREETLIGHT CAN BE POSITIONED UP TO A MAXIMUM OF ±350mm LONGITUDINALLY FROM THE POSITION SHOWN AND UP TO 100mm MAXIMUM FURTHER AWAY FROM KERB EDGE, INCLUDING POLES WITH GRID COORDINATES, AND STILL MAINTAIN COMPLIANCE.
- CONFIRM ALL CONDUIT AND CABLE LENGTHS PRIOR TO INSTALLATION.
- WARNING:** LIVE CABLES AND EXISTING SERVICES IN AREA. CONTRACTOR TO USE POT HOLING, HYDRO-VAC EXCAVATION AND CABLE LOCATION WHEN INSTALLING NEW INFRASTRUCTURE.
- IN ACCORDANCE WITH ELECTRICAL SAFETY ACT, A SAFETY OBSERVER MUST BE PRESENT AT ALL TIMES WHEN WORKING IN THE VICINITY OF ENERGISED CABLES. CONTACT ERGON ENERGY ON 131046.
- WHERE SHOWN, 35mm sq ANNEALED BARE Cu EARTH SHALL BE INSTALLED AT BOTTOM OF TRENCH, IN NATURAL SOIL, BELOW BEDDING SAND, LOCATED A MINIMUM OF 50mm HORIZONTALLY TOWARDS PROPERTY BOUNDARY FROM CONDUITS (HV OR LV) INSTALLED ON PROPERTY BOUNDARY SIDE OF TRENCH. COIL 2m OF CABLE AT SPECIFIED STATIONS IN THE CONDUIT DUCTING SCHEDULE AND ALL REQUIRED JOINTS FOR CONNECTION BY ELECTRICAL CONTRACTOR. THE USE OF THE EARTH ROD CONNECTOR (U-BOLT, IIN. 0719437) IS NOT ACCEPTABLE FOR CONDUCTOR / CABLE TO CONDUCTOR / CABLE CONNECTIONS. IN ADDITION PARALLEL GROOVE CLAMPS ARE NOT ACCEPTABLE FOR JOINTING OR CONNECTING EARTHS BELOW GROUND LEVEL. ACCEPTABLE METHODS SHALL BE EITHER A CRIMP LINK OR A 'C' TYPE COMPRESSION CONNECTOR. CRIMP LINKS AND 'C' TYPE COMPRESSION CONNECTORS ARE AVAILABLE FROM ERGON ENERGY STORES IIN. 0157746 AND IIN. 2406222 RESPECTIVELY.
- ELECTRONIC CABLE MARKERS (ECM'S) ARE TO BE SUPPLIED BY THE ELECTRICAL CONTRACTOR AND ARE REQUIRED AT ENDS OF ALL SPARE CONDUITS AND AT ALL CABLE JOINTS. ECM'S SHALL BE PLACED 150mm ABOVE THE LINE OF CONDUIT FOR CABLE JOINTS AND 150mm ABOVE THE LINE OF CONDUIT FOR SPARE CONDUITS. ECM'S ARE RECOVERABLE AND SHALL BE REMOVED AND RETURNED TO THE ELECTRICAL CONTRACTOR WHEN ALL SPARE CONDUIT ENDS ARE REMOVED FROM A LOCATION.
- WHERE NOTED ON THE DESIGN, CONCRETE COVER SHALL BE INSTALLED ABOVE CONDUIT, WHERE CONDUIT BURIAL DEPTH IS LESS THAN THAT SPECIFIED IN UNDERGROUND CONSTRUCTION MANUAL DRAWING 5163. FOR FOOTPATHS REFER TO UNDERGROUND CONSTRUCTION MANUAL DRAWING 5016. FOR ROAD CROSSINGS REFER TO UNDERGROUND CONSTRUCTION MANUAL DRAWING 5017.
- WHERE NOTED ON THE DESIGN, ELECTRICAL CONDUITS SHALL BE INSTALLED UNDERNEATH STORMWATER PIPES WHERE CLASHES OCCUR. SEPARATION FROM BOTTOM OF STORMWATER PIPE TO TOP OF ERGON CONDUIT SHALL BE NO LESS THAN 300mm.
- ADDITIONAL CONDUIT BENDS SHALL BE INSTALLED TO ACHIEVE INCREASED BURIAL DEPTH AT ROAD CROSSINGS. REFER TO UNDERGROUND CONSTRUCTION MANUAL DRAWING 5022.
- ALL CONTRACTORS MUST CARRY OUT A DIAL BEFORE YOU DIG ENQUIRY BEFORE COMMENCING ANY EXCAVATION.
- INSTALL PILLAR OFFSET IN ACCORDANCE WITH ERGON DRAWING 5196-2 & DETAIL B.
- CONTRACTOR TO SUPPLY AND INSTALL ENGRAVED LABEL LOCATED ON LIGHTING TERMINAL STATING "LIGHT FED FROM PILLAR ASSET NUMBER _____"
- WHERE REQUIRED CONTRACTOR TO INSTALL JOINT AT STN 208. CONTRACTOR TO MONITOR PULLING TENSIONS TO DETERMINE IF JOINT REQUIRED. ADDITIONAL LUBRICATION PITS MAYBE REQUIRED ON SITE FOR THESE PULLS. ELECTRICAL CONTRACTOR TO CONFIRM WITH CIVIL CONTRACTOR AT PRESTART MEETING WHERE AND IF SAND PITS ARE REQUIRED.
- CONTRACTOR SHALL NOT INSTALL PITS AT THE BOTTOM OF DRAINS, VEHICLE PATHS, ROADWAYS, DRIVEWAYS, DRAIN INVERTS, BIKEWAYS, RAMPS, PEDESTRIAN ALIGNMENTS, WHEELCHAIR ACCESS OR PATHWAYS. WHERE PITS ARE INSTALLED IN THE MEDIAN, PITS SHALL BE OFFSET FROM THE CENTER OF THE MEDIAN TO PREVENT INSTALLATION IN THE BOTTOM OF DRAIN AND TO ALLOW CONDUITS TO PASS BY THE LIGHT FOOTING.
- 'ZA TRENCH SECTION' DENOTES 6 x 125mm HV CONDUITS, 1 x 100mm LV CONDUIT, 1 x 80mm LV CONDUIT AND 1 x 50mm SL CONDUIT. 'ZB TRENCH SECTION' DENOTES 2 x 50mm SL CONDUITS.
- INSTALL CONDUIT AT INCREASED DEPTH WHERE NOTED TO AVOID FUTURE DRIVEWAY ACCESS TO THE COMMERCIAL LOT IN THE FUTURE.

FOR CONSTRUCTION

ON COMPLETION, MARK UP THIS PRINT CLEARLY WITH ALL FINAL CHANGES AND RETURN TO PROJECT MANAGER

CHANGES: YES/NO

ELECTRICAL CONTRACTOR

NAME: _____

SIGNATURE: _____

DATE: _____

CIVIL CONTRACTOR

NAME: _____

SIGNATURE: _____

DATE: _____

Code	Date	Description	Revised	Code	Date	Description	Revised
A	27/9/22	FOR CONSTRUCTION	SW				
1	9/9/22	PRELIMINARY ONLY	SW				

CLIENT: PARKSIDE DEVELOPMENT PTY LTD

PO Box 4018, KIRWAN, QLD. 4817
Ph. 07 4431 2690 Fax

CIVIL ENGINEER
PREMISE (TOWNSVILLE)

PO BOX 1110, TOWNSVILLE, QLD. 4810
Ph 07 4772 0666 Fax



LEGEND

--- CABLE EXISTING	□ SUBSTATION	□ COMMERCIAL/ INDUSTRIAL PILLAR
--- CABLE PLANNED	✓ HV ISOLATING DEVICE	□ DISTRIBUTION CABINET
--- CABLE RECOVER	LV ISOLATING DEVICE	* STREETLIGHT
--- EQUIPMENT EXISTING	□ NORMAL PILLAR	- - EARTH
--- EQUIPMENT RECOVER	□ CROSS ROAD PILLAR	○ POLE
--- LIGHTING DUCT	□ LINKING PILLAR	□ CABLE JOINT
--- 35mm sq ANNEALED BARE COPPER EARTH		

Drawing Title	Date	JUNE 2022
COSGROVE STAGE 301 UDC UG ELECTRICAL RETICULATION SITE PLAN & ERGON WORKS SCHEDULES	Scale	1:500@A1
Project Description	Drawn	SW
COSGROVE ESTATE, COSGROVE.	RPEQ Design Certification	Jane Errey 6863
ERGON Project Number	Sheet	1 OF 4
1740657	SPA Drawing Number	3544-E01
	Revision	A