

LOCALITY 1:20,000

**NOTES:**

- There are no existing or proposed
  - drainage features
  - retaining walls
  - stormwater detention
  - community purposes land
- Easements as shown
- The final intended use of all allotments is for residential except if otherwise marked purposes in accordance with Cosgrove Plan of Development
- There are no buildings or structures over the land relevant to this stage
- Access into each allotment shall be via the road frontage. Specific locations to be determined at time of detailed engineering design and preparation of access envelopes.

**DESIGN CODE - ALL ALLOTMENTS**

Type	House, Front Loaded
Lot Access	Front
Lot Depth (Min)	25m (20m where 15m width proposed)
Lot Width (Min)	12.5
Site Coverage	May exceed 50% in response to Code Requirements, but no more than 60% Site Coverage.
Setback Front Ground (min) and upper (min)	3.5m
Setback Front Garage	6m and 1.5m behind front of dwelling
Setback Principal Side Ground (min)	QDC
Setback Principal Side Upper (min)	QDC
Setback Secondary Road Frontage (min)	QDC
Garage setback Secondary Road Frontage(min)	3.5m
Setback Principal Rear (min)	1.5m (*Sewer lines and manholes may enforce greater setbacks)
Outbuilding (Shed) Width (max)	Lesser of 50% of rear boundary or 9m
Outbuilding (Shed) Depth (max)	9m
Outbuilding (Shed) Rear Setback	0-1.0m
Outbuilding (Shed) Side Setback	Zero if lot >12.5m wide. As per Principal setback if lot >12.5m wide
Floor Height Principal (min)	400mm
Maximum Storeys	As per the Applicable Scheme
Private Open Space (min) (may be covered)	4mx4m
Parking (min)	Two (2), one of which must be covered

\*Note: Clearances to sewer lines and manholes are required in accordance with council policy.

This plan is conceptual and for discussion purposes only. All areas, dimensions and land uses are preliminary, subject to investigation, survey, engineering, and Local Authority and Agency approvals.

**PROPOSED RECONFIGURATION**

Lots 245 - 263, 265, 267- 276 and 900

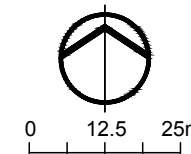
Cancelling Lot 912 on SP313074

Parish of Coonambelah  
County of Elphinstone  
City of Townsville

**CORNER SIGHT LINES**

Comply with sight lines requirement of the Queensland Development code on road corners. This is typically a 9m x 9m exclusion zone based on boundaries.

For clipped corners, footpaths wider than 4.2m and lots with park frontages typically this is a 18m x 18m exclusion zone based on edge of traffic lane. Rear access lanes are exempted from this requirement.

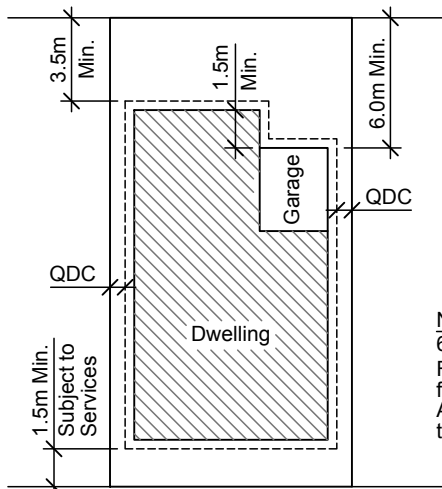
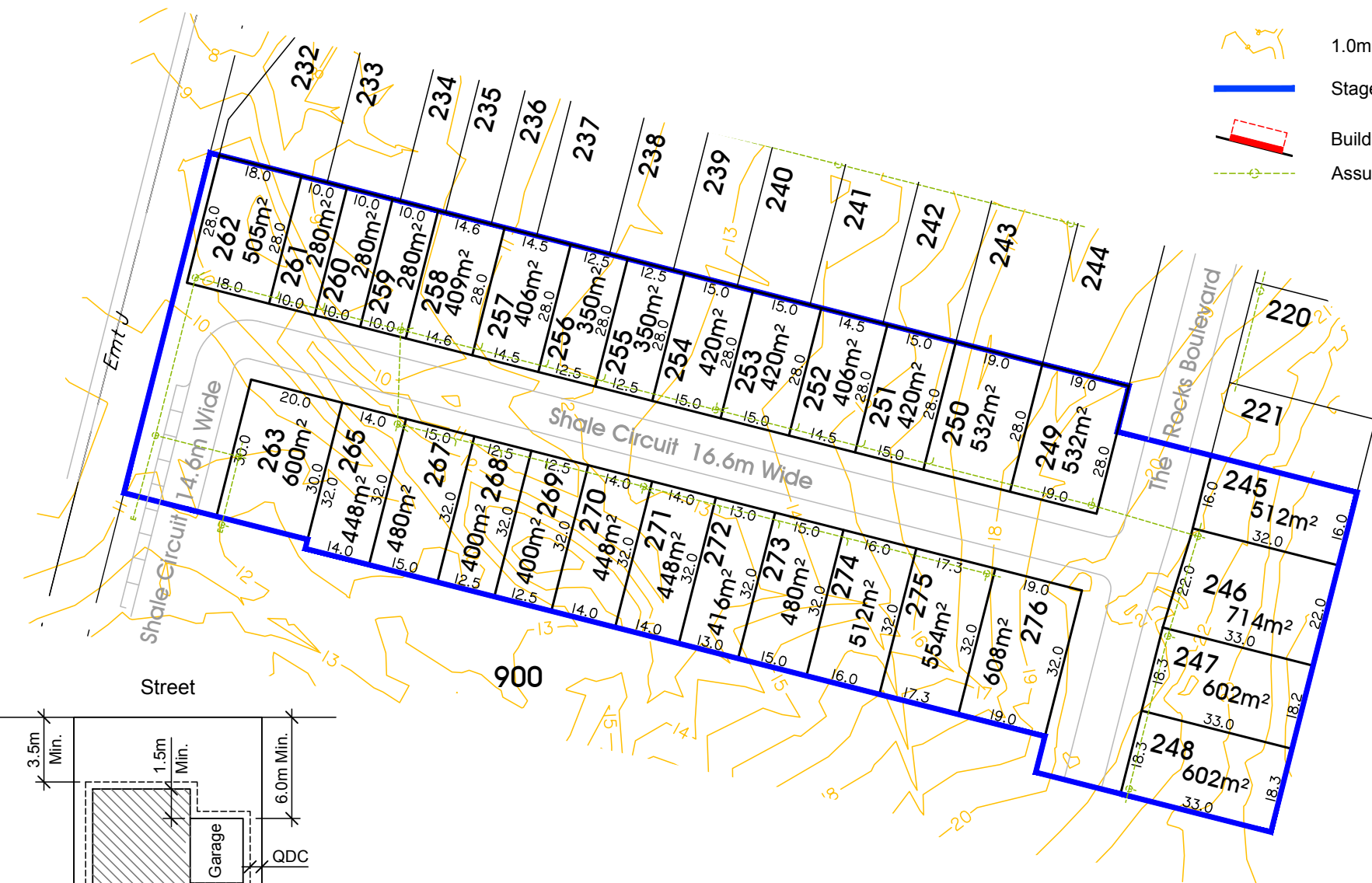


**COSGROVE**

**STAGE 205**

Total Stage Area .....	1.93 ha
Number of Lots .....	29
Average Lot Area .....	477m <sup>2</sup>
Total Length of New Road ....	315m

- 1.0m contour
- Stage Boundary
- Build to Boundary Setback
- Assumed Sewer Layout



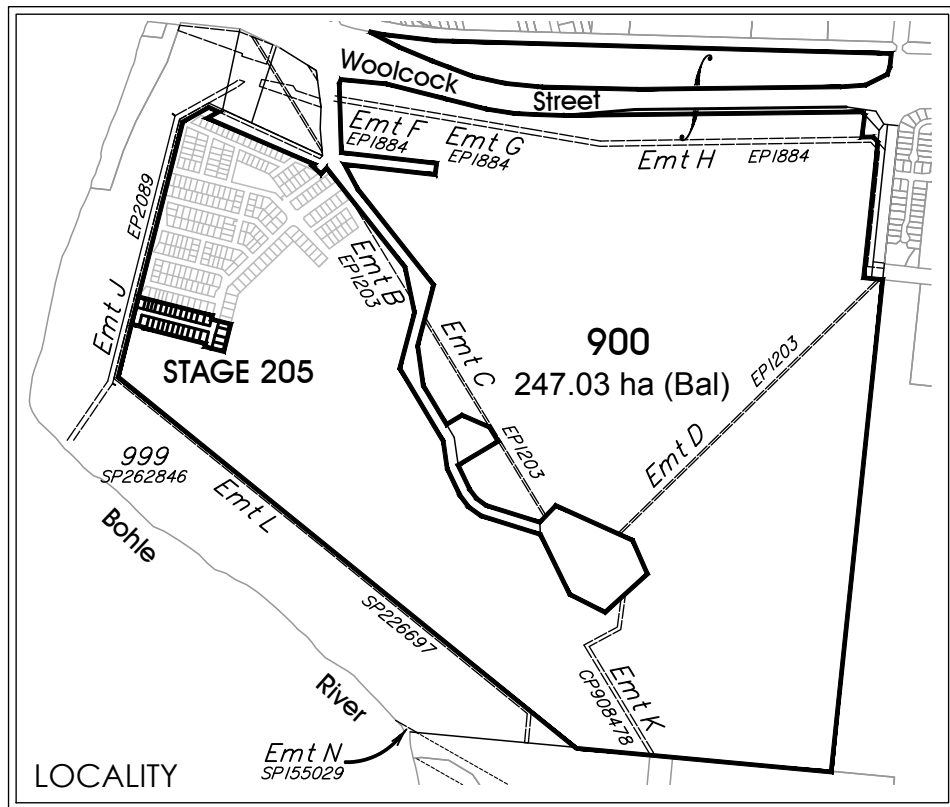
**Typical Setback Requirements**  
Not to Scale

**Note**  
60% Maximum Site Coverage  
For front and secondary front setback to garage, measure from the front boundary to the garage opening (wall). All other setbacks are measured from the boundary to the outermost projection (including carports).



P 1300 267 878  
W [www.braziermotti.com.au](http://www.braziermotti.com.au)

Date: 20th August, 2019  
Scale: 1:1250 @ A3  
Drawn: AJL  
Job No: 27001/142-1  
Plan No: 27001/106 F



LOCALITY 1:20,000

**NOTES:**

- There are no existing or proposed
  - drainage features
  - retaining walls
  - stormwater detention
  - community purposes land
- Easements as shown
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Setback Principal Side Upper (min)	QDC
Setback Secondary Road Frontage (min)	QDC
Garage setback Secondary Road Frontage(min)	3.5m
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Outbuilding (Shed) Depth (max)	9m
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Parking (min)	Two (2), one of which must be covered

\*Note: Clearances to sewer lines and manholes are required in accordance with council policy.

This plan is conceptual and for discussion purposes only. All areas, dimensions and land uses are preliminary, subject to investigation, survey, engineering, and Local Authority and Agency approvals.

**PROPOSED RECONFIGURATION**

Lots 245 - 263, 265, 267- 276 and 900

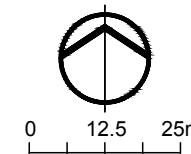
Cancelling Lot 912 on SP313074

Parish of Coonambelah  
County of Elphinstone  
City of Townsville

**CORNER SIGHT LINES**

Comply with sight lines requirement of the Queensland Development code on road corners. This is typically a 9m x 9m exclusion zone based on boundaries.

For clipped corners, footpaths wider than 4.2m and lots with park frontages typically this is a 18m x 18m exclusion zone based on edge of traffic lane. Rear access lanes are exempted from this requirement.

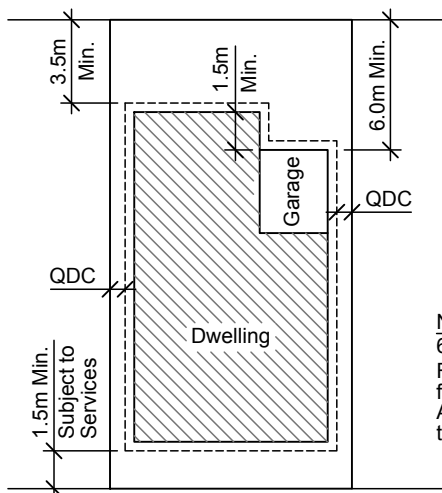
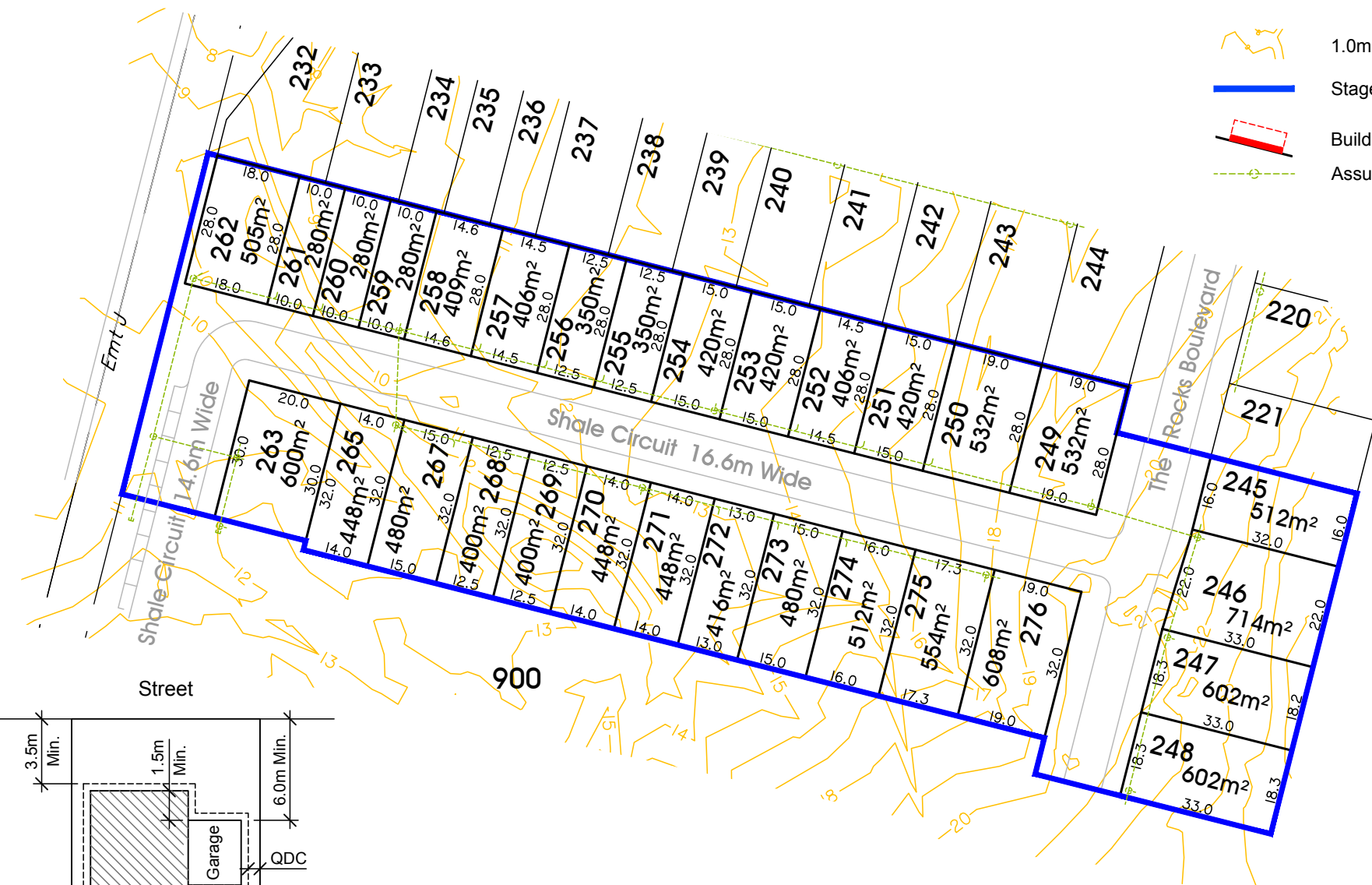


**COSGROVE**

**STAGE 205**

Total Stage Area .....	1.93 ha
Number of Lots .....	29
Average Lot Area .....	477m <sup>2</sup>
Total Length of New Road ....	315m

- 1.0m contour
- Stage Boundary
- Build to Boundary Setback
- Assumed Sewer Layout



**Typical Setback Requirements**  
Not to Scale

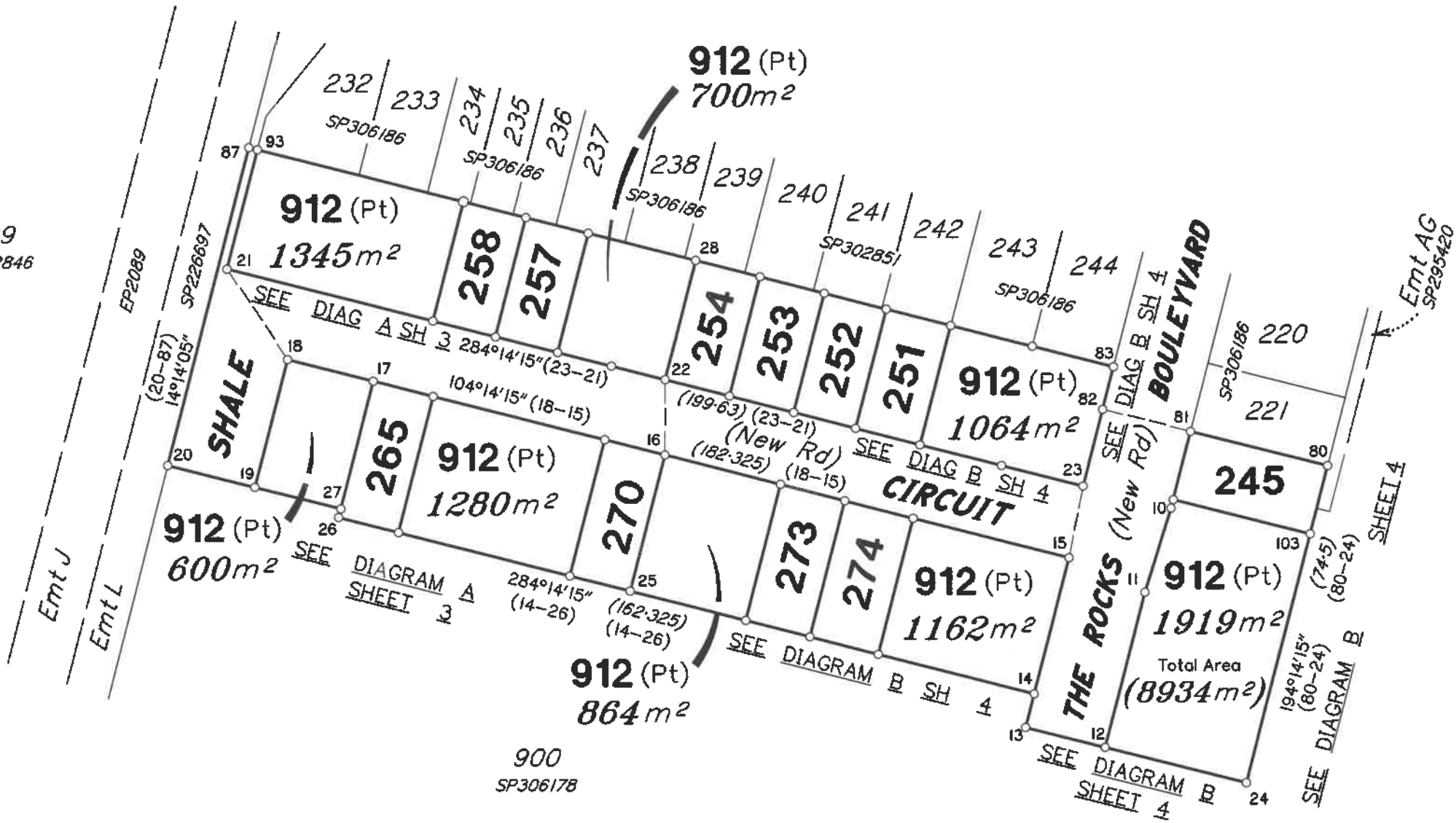
**Note**  
60% Maximum Site Coverage  
For front and secondary front setback to garage, measure from the front boundary to the garage opening (wall). All other setbacks are measured from the boundary to the outermost projection (including carports).



P 1300 267 878  
W [www.braziermotti.com.au](http://www.braziermotti.com.au)

Date: 20th August, 2019  
Scale: 1:1250 @ A3  
Drawn: AJL  
Job No: 27001/142-1  
Plan No: 27001/106 F





BRAZIER MOTTI PTY LTD (ACN 066 411 041) hereby certify that the corporation, by Peter John MURPHY, Cadastral Surveyor, has made this plan under Section 16 of the Survey and Mapping Infrastructure Regulation 2014 and pursuant to the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the plan is accurate, and compiled from DP306179 in the Department of Natural Resources, Mines and Energy.



Director

Date: 29/11/2018

0m  
62.5m  
125m  
187.5m  
150mm  
Scale: 1:1250  
State copyright reserved.

Plan of Lots 245, 251-254, 257, 258, 265, 270, 273, 274 & 912

Cancelling Lot 912 on SP306178

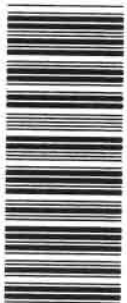
LOCAL TOWNSVILLE CITY  
GOVERNMENT: COUNCIL  
LOCALITY: COSGROVE  
Meridian: MGA (Zone 55) vide DP306179

Survey Records: No

TRAVERSES ETC

LINE	BEARING	DISTANCE
15-23	10°47'25"	16.63
16-22	0°07'10"	17.115
18-21	326°26'40"	24.71
81-82	284°14'15"	20.6
87-93	104°14'15"	2.0

**Area of New Road**  
 SHALE CIRCUIT  
 (15-16-17-18-19-20-87-93-21-22-23-15) . . . . 4020 m<sup>2</sup>  
 THE ROCKS BOULEVARD  
 (82-81-10-11-12-13-14-15-23-82) . . . . 1440 m<sup>2</sup>  
**Total Area . . . . . 5460 m<sup>2</sup>**



SP307201

**WARNING : Folded or Mutilated Plans will not be accepted.**  
Plans may be rolled.  
Information may not be placed in the outer margins.

(Dealing No.)

(Include address, phone number, reference, and Lodger Code)

1. Certificate of Registered Owners or Lessees.  
I/We **PARKSIDE DEVELOPMENT PTY LTD**  
**A.C.N. 009 802 233**

(Names in full)

\* as Registered Owners of this land agree to this plan and dedicate the Public Use Land as shown hereon in accordance with Section 50 of the Land Title Act 1994.

~~\* as Lessees of this land agree to this plan.~~

Signature of \*Registered Owners \*Lessees



**PETER TAPIOLAS**  
DIRECTOR



of  
A.C.N. 009 802 233  
DIRECTOR

\* Rule out whichever is inapplicable

2. Planning Body Approval.

\* hereby approves this plan in accordance with the :  
%

Dated this ..... day of .....

..... #  
..... #

\* Insert the name of the Planning Body.

# Insert designation of signatory or delegation

% Insert applicable approving legislation.

3. Plans with Community Management Statement :

CMS Number :

Name :

4. References :

Dept File :  
Local Govt :  
Surveyor : 27001/147-02 SLR  
27001\_203A 11/18

5. Lodged by

6. (Include address, phone number, reference, and Lodger Code)		Created		
Title Reference	Existing Description	New Lots	Road	Secondary Interests
51167278	Lot 912 on SP306178	245, 251-254, 257, 258, 265, 270, 273, 274 & 912	New Rd	_____

245, 251-254, 257, 258, 265, 270, 273, 274 & 912	Lot 912 on SP306178
Lots	Orig

8. Passed & Endorsed :

By : **BRAZIER MOTTI PTY LTD**  
Date : **29/11/18**  
Signed : *[Signature]*  
Designation : **Liaison Officer**

10. Lodgement Fees :

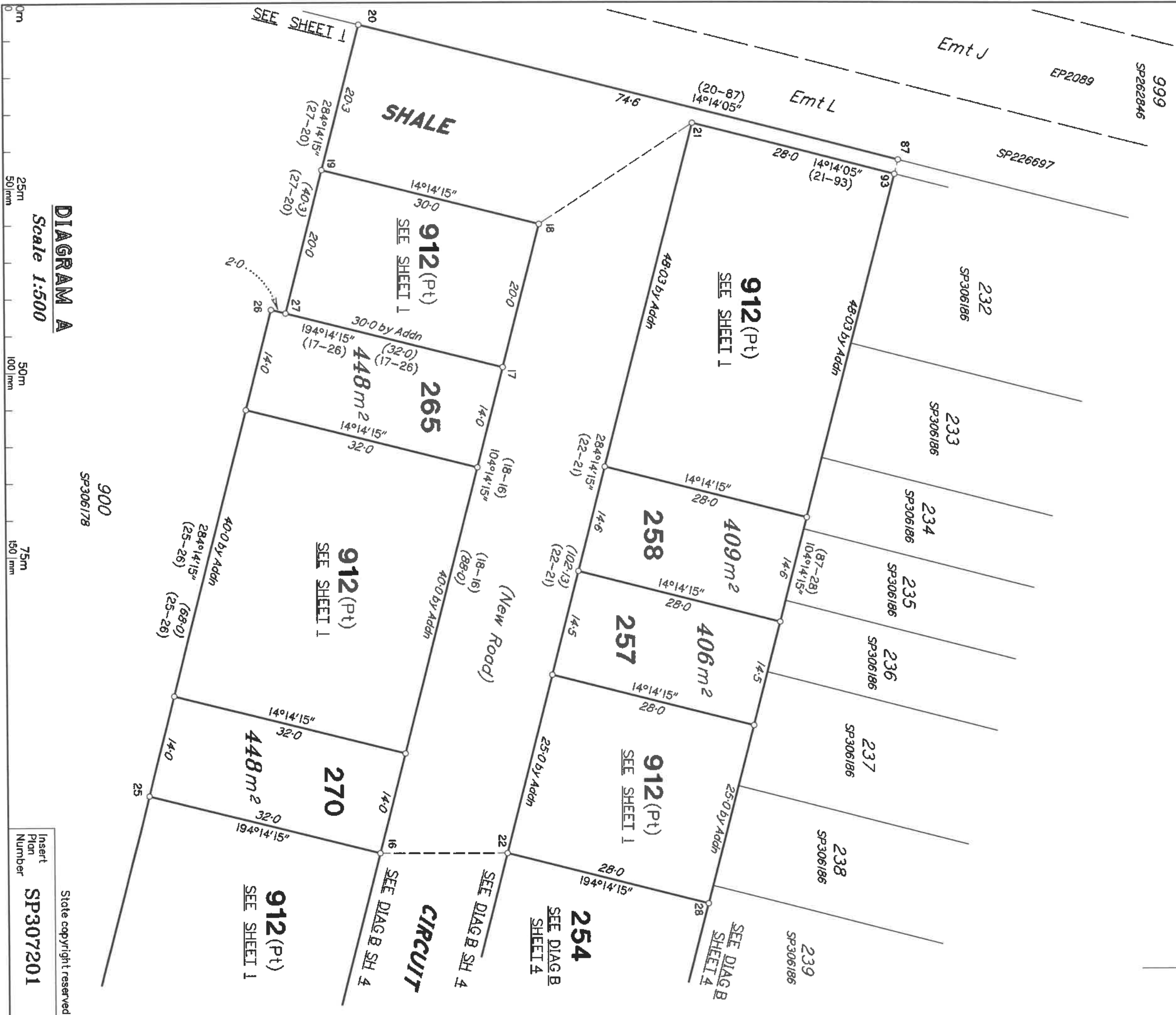
Survey Deposit	\$ .....
Lodgement	\$ .....
..... New Titles	\$ .....
Photocopy	\$ .....
Postage	\$ .....
TOTAL	\$ .....

9. Building Format Plans only.

I certify that :  
\* As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or road.  
\* Part of the building shown on this plan encroaches onto adjoining \* lots and road

Cadastral Surveyor/Director \* Date  
\* delete words not required

11. Insert Plan Number **SP307201**



**DIAGRAM A**  
Scale 1:500

900  
SP306178

Insert  
Plan  
Number  
**SP307201**

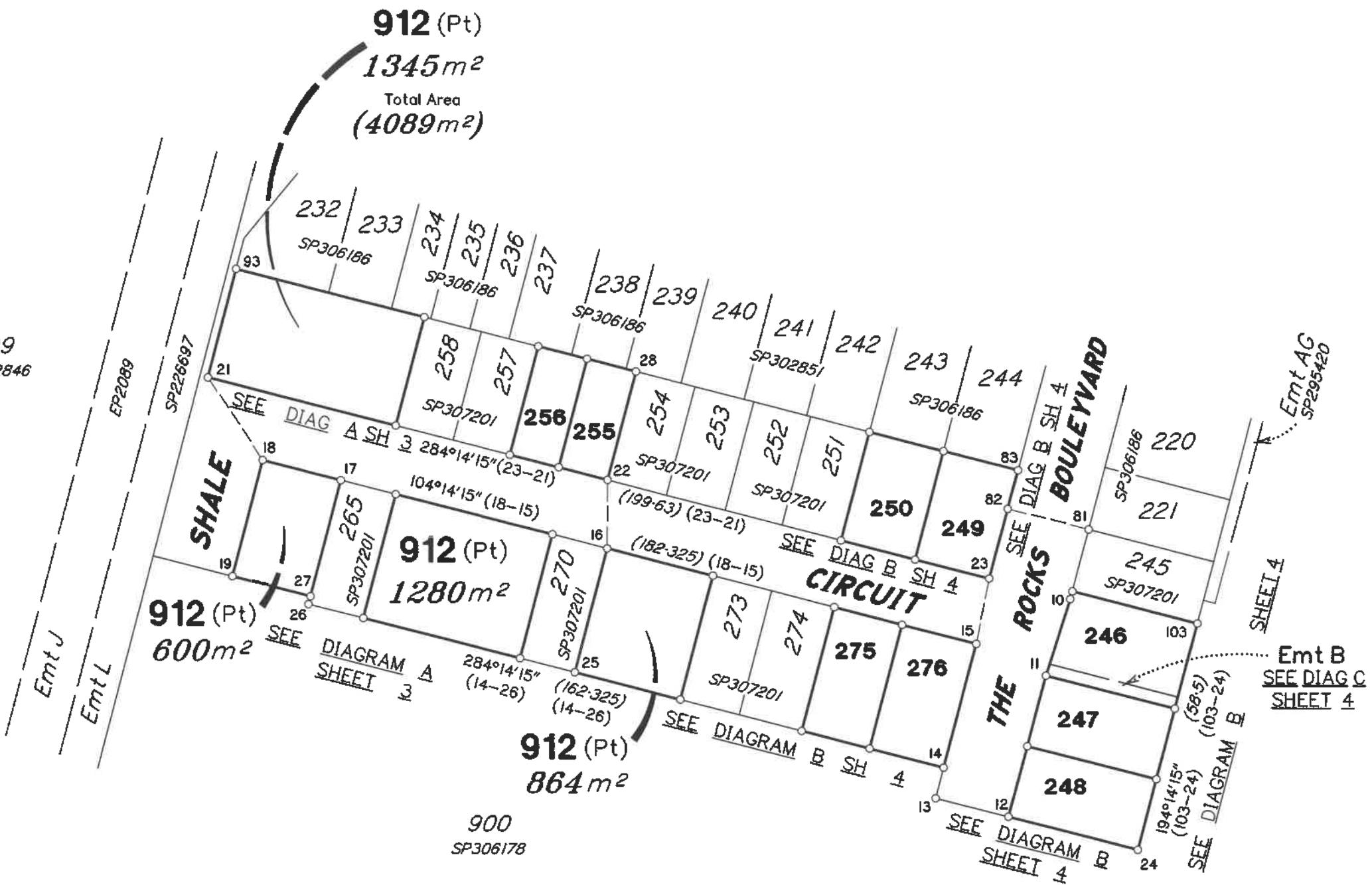
State copyright reserved.

27001/203 SLR



**DIAGRAM B**  
Scale 1:500

Insert  
Plan  
Number  
**SP307201**  
State copyright reserved.



TRAVERSES ETC

LINE	BEARING	DISTANCE
15-23	10°47'25"	16.63
16-22	0°07'10"	17.115
18-21	326°26'40"	24.71
81-82	284°14'15"	20.6

BRAZIER MOTTI PTY LTD (ACN 086 411 041) hereby certify that the corporation, by Peter John MURPHY, Cadastral Surveyor, has made this plan under Section 16 of the Survey and Mapping Infrastructure Regulation 2014 and pursuant to the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the plan is accurate, and compiled from DP306179 and SP307201 in the Department of Natural Resources, Mines and Energy.



Director

Date: 2/11/19

0m  
62.5m  
125m  
150mm  
100mm

Plan of Lots 246-250, 255,  
256, 275, 276 & 912  
and Easement B in Lot 246

Cancelling Lot 912 on SP307201

LOCAL TOWNSVILLE CITY  
GOVERNMENT: COUNCIL

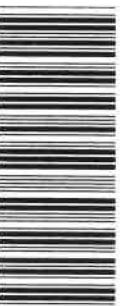
LOCALITY: COSGROVE

Meridian: MGA (Zone 55) vide DP306179

Survey Records: No

Scale: 1:1250  
187.5m  
150mm  
State copyright reserved.

Format: STANDARD



SP313074

**WARNING : Folded or Mutilated Plans will not be accepted.**  
Plans may be rolled.  
Information may not be placed in the outer margins.

(Dealing No.)

(Include address, phone number, reference, and Lodger Code)

5. Lodged by

1. Certificate of Registered Owners or Lessees.  
I/We **PARKSIDE DEVELOPMENT PTY LTD**  
**A.C.N. 009 802 233**

(Names in full)

\* as Registered Owners of this land agree to this plan and dedicate the Public Use Land as shown hereon in accordance with Section 50 of the Land Title Act 1994.

\* ~~as Lessees of this land agree to this plan.~~

Signature of \*Registered Owners \*~~Lessees~~

  
DIRECTOR  
  
DIRECTOR

\* Rule out whichever is inapplicable

2. Planning Body Approval.

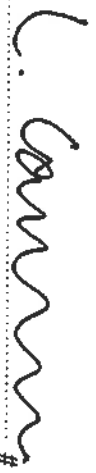
\* **TOWNSVILLE CITY COUNCIL**

hereby approves this plan in accordance with the :

%

**PLANNING ACT 2016**

Dated this 22nd day of August 2019

 # **AS DULY AUTHORISED REPRESENTATIVE OF TOWNSVILLE CITY COUNCIL**

**GENERAL MANAGER, PLANNING**

\* Insert the name of the Planning Body.  
# Insert designation of signatory or delegation

% Insert applicable approving legislation.

3. Plans with Community Management Statement :

CMS Number :  
Name :

4. References :

Dept File POS19/0056  
Local Govt : TOWNSVILLE  
Surveyor : 27001/147-8 SLR  
27001\_210A 07/19


5. Lodged by

6. Existing		Created		
Title Reference	Description	New Lots	Road	Secondary Interests
51170911	Lot 912 on SP307201	246-250, 255, 256, 275, 276 & 912	---	Emt B

246-250, 255, 256, 275, 276 & 912	Lot 912 on SP306178
Lots	Orig

7. Orig Grant Allocation :

8. Passed & Endorsed :

By : **BRAZIER MOTTI PTY LTD**  
Date : 2/8/19  
Signed :   
Designation : **Liaison Officer**

9. Building Format Plans only.

I certify that :  
\* As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or road.  
\* Part of the building shown on this plan encroaches onto adjoining \* lots and road

Cadastral Surveyor/Director \* Date  
\*delete words not required

10. Lodgement Fees :

Survey Deposit	\$
Lodgement	\$
..... New Titles	\$
Photocopy	\$
Postage	\$
TOTAL	\$

11. Insert Plan Number  
**SP313074**



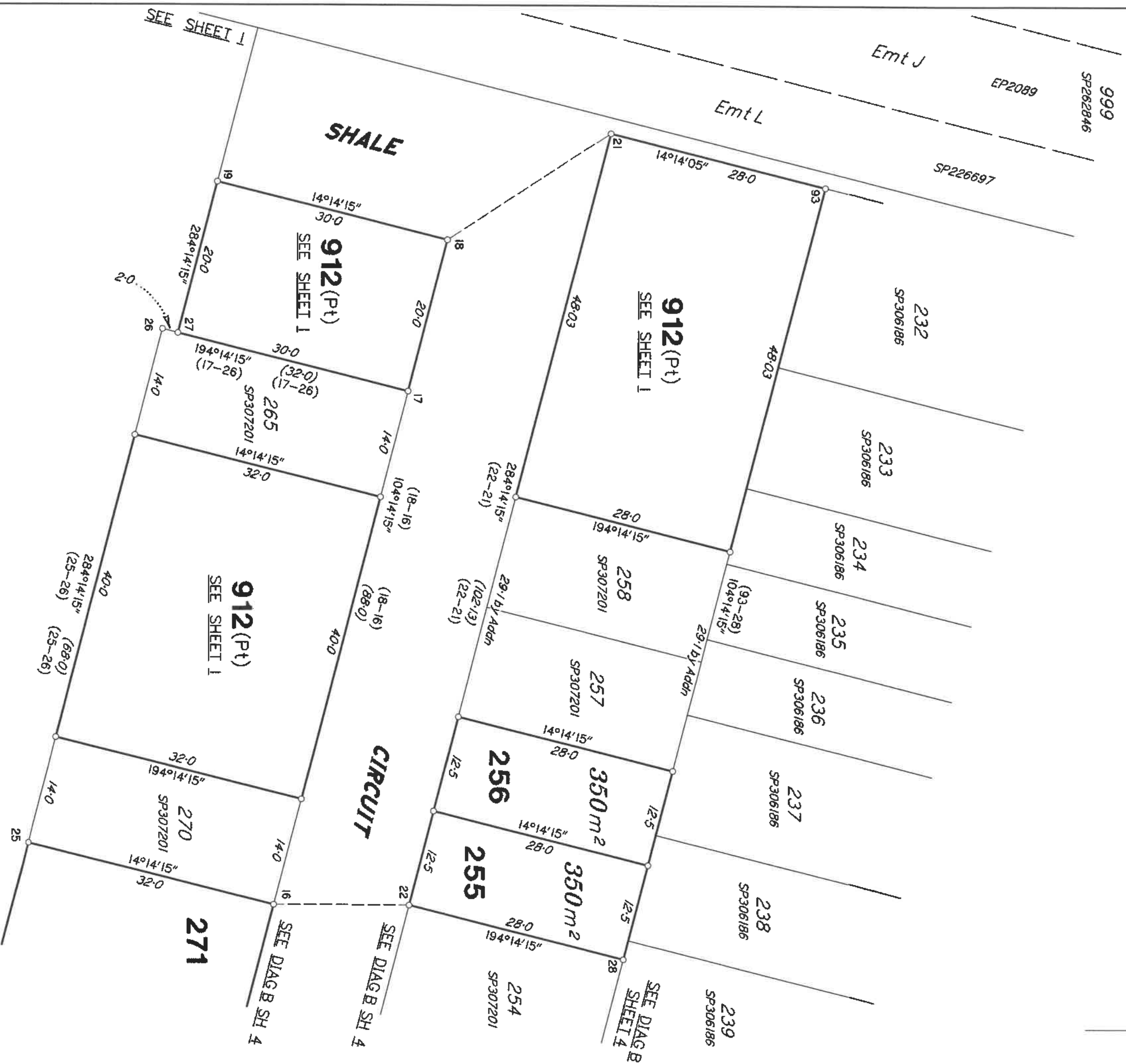
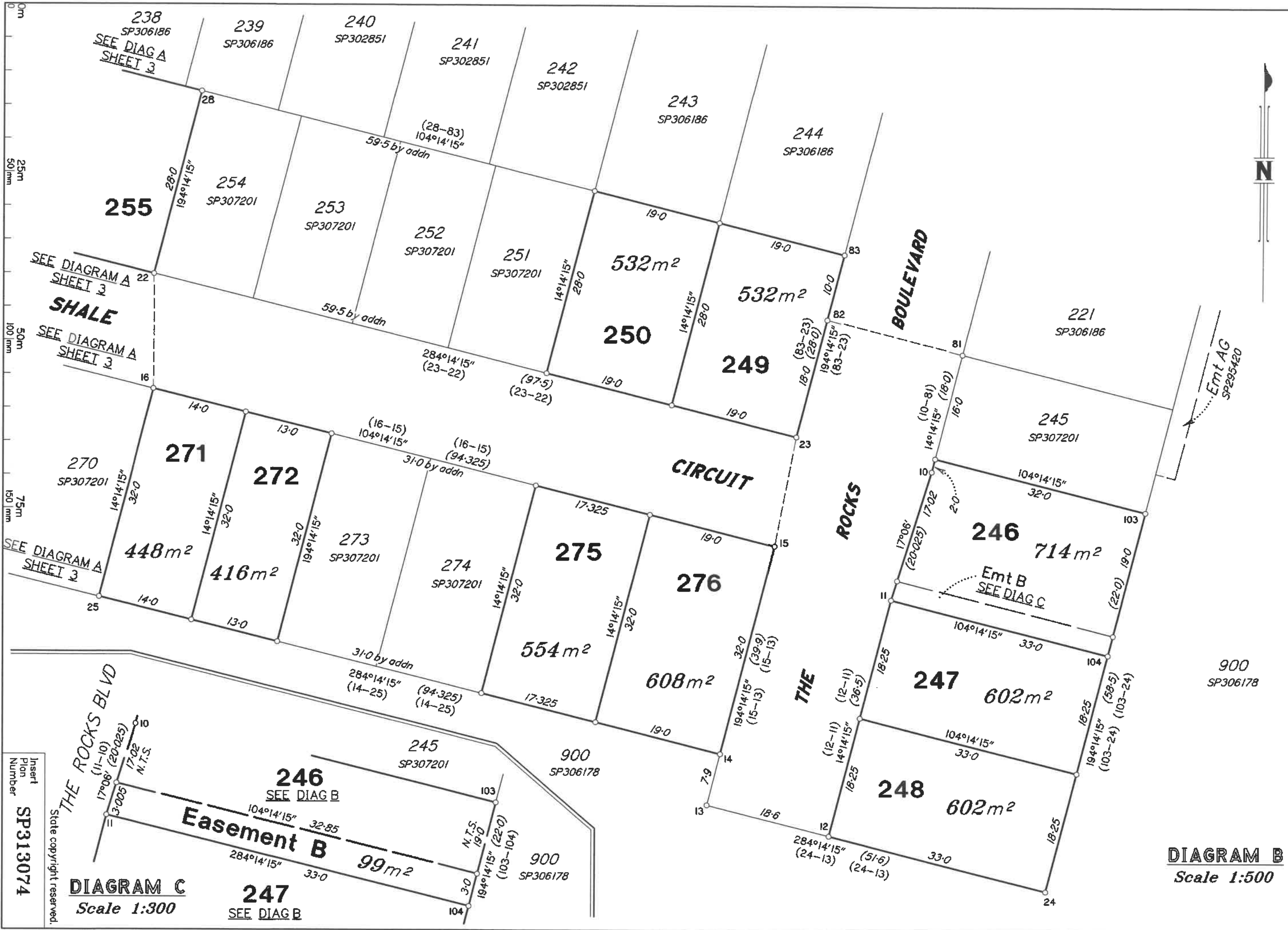


DIAGRAM A  
Scale 1:500

Insert  
Plan  
Number  
**SP313074**

State copyright reserved.

27001/210 SLR



**DIAGRAM B**  
Scale 1:500

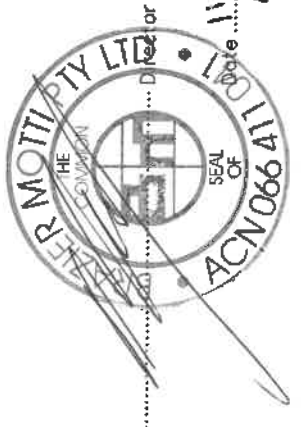
**DIAGRAM C**  
Scale 1:300

Insert  
Plan  
Number  
**SP313074**  
State copyright reserved.

27001/210 SLR



BRAZIER MOTTI PTY LTD (ACN 066 411 041) hereby certify that the corporation, by Peter John MURPHY, Cadastral Surveyor, has made this plan under Section 16 of the Survey and Mapping Infrastructure Regulation 2014 and pursuant to the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the plan is accurate, and compiled from DP306179 and SP313074 in the Department of Natural Resources, Mines and Energy.



Scale: 1:500  
State copyright reserved.

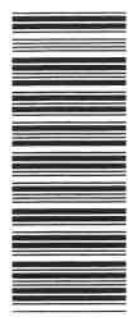
Format: STANDARD

**Plan of Lots 259-263, 271, 272 & 912**  
Cancelling Lot 912 on SP313074

LOCAL GOVERNMENT: COUNCIL  
TOWNSVILLE CITY  
LOCALITY: COSGROVE

Meridian: MGA (Zone 55) vide DP306179

Survey Records: No



SP315853

(Dealing No.)

5. Lodged by  
Parkside Development Pty Ltd  
PO Box 4018 KIRWAN 4817  
4431 2600  
michael.tapiolaw@parkside.biz  
(Include address, phone number, reference, and Lodger Code)

Existing		Created	
Title Reference	Description	New Lots	Road
51194766	Lot 912 on SP313074	259-263, 271, 272 & 912	---
			Secondary Interests
			-

1. Certificate of Registered Owners or Lessees.  
I/We **PARKSIDE DEVELOPMENT PTY LTD**  
**A.C.N. 009 802 233**

(Names in full)

\* as Registered Owners of this land agree to this plan and dedicate the Public Use Land as shown hereon in accordance with Section 50 of the Land Title Act 1994.

\* as Lessees of this land agree to this plan:

*Michael Tapiolaw*  
Signature of \*Registered Owners \*Lessees  
**WILFRED ANTHONY TAPIOLAW**  
**DIRECTOR.**

*L Fitzmaurice*  
**LYNDAL FITZMAURICE**  
Company Secretary

\* Rule out whichever is inapplicable

2. Planning Body Approval.  
\* **TOWNSVILLE CITY COUNCIL**  
hereby approves this plan in accordance with the  
% **PLANNING ACT 2016**

Dated this **13<sup>TH</sup>** day of **FEBRUARY 2020**

*John*  
AS DULY AUTHORISED  
# **REPRESENTATIVE OF**  
**TOWNSVILLE CITY COUNCIL**  
**ACTING GENERAL MANAGER, PLANNING**

\* Insert the name of the Planning Body.  
# Insert designation of signatory or delegation

3. Plans with Community Management Statement:  
CMS Number :  
Name :  
4. References :  
Dept File : **POS20/0004**  
Local Govt : **TOWNSVILLE**  
Surveyor : **27001/147-11 SLR 02/20**

259-263, 271, 272 & 912  
Lot 912 on SP306178

Lots Orig

7. Orig Grant Allocation :

8. Passed & Endorsed :

By : **BRAZIER MOTTI PTY LTD**  
Date : **11-2-20**  
Signed : *P. Mott*  
Designation : **Liaison Officer**

9. Building Format Plans only.

I certify that :  
\* As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or roads,  
\* Part of the building shown on this plan encroaches onto adjoining \* lots and road

Cadastral Surveyor/Director\* Date  
\* delete words not required

10. Lodgement Fees :

Survey Deposit \$  
Lodgement \$  
.....New Titles \$  
Photocopy \$  
Postage \$  
TOTAL \$

11. Insert Plan Number  
**SP315853**

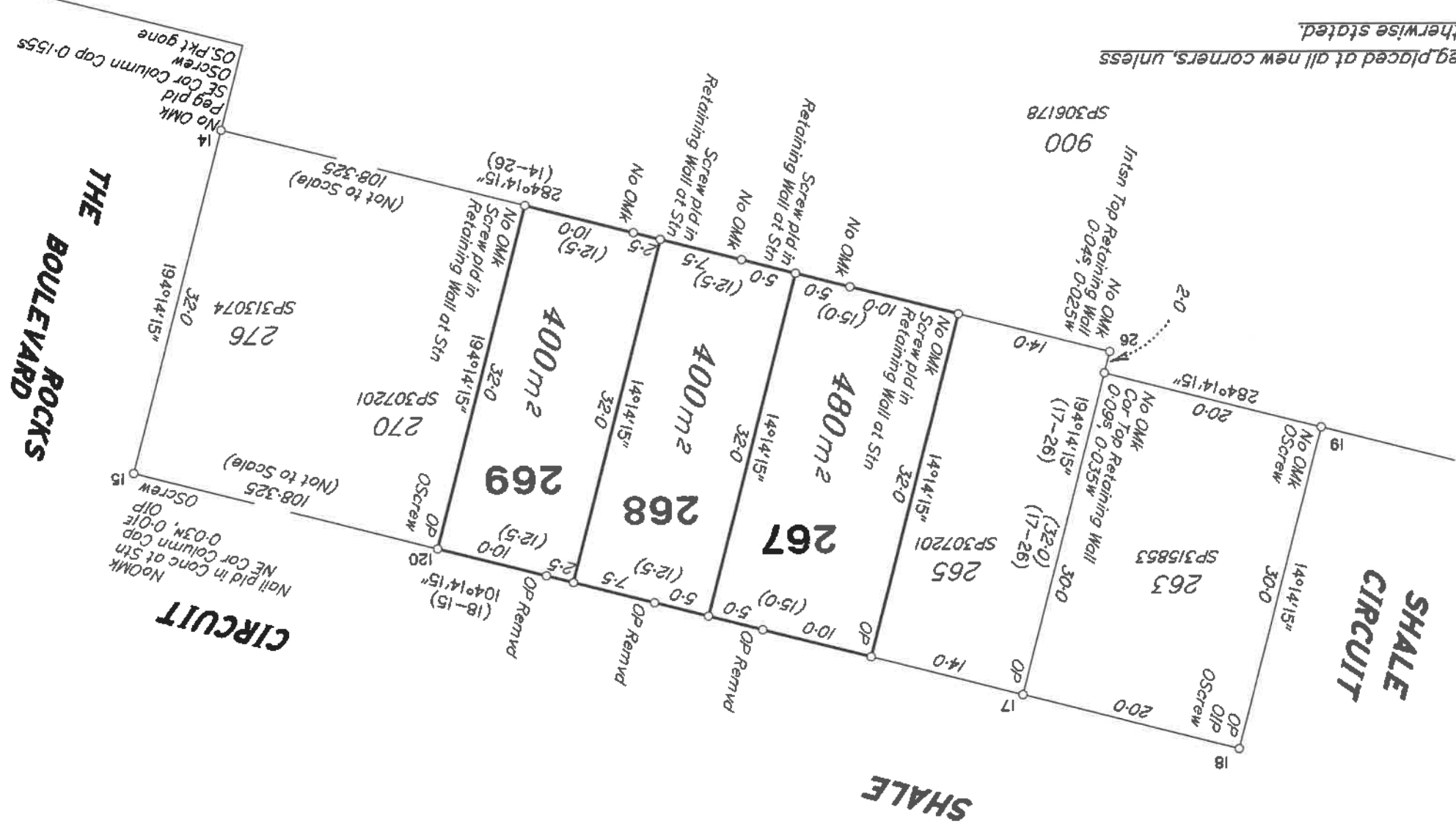
27001/212C 02/20





**REFERENCE MARKS**

STN	TO	ORIGIN	BEARING	DIST
14	OScrew in Kerb	14/DP306179	138°52'40"	7.65
14	OS, Pkt gone	14/SP306178	16°51'	32.12
15	OIP	15/DP306179	343°10'20"	1.77
15	OScrew in Kerb	15/DP306179	49°05'25"	5.105
18	OIP	18/DP306179	13°45'	2.345
18	OScrew in Kerb	18/DP306179	333°45'40"	4.495
19	OScrew in Kerb	19/DP306179	285°58'	12.58
120	OScrew in Kerb	120/DP306179	28°43'40"	4.42



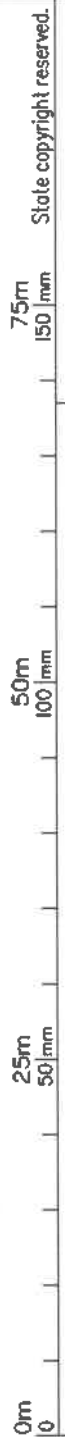
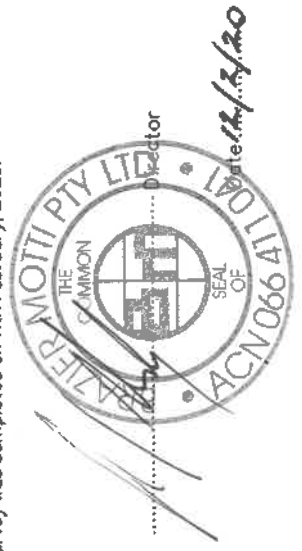
The Shale Circuit boundary has been fixed by original marks at the subject and adjoining lot corners and original reference marks at stations 15, 18 and 19. The rear boundary was reinstated from reference marks at stations 14 and 19 and deed bearing and distance from the Shale Circuit boundary.

Good agreement was found with previous plans.

**Survey Report**

Peg placed at all new corners, unless otherwise stated.

BRAZIER MOTTI PTY LTD (ACN 066 411 041) hereby certify that the land comprised in this plan was surveyed by the corporation, by Stephen John BRYANT, Cadastral Surveyor, for whose work the corporation accepts responsibility, and that the plan is accurate, that the said survey was performed in accordance with the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the said survey was completed on 11th February, 2020.



Scale: **1:500**  
Format: **STANDARD**  
State copyright reserved.

**Plan of Lots 267-269**

Cancelling Lot 912 on SP315853

LOCAL GOVERNMENT: **COUNCIL**  
TOWNSVILLE CITY  
LOCALITY: **COSGROVE**

Meridian: **MGA (Zone 55) vide DP306179**  
Survey Records: No



**SP315860**

**WARNING : Folded or Mutilated Plans will not be accepted.  
Plans may be rolled.**

**Information may not be placed in the outer margins.**

5. Lodged by

Parkside Development Pty Ltd  
PO Box 4018 KIRWAN 4817  
4431 8600  
wtapiolas@parkside.biz  
(Include address, phone number, reference, and Lodger Code)

888

1. Certificate of Registered Owners or Lessees.

I/we **PARKSIDE DEVELOPMENT PTY LTD**  
**A.C.N. 009.802.233**

(Names in full)

\* as Registered Owners of this land agree to this plan and dedicate the Public Use Land as shown hereon in accordance with Section 50 of the Land Title Act 1994.

~~\* as Lessees of this land agree to this plan:~~

*Wtapiolas*

Signature of \*Registered Owners \*Lessees

*WILFRED ANTHONY PAPAIOANNO*  
**DIRECTOR**

*L Fitzgarrick*  
**LYNDAL FITZMAURICE**  
**COMPANY SECRETARY**

*SP315853 to register prior to this plan.*

\* Rule out whichever is inapplicable

2. **TOWNSVILLE CHERIFFY COUNCIL**

\* hereby approves this plan in accordance with the :  
%

**PLANNING ACT 2016**

Dated this 13<sup>TH</sup> day of FEBRUARY 2020  
**AS DULY AUTHORISED**  
**REPRESENTATIVE OF**  
**TOWNSVILLE CITY COUNCIL**

*Eden*

**ACTING GENERAL MANAGER, PLANNING**

\* Insert the name of the Planning Body.  
# Insert designation of signatory or delegation

% Insert applicable approving legislation.

3. Plans with Community Management Statement:

CMS Number :

Name :

4. References :  
Dept File : POS30/0007  
Local Govt : TOWNSVILLE  
Surveyor : 27001/147-11 SLR

Surveys : 27001\_213A 02/20

6. Existing

Title Reference

Created

Secondary Interests

Description  
Lot 912 on SP315853

New Lots  
267-269

Road

Secondary Interests

-

9. Building Format Plans only.

I certify that :

- \* As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or roads.
- \* Part of the building shown on this plan encroaches onto adjoining \* lots and road

Cadastral Surveyor/Director\* Date  
\* delete words not required

10. Lodgement Fees :

Survey Deposit	\$	.....
Lodgement	\$	.....
.....New Titles	\$	.....
Photocopy	\$	.....
Postage	\$	.....
<b>TOTAL</b>		

267-269 Lot 912 on SP306178

Lots Orig

7. Orig Grant Allocation :

8. Passed & Endorsed :

By : **BRAZIER MOTTI PTY LTD**

Date : 12-2-20

Signed : *P. Mott*

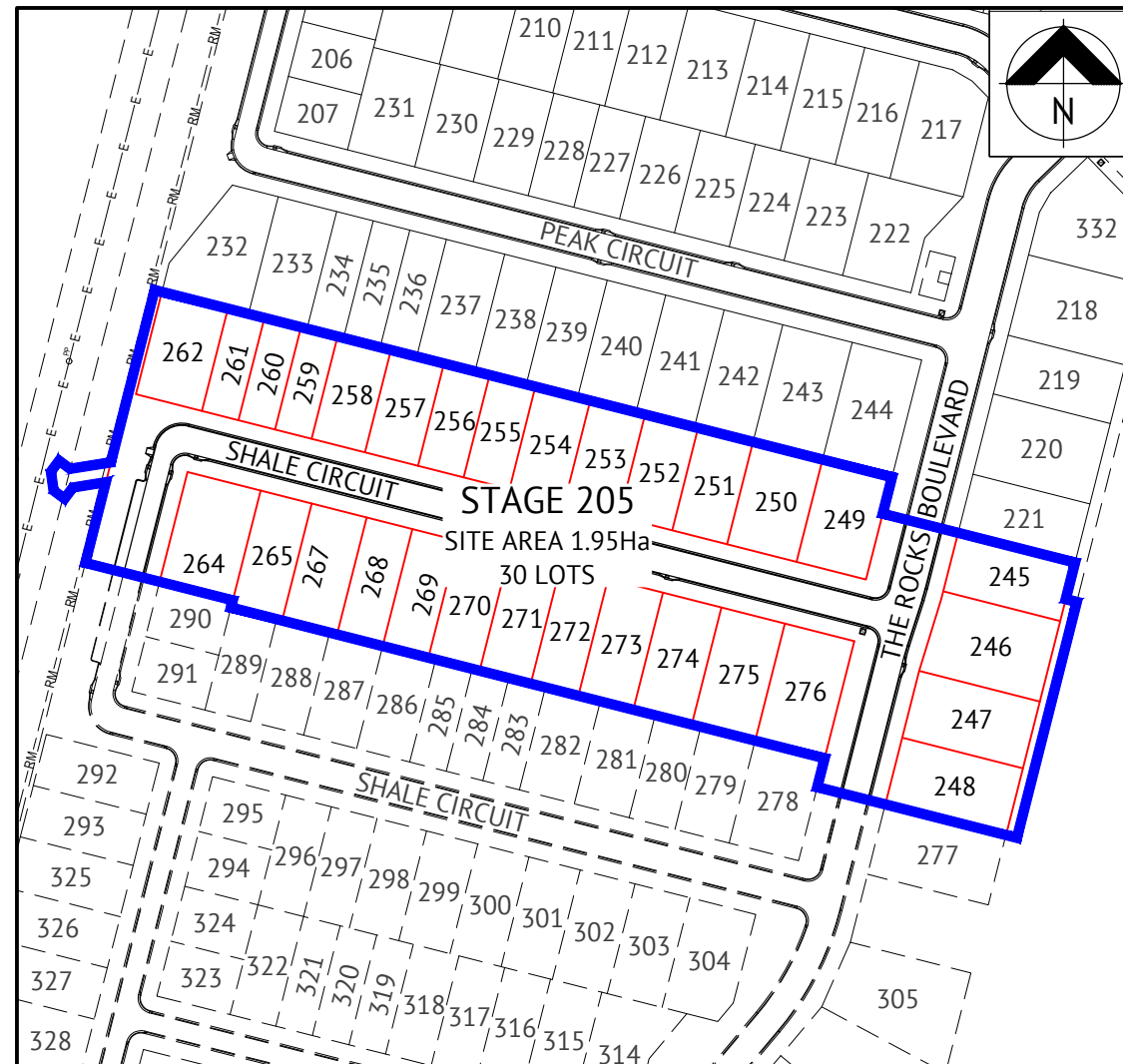
Designation : **Liaison Officer**

11. Insert Plan Number  
**SP315860**

# COSGROVE — STAGE 205

## COSGROVE DRIVE, COSGROVE

### FOR PARKSIDE DEVELOPMENT PTY LTD



**LOCALITY PLAN**

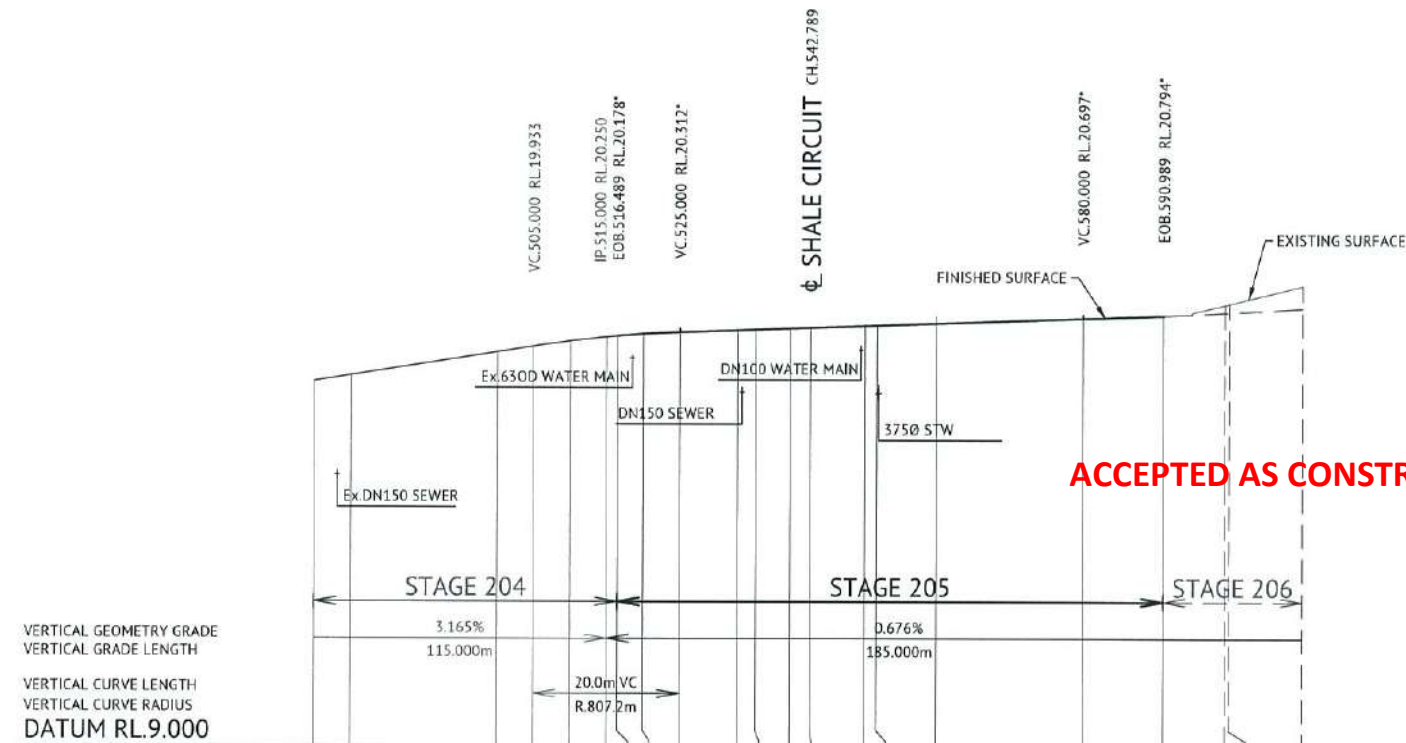
DRAWING SCHEDULE	
SHEET NO.	SHEET TITLE
187	LOCALITY PLAN & DRAWING SCHEDULE
188	EARTHWORKS LAYOUT PLAN
189	ROADWORKS & STORMWATER DRAINAGE PLAN
190	THE ROCKS BOULEVARD LONGITUDINAL & TYPICAL CROSS SECTION
191	SHALE CIRCUIT LONGITUDINAL SECTION & TYPICAL CROSS SECTION
192	ROADWORKS DETAILS PLAN
193	Q2 STORMWATER LONGITUDINAL SECTIONS
194	WATER RETICULATION PLAN
195	SEWERAGE RETICULATION PLAN
196	SEWERAGE LONGITUDINAL SECTIONS
197	MISCELLANEOUS DETAILS PLAN



Revisions		Level Datum: AHD (DERIVED) B.M. Used: PSM127952		CLIENT: PARKSIDE DEVELOPMENT PTY LTD	
No.	Date	Details	Check	Coordinate Projection:	Project:
A	6/09/18	AS-CONSTRUCTED ISSUE		Origin of Coordinates: PSM127952	COSGROVE - STAGE 205
B	31/01/20	LOT LAYOUT UPDATED		Meridian:	COSGROVE DRIVE, COSGROVE
				Map Reference:	LOCALITY PLAN, SITE PLAN & DRAWING SCHEDULE
				Contour Interval:	Parish of: Coonambelah
				Job No: 27001-148-01	County of: Elphinstone
				File No: 27001_1878.dwg	Local Authority: Townsville City Council
				Surveyed by: BM	Locality: Townsville
				Drawn: MJM	
				Approved:	1300 267 878 www.braziermott.com.au TOWNSVILLE   AYR CAIRNS   MACKAY
					Date: 6th September, 2018 Sheet 1 of 1 Sheets Scale: AS SHOWN Plan No: 27001/187 B

**APPROVED PAVEMENT DESIGN**  
**THE ROCKS BOULEVARD CH.516.489 - CH.590.989**

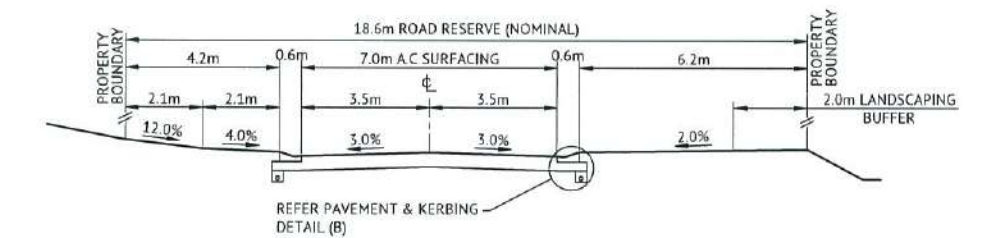
30mm ASPHALT SURFACING (AC10M)  
 PRIME COAT 1.1L/m<sup>2</sup> (AMCO)  
 125mm BASE COURSE (DMR TYPE 2.1)  
 140mm SUB BASE COURSE (DMR TYPE 2.3)



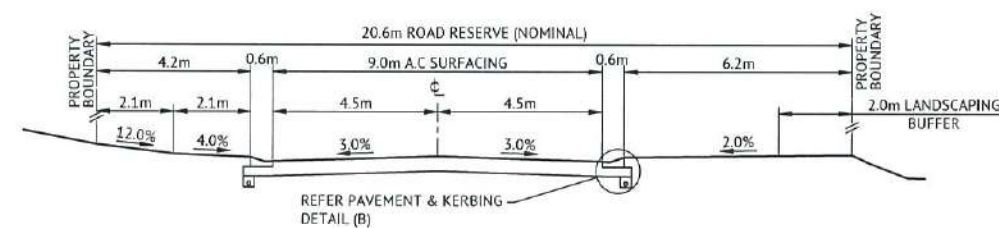
**ACCEPTED AS CONSTRUCTED**

LIP OF KERB LEVELS RHS	18.849	19.007	19.640	19.798	19.941	20.053	20.070*	20.136*	20.188*	20.255*	20.273*	20.391*	20.417*	20.464*	20.605*	20.687*	20.724	20.728	20.795
LIP OF KERB LEVELS LHS	18.849	19.007	19.640	19.798	19.941	20.053	20.083*	20.131*	20.183*	20.253*	20.273*	20.391*	20.405*	20.466*	20.598*	20.676*	20.724	20.728	20.795
LIP OF KERB GRADES RHS(%)							1.142	1.880	1.040	0.847	0.740	1.288	0.640	0.705	0.746				
LIP OF KERB GRADES LHS(%)							2.015	1.367	1.040	0.885	0.740	1.288	0.640	0.750	0.660	0.710			
CONTROL LINE FINISHED LEVEL	18.884	19.142	19.775	19.955	20.076	20.188	20.178*	20.136*	20.188*	20.255*	20.273*	20.391*	20.420*	20.434*	20.598*	20.676*	20.724	20.728	20.795
CONTROL LINE CHAINAGE	475.000	480	500	505.000	510.000	515.000	516.489	520	525.000	532.908	535.359	540	542.789	550.259	552.870	560	590.989	600	610.000
SPEED	DESIGN	40km/hr (EXCLUDING INTERSECTIONS)																	
	REGULATORY	40km/hr																	

**THE ROCKS BOULEVARD LONGITUDINAL SECTION**  
 SCALE 1:100 VERTICAL, SCALE 1:500 HORIZONTAL

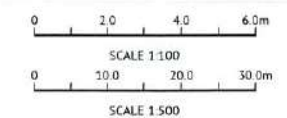


**TYPICAL SECTION CH.551.870 - CH.590.989**



**TYPICAL SECTION CH.516.489 - CH.551.870**  
**THE ROCKS BOULEVARD CROSS SECTIONS**  
 SCALE 1:100

**Townsville City Council**  
**Received**  
**20/09/2018**



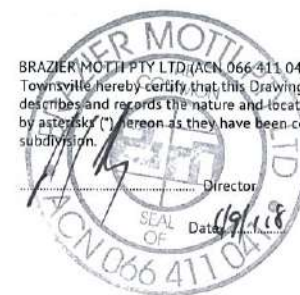
MENDI CONSTRUCTIONS PTY LTD DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

PREMISE AUSTRALIA PTY LTD DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

BRAZIER MOTT PTY LTD (ACN 066 411 041), 595 Flinders Street, Townsville hereby certify that this Drawing accurately and correctly describes and records the nature and location of the works depicted by asterisks (\*) hereon as they have been constructed for subdivision.

AUTHORISED REPRESENTATIVE: *[Signature]*  
 DATE: 20/9/18

ENGINEER: *[Signature]* DATE: 15.9.18  
 RPEQ: 13251



No.	Date	Details	Check
A	16/9/18	AS-CONSTRUCTED ISSUE	

Level Datum: AHD (DERIVED)  
 D.M. Used: PSM127952  
 Coordinate Projection:  
 Coordinate Datum:  
 Origin of Coordinates: PSM127952  
 Meridian:  
 Map Reference:  
 Contour Interval:  
 Job No: 27001-190-01  
 File No: 27001\_190A.dwg  
 Drawn: MHM  
 Surveyed by: BM

CLIENT:	PARKSIDE DEVELOPMENT PTY LTD
Project:	COSGROVE - STAGE 205 COSGROVE DRIVE, COSGROVE THE ROCKS BLVD LONG & CROSS SECTIONS
Fairfax of:	Cosgrove
Local Authority:	Townsville City Council
County of:	Elphinstone
Locality:	Townsville

**brazier mott**

1300 267 878  
 www.braziermott.com.au

Date: 08 September, 2018  
 Sheet: 1 of 1 Sheets  
 Scale: AS SHOWN  
 Plan No: 27001/190 A

TOWNSVILLE | AYR  
 CAIRNS | MACKAY

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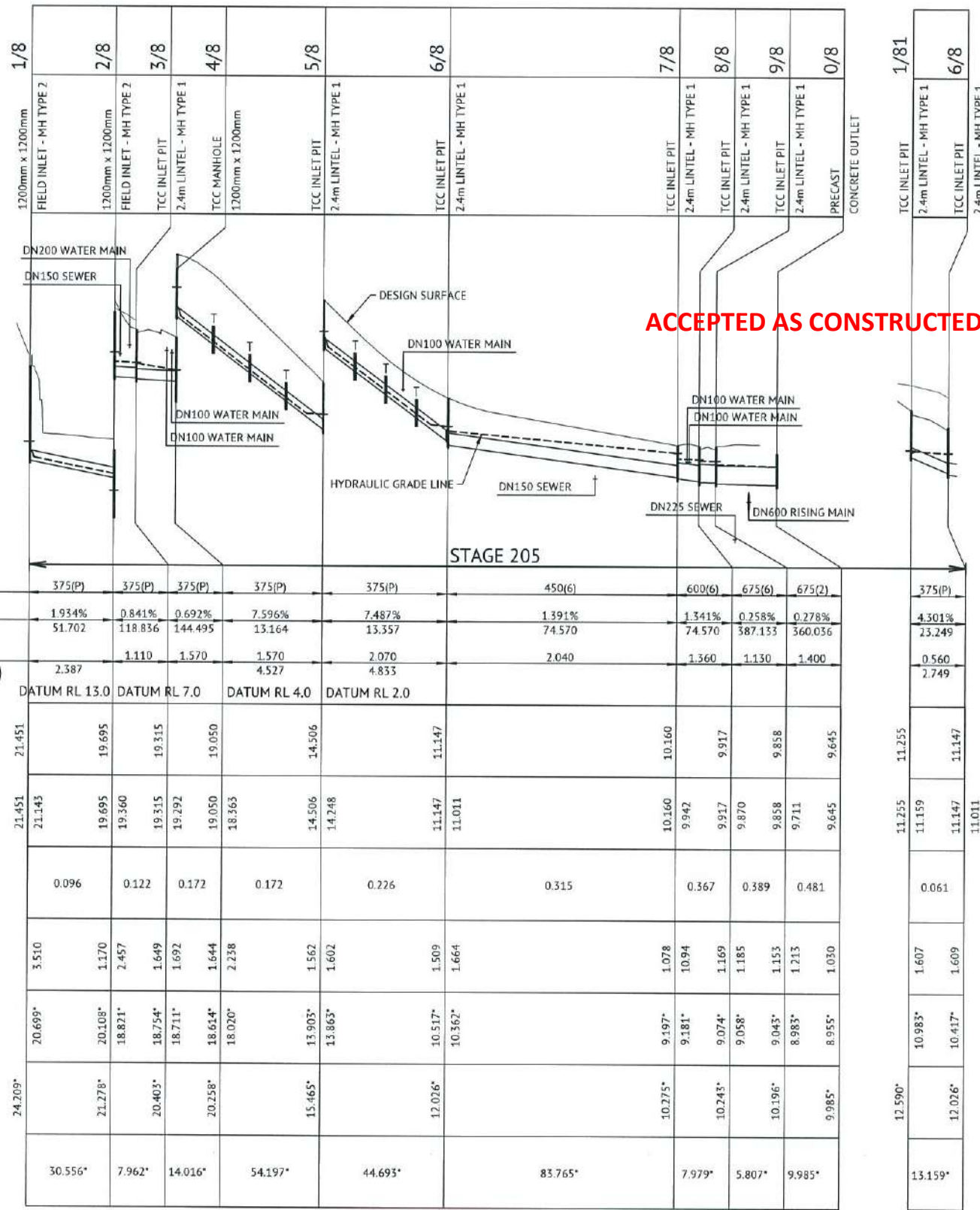
STRUCTURE NAME
STRUCTURE DESCRIPTION

**STORMWATER NOTES**

- ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
- STRUCTURE LENGTHS ARE TO CENTRE OF MANHOLE OR CENTRE OF STANDARD KERB INLET CHAMBER.
- FOR STORMWATER ALIGNMENT, REFER TO STORMWATER LAYOUT DRAWING.
- ALL RCP DRAINAGE PIPES FLUSH JOINTED WITH EXTERNAL RUBBER BAND, UNLESS NOTED OTHERWISE.
- ALL POLYPROPYLENE DRAINAGE PIPES IN ACCORDANCE WITH ASS065.
- PIPE CLASS: (4) - RCP CLASS 4  
(6) - RCP CLASS 6  
(P) - POLYPROPYLENE

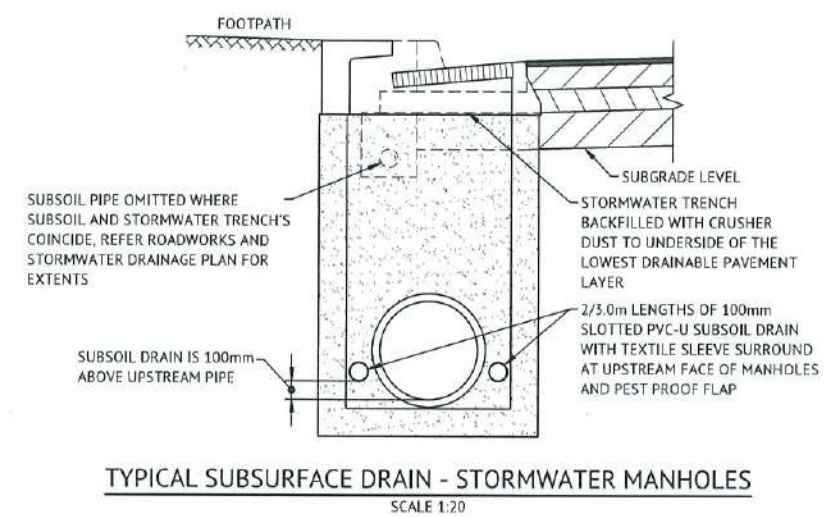
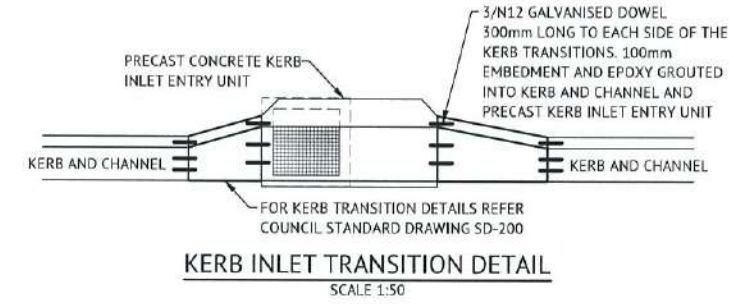
**LEGEND**

- T TRENCH STOPS REFER TCC STD DWG SD-482



PIPE SIZEmm (Class)	375(P)	375(P)	375(P)	375(P)	375(P)	450(6)	600(6)	675(6)	675(2)	375(P)
PIPE GRADE %	1.934%	0.841%	0.692%	7.596%	7.487%	1.391%	1.341%	0.258%	0.278%	4.301%
PIPE SLOPE 1 in X	51.702	118.836	144.495	13.164	13.357	74.570	74.570	387.133	360.036	23.249
FULL PIPE FLOW VELOCITY (m/s)	2.387	1.110	1.570	1.570	2.070	2.040	1.360	1.130	1.400	0.560
PART FULL FLOW VELOCITY (m/s)				4.527	4.833					2.749
DATUM RL	13.0	7.0	4.0	2.0						
WATER LEVEL IN STRUCTURE	21.451	19.695	19.315	19.050	14.506	11.147	10.160	9.917	9.858	9.645
HYDRAULIC GRADE LEVEL	21.451	19.695	19.315	19.050	14.506	11.147	10.160	9.917	9.858	9.645
PIPE FLOW (Cumecs)	0.096	0.122	0.172	0.172	0.226	0.315	0.367	0.389	0.481	0.061
DEPTH TO INVERT	3.510	1.170	1.649	1.644	1.562	1.602	1.078	1.169	1.185	1.153
INVERT LEVEL OF DRAIN	20.699*	20.108*	18.821*	18.754*	18.711*	18.614*	18.020*	13.903*	13.863*	10.517*
FINISHED SURFACE LEVEL	24.209*	21.278*	20.403*	20.258*	15.465*	12.026*	10.275*	10.243*	10.196*	9.985*
PIPE LENGTH	30.556*	7.962*	14.016*	54.197*	44.693*	83.765*	7.979*	5.807*	9.985*	13.159*

**Townsville City Council**  
Received  
20/09/2018



**Q2 STORMWATER LONGITUDINAL SECTION**

SCALE 1:100 VERTICAL, SCALE 1:1000 HORIZONTAL

MENDI CONSTRUCTIONS PTY LTD DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

PREMISE AUSTRALIA PTY LTD DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

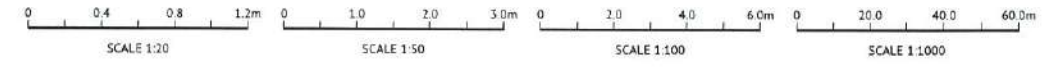
BRAZIER MOTTI PTY LTD (ACN 066 411 041), 595 Flinders Street, Townsville hereby certify that this drawing accurately and correctly describes and records the nature and location of the works depicted by asterisks (\*) hereon as they have been constructed for subdivision.

AUTHORISED REPRESENTATIVE: [Signature]  
DATE: 20/9/18

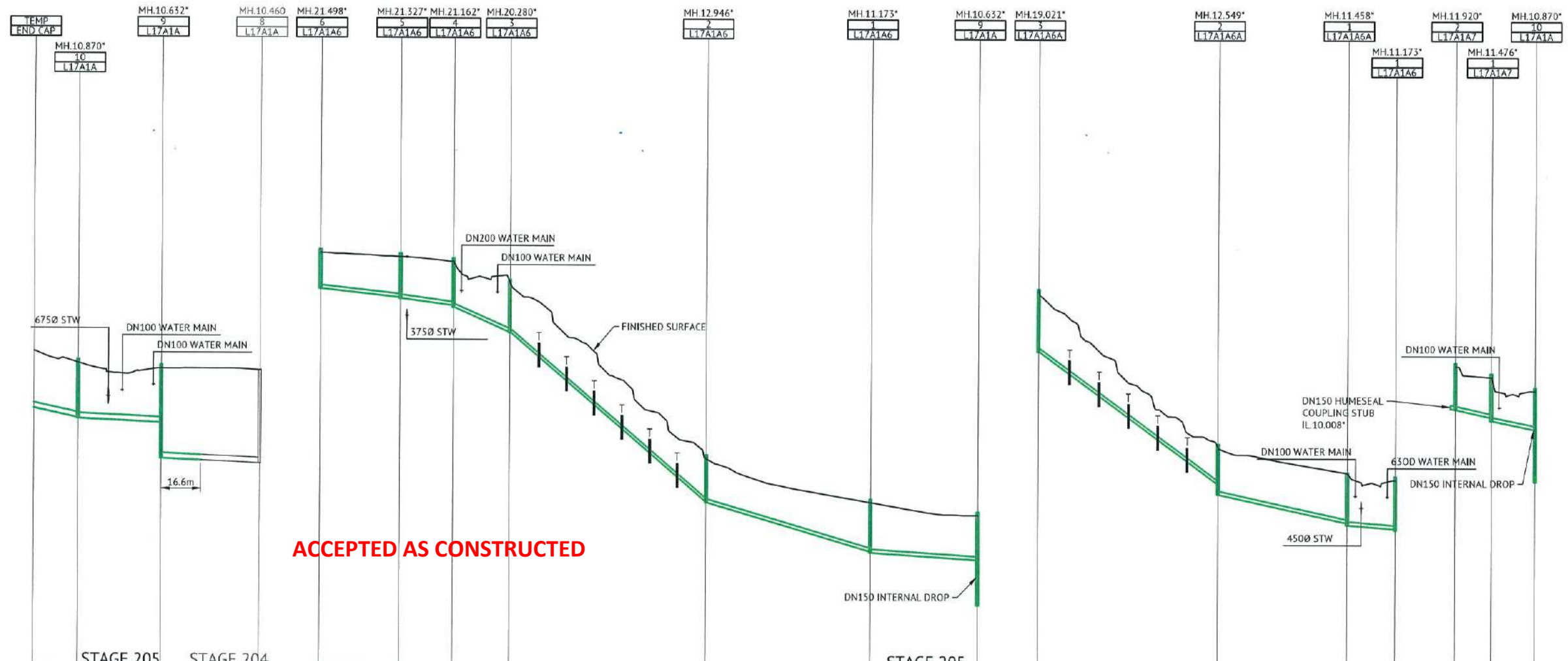
ENGINEER: [Signature] DATE: 15.9.18  
RPEQ: 13251



<p>Revisions</p> <table border="1"> <thead> <tr> <th>No.</th> <th>Date</th> <th>Details</th> <th>Checked</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>6/09/18</td> <td>AS-CONSTRUCTED ISSUE</td> <td></td> </tr> </tbody> </table>	No.	Date	Details	Checked	A	6/09/18	AS-CONSTRUCTED ISSUE		<p>Level Datum: AHD (DERIVED) B.M. Used: PS M127952 Coordinate Projection: Coordinate Datum: Origin of Coordinates: PS M127952 Meridian: Map Reference: Contour Interval: Job No: 27001-193-01 File No: 27001_193A.dwg Surveyed by: BM</p>	<p>CLIENT: PARKSIDE DEVELOPMENT PTY LTD Project: COSGROVE - STAGE 205 COSGROVE DRIVE, COSGROVE Q2 STORMWATER LONGITUDINAL SECTION Parish of: Coenambalah Local Authority: Townsville City Council</p>	<p>  1300 267 878 www.braziermotti.com.au TOWNSVILLE   Ayr CAIRNS   MACKAY Date: 6th September, 2018 Sheet 1 of 1 Sheets Scale: AS SHOWN Plan No: 27001/193 A Locality: Townsville</p>
No.	Date	Details	Checked								
A	6/09/18	AS-CONSTRUCTED ISSUE									







**LEGEND**

T TRENCH STOPS  
REFER TCC STD  
DWG SD-482

DIAMETER  
GRADE

DIAMETER	GRADE	DATUM RL.	FINISHED SURFACE LEVEL	INVERT LEVEL	DEPTH TO INVERT OF SEWER	PIPE LENGTH
DN225	1 in 49	-7.000	10.735*	8.812*	2.293	18.270*
DN225	1 in 194		10.512*	8.440*	2.326	34.762*
DN225	1 in 234		10.460	8.407*	2.284	40.975

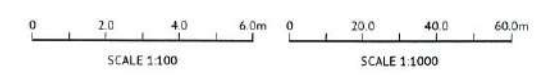
DIAMETER	GRADE	DATUM RL.	FINISHED SURFACE LEVEL	INVERT LEVEL	DEPTH TO INVERT OF SEWER	PIPE LENGTH
DN150	1 in 88	-1.000	21.332*	19.865*	1.469	33.359*
DN150	1 in 88		21.139*	19.483*	1.656	21.978*
DN150	1 in 23		20.960*	19.463*	1.676	23.621*
DN150	1 in 12		20.189*	19.213*	1.747	82.464*
DN150	1 in 35		20.189*	19.178*	1.832	69.261*
DN150	1 in 161		12.670*	18.080*	2.109	44.970*
DN150	1 in 161		10.521*	18.057*	2.132	

DIAMETER	GRADE	DATUM RL.	FINISHED SURFACE LEVEL	INVERT LEVEL	DEPTH TO INVERT OF SEWER	PIPE LENGTH
DN150	1 in 13	-2.000	18.836*	16.329*	2.507	75.274*
DN150	1 in 46		12.340*	10.517*	1.828	53.910*
DN150	1 in 117		11.311*	10.402*	1.938	20.087*
DN150	1 in 39		10.995*	9.236*	2.075	15.005*
DN150	1 in 63		11.767*	9.160*	2.151	18.214*
DN150	1 in 63		10.733*	8.989*	2.006	

**SEWERAGE LONGITUDINAL SECTIONS**

SCALE 1:100 VERTICAL, SCALE 1:1000 HORIZONTAL

**Townsville City Council**  
**Received**  
**20/09/2018**



MENDI CONSTRUCTIONS PTY LTD DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

AUTHORISED REPRESENTATIVE: *[Signature]*  
DATE: 10/9/18

PREMISE AUSTRALIA PTY LTD DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

ENGINEER: *[Signature]* DATE: 13.9.18  
RPEQ: 13231

BRAZIER MOTTI PTY LTD (ACN 066 411 041), 595 Flinders Street, Townsville hereby certify that this Drawing accurately and correctly describes and records the nature and location of the works depicted by asterisks (\*) thereon as they have been constructed for subdivision.



No.	Date	Details	Check
A	6/9/18	AS-CONSTRUCTED ISSUE	

Level Datum: AHD (DERIVED)  
B.M. Used: PSM127952  
Coordinate Projection:  
Coordinate Datum:  
Origin of Coordinates: PSM127952  
Maiden:  
Map Reference:  
Contour Interval:  
Job No: 27001-148-01  
File No: 27001\_196A.dwg  
Surveyed by: BM

CLIENT: PARKSIDE DEVELOPMENT PTY LTD	Drawn: MH
Project: COSGROVE - STAGE 205 COSGROVE DRIVE, COSGROVE SEWERAGE LONGITUDINAL SECTIONS	Approved:
Parish of: Cosmovalley	County of: Ephraim
Local Authority: Townsville City Council	Locality: Townsville

**brazier motti**

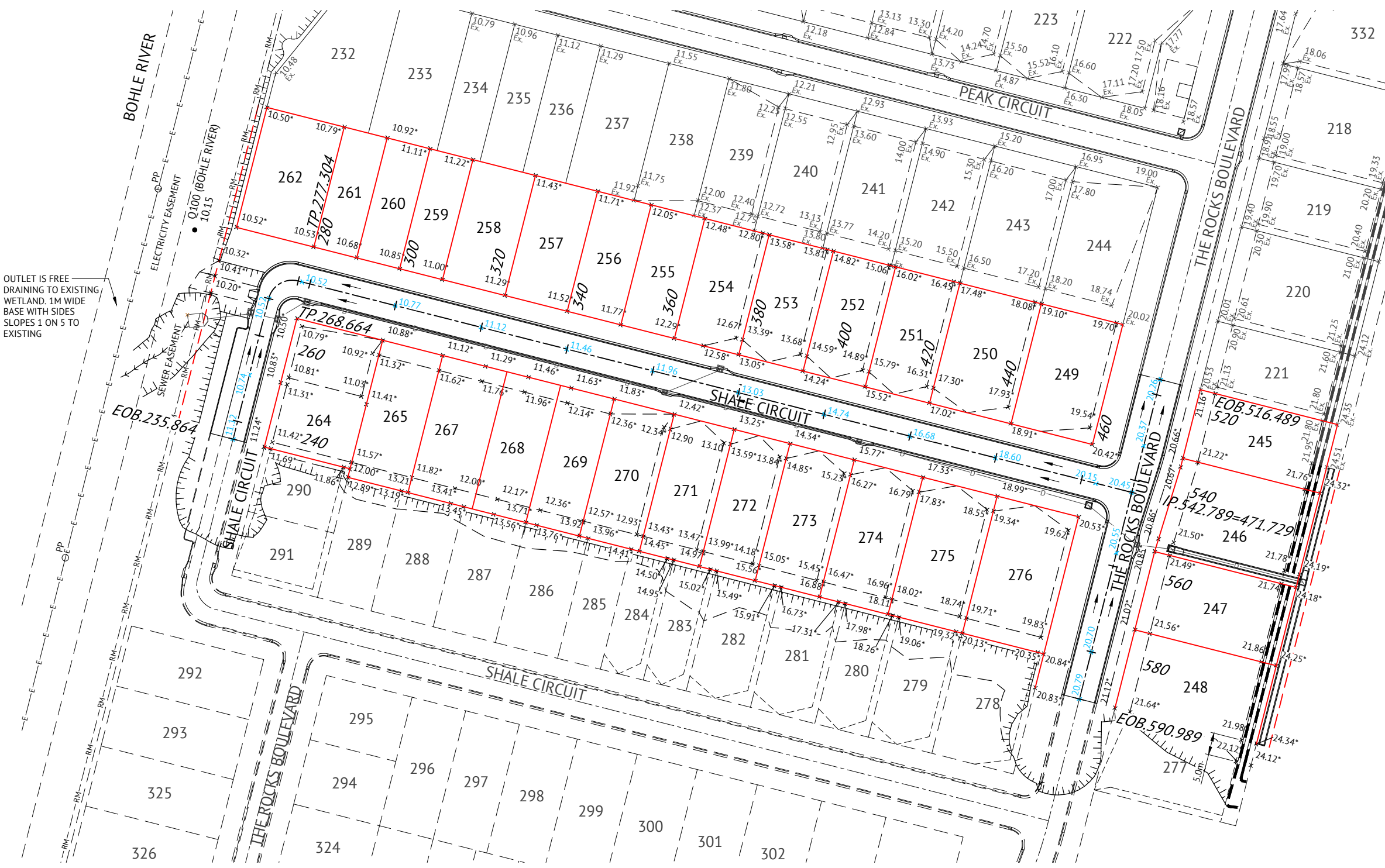
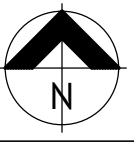
1300 267 878  
www.braziermotti.com.au

Date: 6th September, 2018  
Sheet: 1 of 1 Sheets  
Scale: AS SHOWN

TOWNSVILLE | AYS  
CARRIS | MACKAY

Plan No: 27001/196 A

Surveying | town planning | project management | mapping and GIS

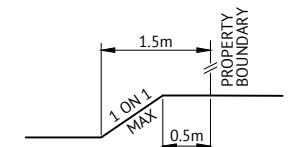


**EARTHWORKS LEGEND**

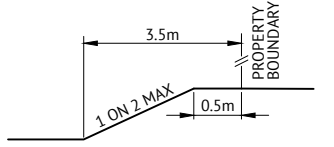
- RM --- RM --- EXISTING SEWER RISING MAIN
- E --- E --- EXISTING OVERHEAD POWERLINE
- 6.32\* CERTIFIED FINISHED ALLOTMENT LEVEL
- x 6.41 DENOTES EXISTING ALLOTMENT LEVEL
- x 6.30 DENOTES Q100 FLOOD LEVEL
- TOP OF BATTER
- BOTTOM OF BATTER
- LINK BLOCK RETAINING WALL
- EXISTING LINK BLOCK RETAINING WALL
- DIRECTION OF KERB & CHANNEL FLOW

**EARTHWORKS NOTES**

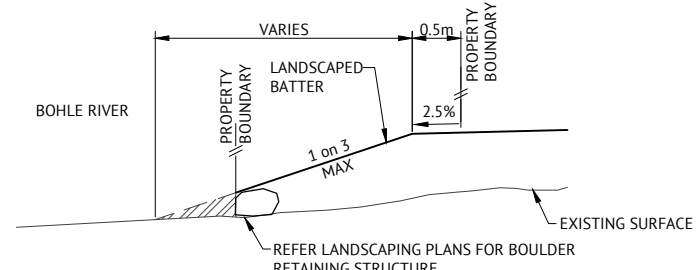
1. ALL EARTHWORKS OPERATIONS UNDERTAKEN IN ACCORDANCE WITH THE PROJECT SPECIFICATION.
2. ALLOTMENTS GRADED EVENLY BETWEEN LEVELS SHOWN. MINIMUM FINISHED ALLOTMENT GRADE TO BE 1:200.



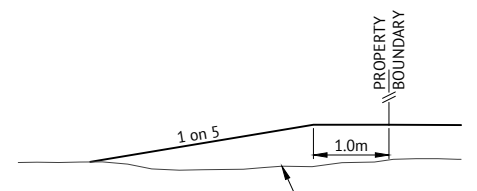
**TYPICAL SIDE BATTER ON LOTS**  
NTS



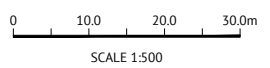
**TYPICAL REAR BATTER ON LOTS**  
NTS



**BATTER TO EXISTING**  
**(BOHLE RIVER BANK - ADJACENT LOT 262)**  
NTS



**TYPICAL BATTER TO EXISTING**  
NTS



SCALE 1:500

MENDI CONSTRUCTIONS PTY LTD DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

AUTHORISED REPRESENTATIVE.....  
DATE .....

PREMISE AUSTRALIA PTY LTD DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

ENGINEER..... DATE .....

BRAZIER MOTTI PTY LTD (ACN 066 411 041), 595 Flinders Street, Townsville hereby certify that this Drawing accurately and correctly describes and records the nature and location of the works depicted by asterisks (\*) hereon as they have been constructed for subdivision.

Director  
Date .....

No.	Date	Details	Check
A	6/09/18	AS-CONSTRUCTED ISSUE	
B	31/01/20	LOT LAYOUT UPDATED	

Level Datum: AHD (DERIVED)  
B.M. Used: PSM127952  
Coordinate Projection:  
Coordinate Datum:  
Origin of Coordinates: PSM127952  
Meridian:  
Map Reference:  
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Surveyed by: BM

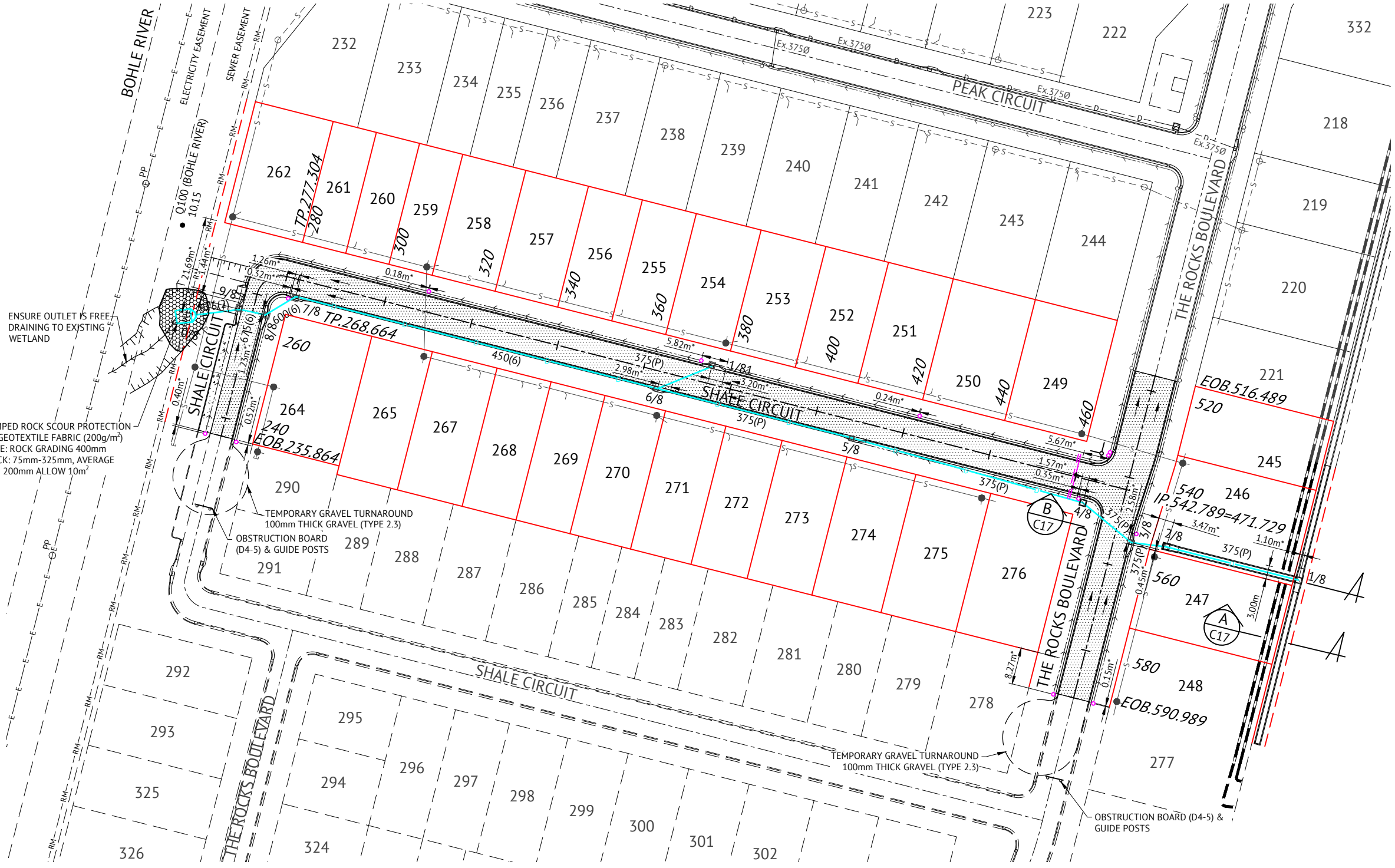
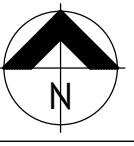
CLIENT: PARKSIDE DEVELOPMENT PTY LTD  
Project: COSGROVE - STAGE 205  
COSGROVE DRIVE, COSGROVE  
EARTHWORKS LAYOUT PLAN  
Parish of: Coonambelah  
County of: Elphinstone  
Local Authority: Townsville City Council  
Locality: Townsville

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CAIRNS | MACKAY

Date: 6th September, 2018  
Sheet 1 of 1 Sheets  
Scale: AS SHOWN  
Plan No: 27001/188 B

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**ROADWORKS LEGEND**

- LAYBACK KERB AND CHANNEL (TYPE L1)
- BARRIER KERB AND CHANNEL (TYPE B1)
- 600mm WIDE DISH DRAIN (TYPE D2)
- BARRIER KERB (TYPE B3)
- DOUBLE STREET NAME PLATE
- DIRECTION OF KERB & CHANNEL FLOW
- SUBSOIL DRAIN & CLEANOUT POINT
- 30mm THICK ASPHALT  
REFER PAVEMENT DESIGN FOR DETAILS
- 125mm THICK N32 CONCRETE  
SL82 MESH 40mm TOP COVER  
100mm SUB BASE COURSE (DMR TYPE 2.3)
- LINK BLOCK RETAINING WALL

**ROADWORKS NOTES**

1. ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
2. ALL SUBSOIL DRAINS GRADED AT MINIMUM 0.5% FROM HIGH POINT TO OUTLET, UNLESS NOTED OTHERWISE.

**STORMWATER LEGEND**

- SEWER MAIN
- EXISTING SEWER RISING MAIN
- EXISTING OVERHEAD POWERLINE
- STORMWATER DRAINAGE LINE
- STORMWATER MANHOLE (MANHOLE NO./LINE NO.)
- KERB INLET PIT (PIT NO./LINE NO.)
- EXISTING STORMWATER DRAINAGE LINE
- EXISTING STORMWATER MANHOLE (MANHOLE NO./LINE NO.)
- EXISTING KERB INLET PIT (PIT NO./LINE NO.)

**STORMWATER NOTES**

1. ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
2. ALL PIPE CUTS MADE USING A MASONRY SAW.
3. ALL TRENCHES UNDER ROAD PAVEMENT (INCLUDING FUTURE) BACKFILLED WITH CRUSHER DUST TO SUBGRADE LEVEL. REFER PROJECT SPECIFICATION FOR COMPACTION AND COMPLIANCE TESTING REQUIREMENTS.

ENSURE OUTLET IS FREE DRAINING TO EXISTING WETLAND

DUMPED ROCK SCOUR PROTECTION ON GEOTEXTILE FABRIC (200g/m<sup>2</sup>)  
NOTE: ROCK GRADING 400mm THICK: 75mm-325mm, AVERAGE SIZE 200mm ALLOW 10m<sup>2</sup>

TEMPORARY GRAVEL TURNAROUND  
100mm THICK GRAVEL (TYPE 2.3)

OBSTRUCTION BOARD (D4-5) & GUIDE POSTS

TEMPORARY GRAVEL TURNAROUND  
100mm THICK GRAVEL (TYPE 2.3)

OBSTRUCTION BOARD (D4-5) & GUIDE POSTS

MENDI CONSTRUCTIONS PTY LTD DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

PREMISE AUSTRALIA PTY LTD DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

BRAZIER MOTTI PTY LTD (ACN 066 411 041), 595 Flinders Street, Townsville hereby certify that this Drawing accurately and correctly describes and records the nature and location of the works depicted by asterisks (\*) hereon as they have been constructed for subdivision.

AUTHORISED REPRESENTATIVE.....  
DATE .....

ENGINEER..... DATE .....

Director  
Date .....

No.	Date	Details	Check
A	6/09/18	AS-CONSTRUCTED ISSUE	
B	31/01/20	LOT LAYOUT UPDATED	

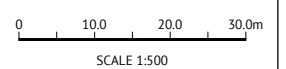
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Coordinate Datum:  
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Meridian:  
Map Reference:  
Contour Interval:  
Job No: 27001-148-01  
File No: 27001\_189B.dwg  
Surveyed by: BM

CLIENT: PARKSIDE DEVELOPMENT PTY LTD  
Project: COSGROVE - STAGE 205  
COSGROVE DRIVE, COSGROVE  
ROADWORKS & STORMWATER DRAINAGE PLAN  
Parish of: Coonambelah County of: Elphinstone  
Local Authority: Townsville City Council Locality: Townsville

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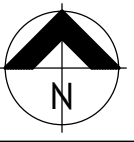
Date: 6th September, 2018  
Sheet 1 of 1 Sheets  
Scale: AS SHOWN  
Plan No: 27001/189 B

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SCALE 1:500



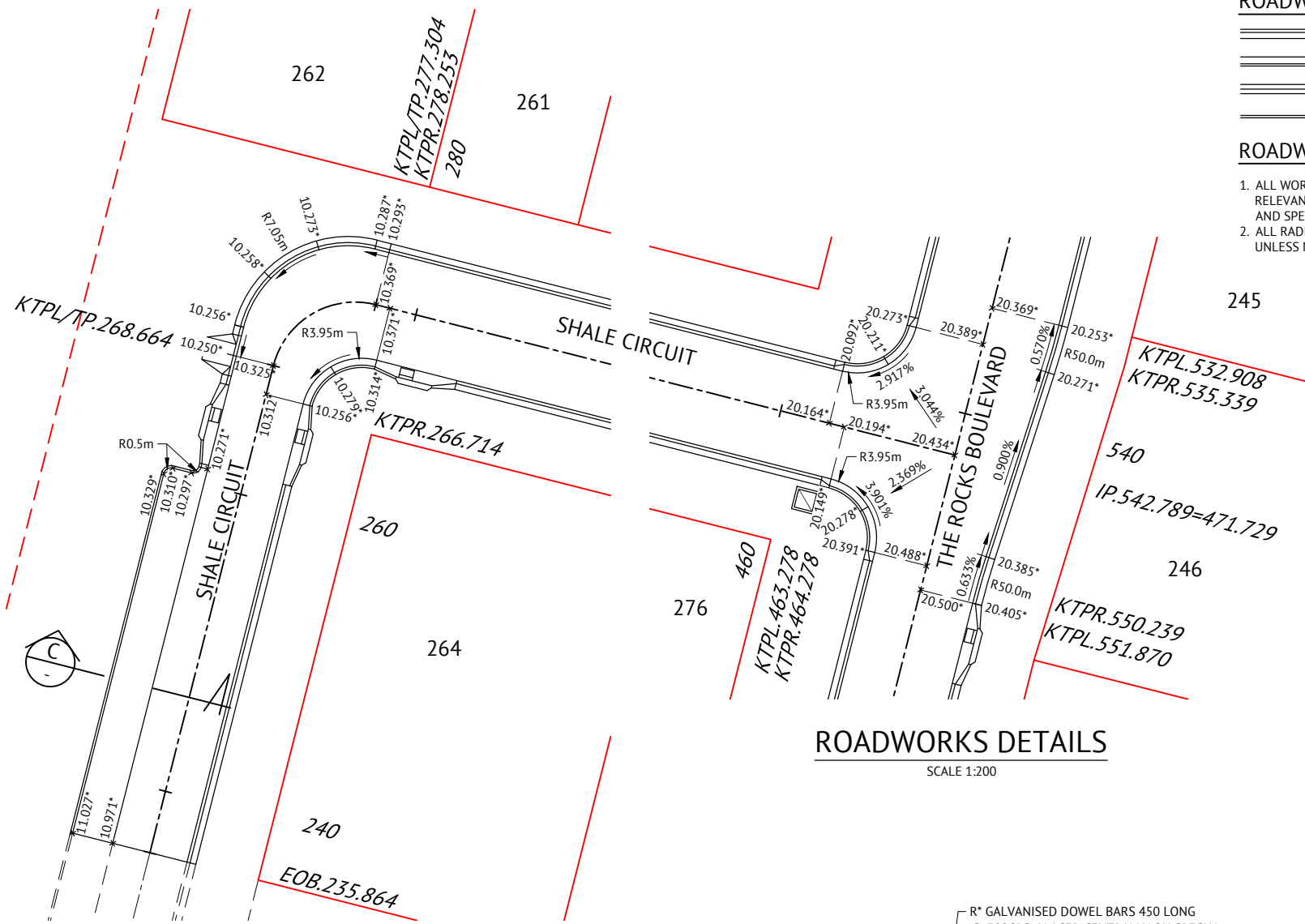


**ROADWORKS DETAILS LEGEND**

- LAYBACK KERB & CHANNEL (TYPE L1)
- BARRIER KERB & CHANNEL (TYPE B1)
- 600mm WIDE DISH DRAIN PROFILE (TYPE D2)
- BARRIER KERB PROFILE (TYPE B3)

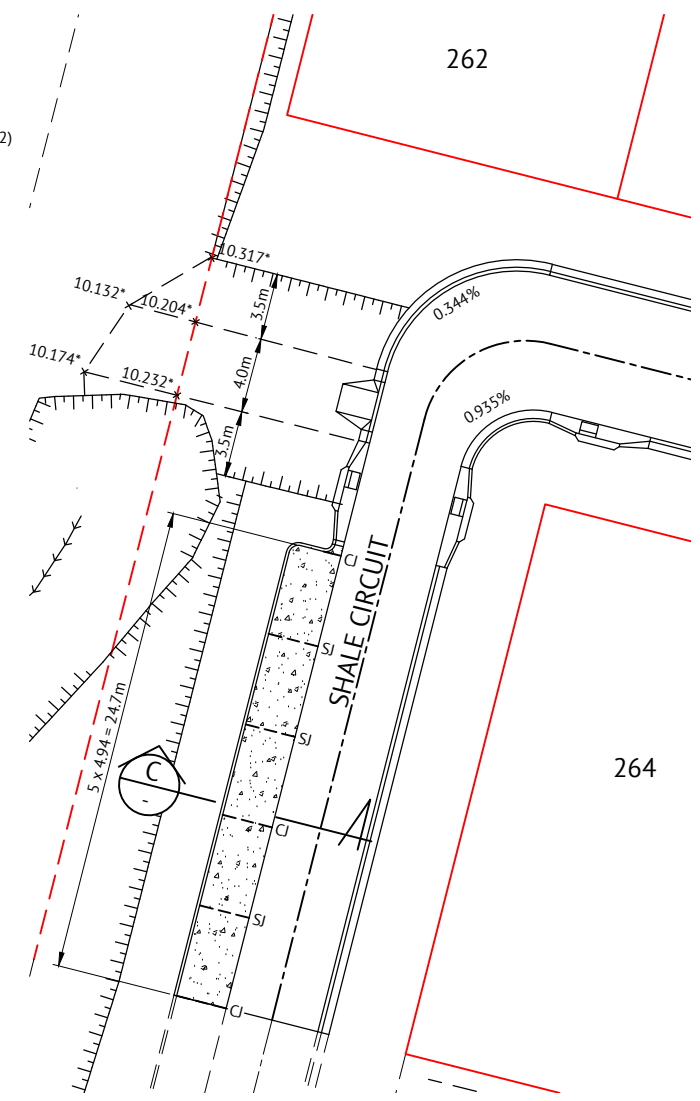
**ROADWORKS DETAILS NOTES**

1. ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
2. ALL RADII AND LEVEL INFORMATION IS TO LIP OF KERB UNLESS NOTED OTHERWISE.



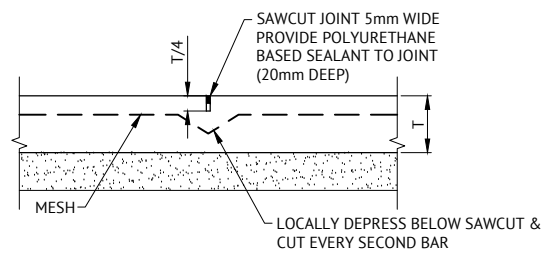
**ROADWORKS DETAILS**

SCALE 1:200



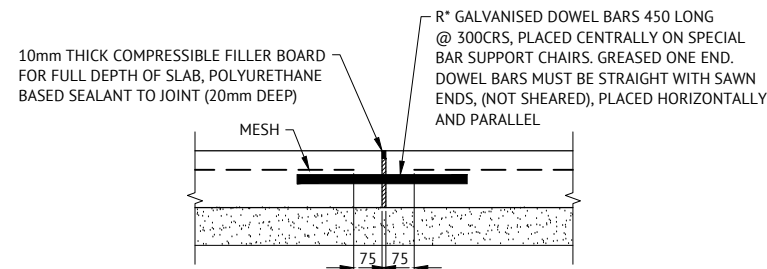
**ROADWORKS, SURCHARGE PATH AND CONCRETE PARK DETAILS**

SCALE 1:200



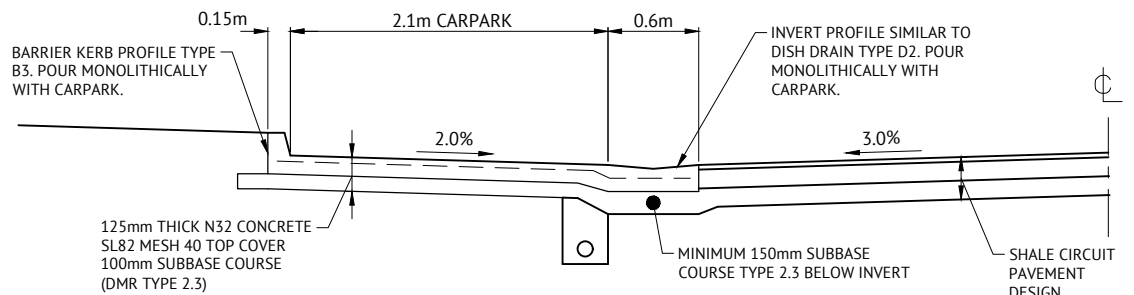
**SAW CUT JOINT (SJ)**

SCALE 1:10  
NOTE: MAXIMUM JOINT SPACING 6.0m.  
T = SLAB THICKNESS



**CONTRACTION JOINT (CJ)**

SCALE 1:10  
NOTE: MAXIMUM JOINT SPACING 15.0m  
R\* = R16 FOR SLAB THICKNESS (100mm-150mm)  
R\* = R20 FOR SLAB THICKNESS (151mm-190mm)  
R\* = R24 FOR SLAB THICKNESS (191mm-240mm)



**SECTION C - CARPARK BAYS**

SCALE 1:25

0 0.5 1.0 1.5m  
SCALE 1:25

0 0.2 0.4 0.6m  
SCALE 1:10

0 1.0 2.0 3.0m  
SCALE 1:50

0 4.0 8.0 12.0m  
SCALE 1:200

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AUTHORISED REPRESENTATIVE.....  
DATE .....

PREMISE AUSTRALIA PTY LTD DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

ENGINEER..... DATE .....

RPEQ .....

BRAZIER MOTTI PTY LTD (ACN 066 411 041), 595 Flinders Street, Townsville hereby certify that this Drawing accurately and correctly describes and records the nature and location of the works depicted by asterisks (\*) hereon as they have been constructed for subdivision.

Director  
Date .....

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B	31/01/20	LOT LAYOUT UPDATED	

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B.M. Used: PSM127952  
Coordinate Projection:  
Origin of Coordinates: PSM127952  
Meridian:  
Map Reference:  
Contour Interval:  
Job No: 27001-148-01  
File No: 27001\_192B.dwg  
Surveyed by: BM

Drawn: MJM  
Approved:

CLIENT: PARKSIDE DEVELOPMENT PTY LTD  
Project: COSGROVE - STAGE 205  
COSGROVE DRIVE, COSGROVE  
ROADWORKS DETAILS PLAN  
Parish of: Coonambelah  
County of: Elphinstone  
Local Authority: Townsville City Council  
Locality: Townsville

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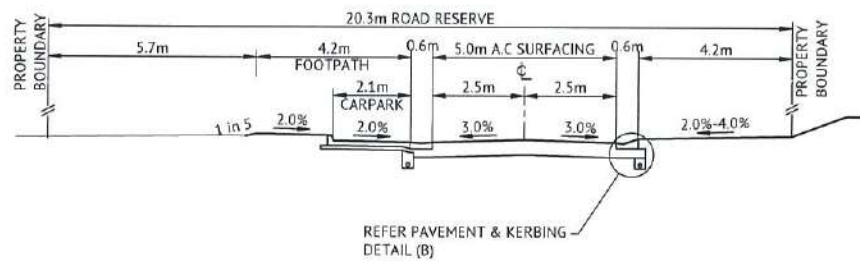
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Date: 6th September, 2018  
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Scale: AS SHOWN  
Plan No: 27001/192 B

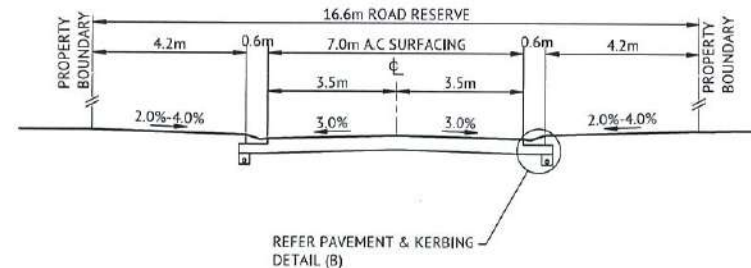
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CAIRNS | MACKAY

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TYPICAL SECTION CH.235.864 - CH.266.714



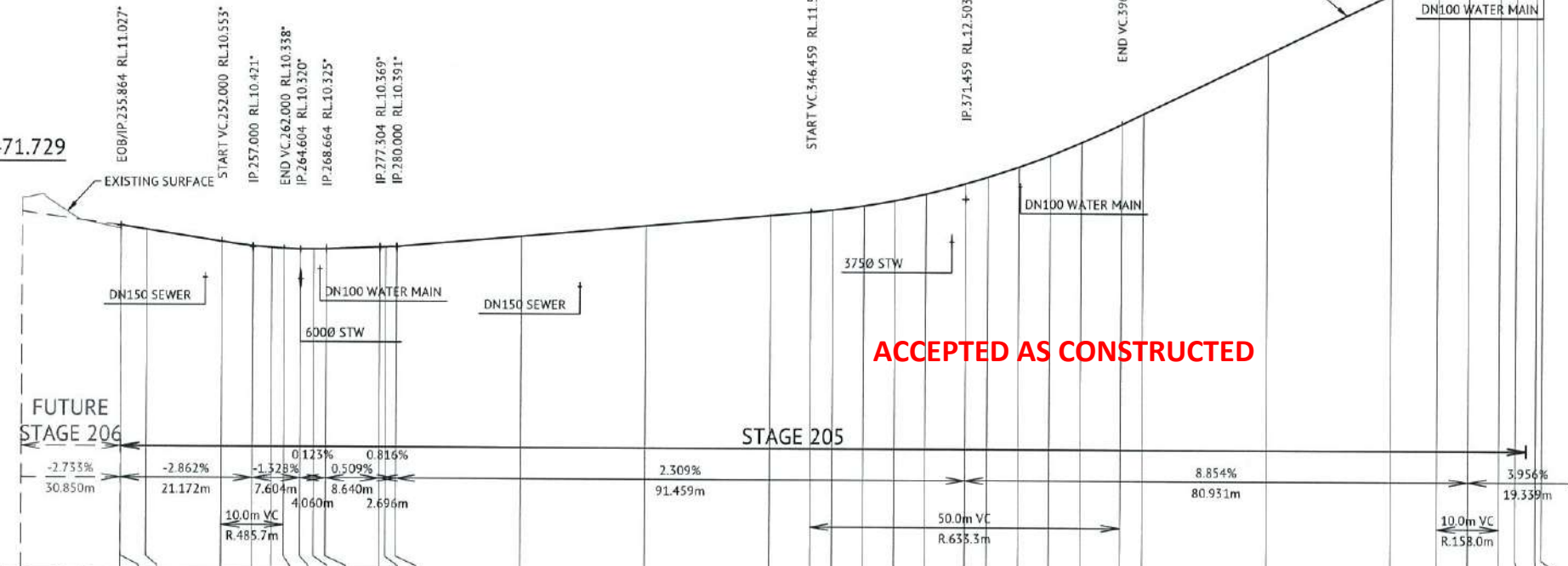
TYPICAL SECTION CH.278.253 - CH.463.278

SHALE CIRCUIT CROSS SECTIONS

SCALE 1:100

APPROVED PAVEMENT DESIGN  
SHALE CIRCUIT CH.235.864 - CH.471.729

- 30mm ASPHALT SURFACING (AC10M)
- PRIME COAT 1.1L/m<sup>2</sup> (AMCO)
- 125mm BASE COURSE (DMR TYPE 2.1)
- 140mm SUB BASE COURSE (DMR TYPE 2.3)



ACCEPTED AS CONSTRUCTED

VERTICAL GEOMETRY GRADE	VERTICAL GRADE LENGTH	VERTICAL CURVE LENGTH	VERTICAL CURVE RADIUS	DATUM RL.0.000
-2.753%	30.850m	10.0m VC R.485.7m		
-2.862%	21.172m			
-1.328%	7.604m			
0.123%	4.060m			
0.509%	8.640m			
0.816%	2.696m			
2.309%	91.459m	50.0m VC R.635.3m		
8.854%	80.931m			
3.956%	19.339m	10.0m VC R.158.0m		

LIP OF KERB LEVELS RHS	LIP OF KERB LEVELS LHS	LIP OF KERB GRADES RHS(%)	LIP OF KERB GRADES LHS(%)	CONTROL LINE FINISHED LEVEL	CONTROL LINE CHAINAGE
11.375	11.375			11.490	220
10.982	10.982			11.057	235.828
10.981	10.971	-3.264	-2.780	11.037	235.864
10.846	10.856			10.908	240
10.479	10.479	-3.058	-3.142	10.553	252.000
10.350	10.347	-2.580	-2.740	10.421	257.000
10.307	10.295	-1.433	-1.567	10.364	260
10.275	10.246	-2.450	-2.450	10.358	262.000
10.269	10.236	-0.230	-0.384	10.320	264.604
10.256	10.241	-0.616	0.237	10.317	266.714
10.250	10.250		0.462	10.325	268.664
10.293	10.293		0.498	10.369	277.304
10.314	10.314		0.421	10.371	278.253
10.328	10.312	0.801	0.859	10.391	280
10.654	10.658	1.650	1.730	10.739	300
10.999	11.007	1.775	1.745	11.089	320
11.345	11.353	1.750	1.750	11.431	340
11.457	11.471	1.734	1.827	11.568	346.459
11.536	11.548	2.231	2.175	11.654	350.000
11.674	11.684	2.760	2.720	11.790	355.000
11.841	11.853	3.340	3.380	11.967	360
12.078	12.066	4.740	4.260	12.170	365.000
12.397	12.408	4.959	5.295	12.505	371.459
12.610	12.643	6.015	6.637	12.718	375.000
12.946	12.946	6.720	6.060	13.059	380
13.306	13.326	7.200	7.600	13.431	385.000
13.712	13.734	8.120	8.160	13.841	390.000
14.302	14.317	9.135	8.949	14.415	396.459
14.645	14.649	9.687	9.517	14.750	400
16.585	16.593	9.700	9.720	16.674	420
18.503	18.526	9.590	9.665	18.609	440
19.708	19.728	9.513	9.472	19.291	447.411
19.605	19.618	7.975	7.833	19.669	452.390
19.853	19.870	4.961	5.041	19.960	457.389
19.949	19.974	3.677	3.983	20.048	460
20.092	20.092	3.935	3.600	20.164	463.278
20.149	20.149	7.100	7.100	20.194	464.278
				20.434	471.729

SHALE CIRCUIT LONGITUDINAL SECTION

SCALE 1:100 VERTICAL SCALE 1:500 HORIZONTAL

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BLAZIER MOTT MACDONALD PTY LTD (ACN 066 411 041), 595 Flinders Street, Townsville hereby certifies that this Drawing accurately and correctly describes and records the nature and location of the works depicted by asterisks (\*) hereon as they have been constructed for subdivision.

AUTHORISED REPRESENTATIVE: [Signature]  
DATE: 10/9/18

ENGINEER: [Signature] DATE: 13.9.18  
RPEQ: 13231



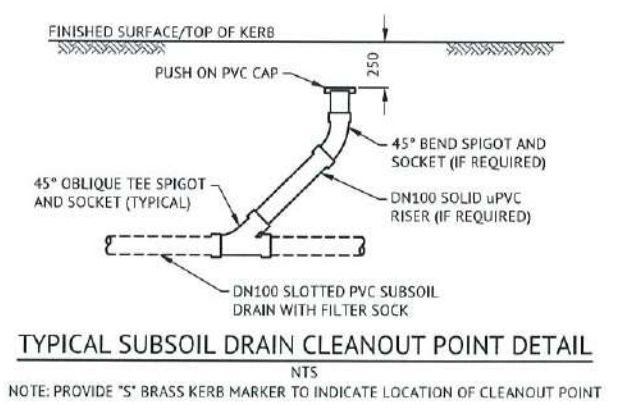
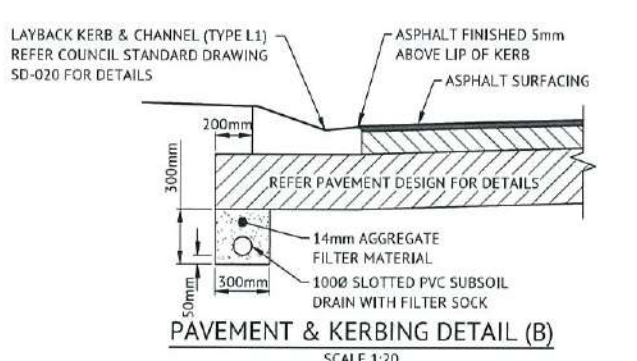
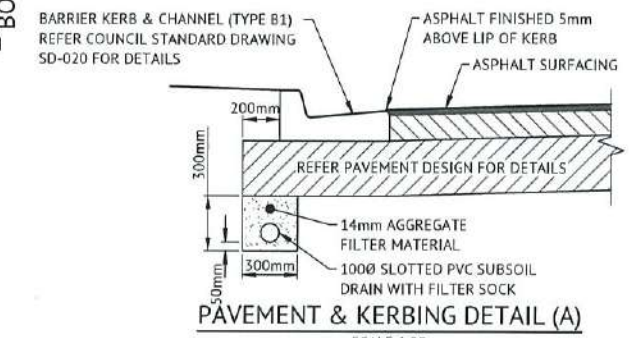
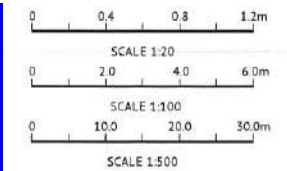
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B.M. Used: PSM127952  
Coordinate Projection:  
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Map Reference:  
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Surveyed by: BM

CLIENT: PARKSIDE DEVELOPMENT PTY LTD  
Project: COSGROVE - STAGE 205  
COSGROVE DRIVE, COSGROVE  
Parish of: Coomambelah  
Local Authority: Townsville City Council

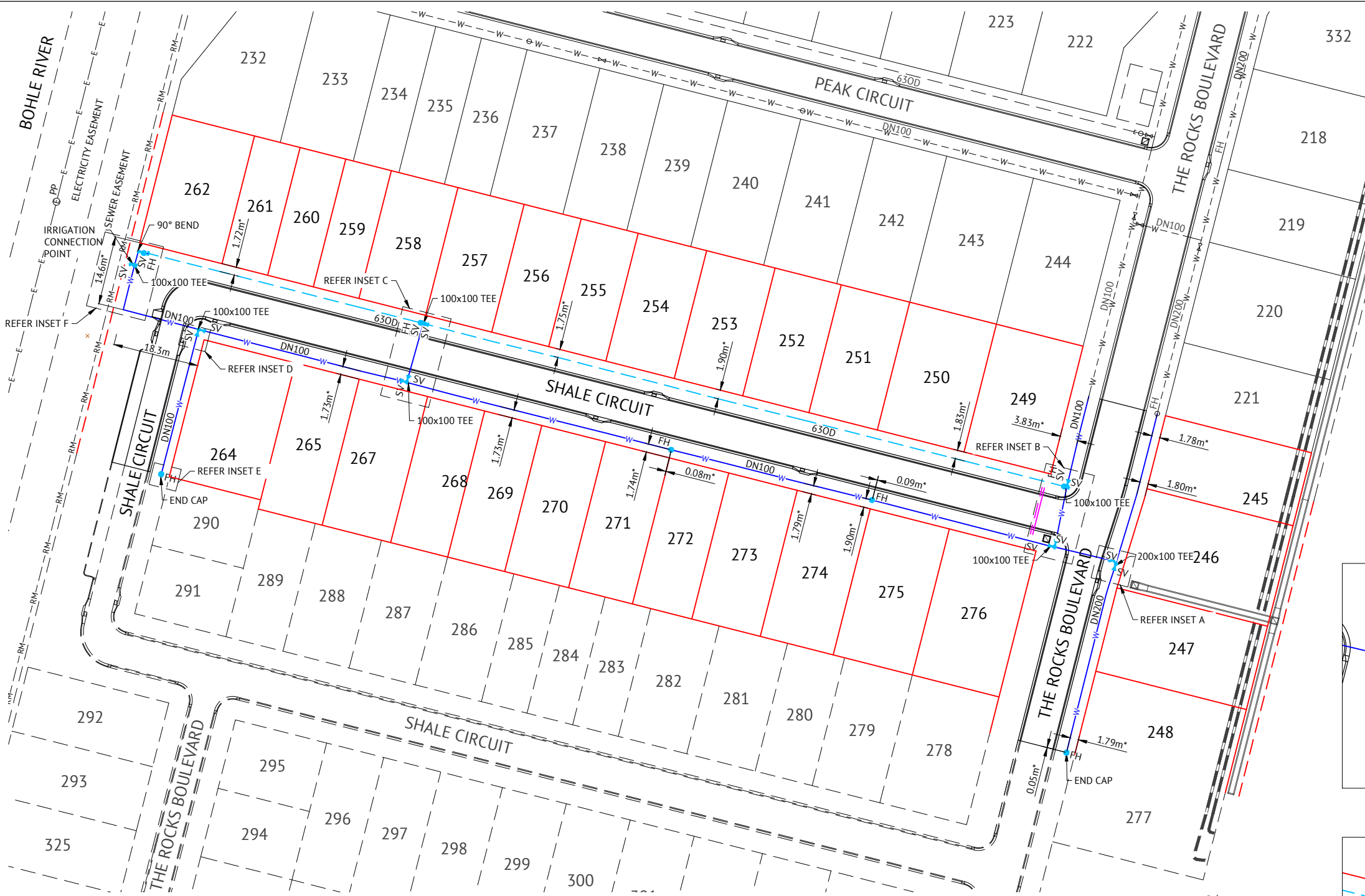
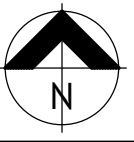
Drawn: MM  
Approved:  
Date: 6th September, 2018  
Scale: AS SHOWN  
Plan No: 27001/191 A

Townsville City Council  
Received  
20/09/2018



NOTE: PROVIDE 'S' BRASS KERB MARKER TO INDICATE LOCATION OF CLEANOUT POINT





**WATER LEGEND**

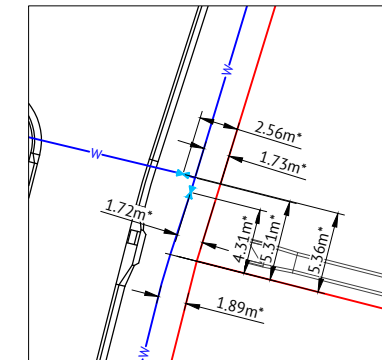
- DN100 WATER MAIN AND DIAMETER
- 630D POLYETHYLENE WATER MAIN AND DIAMETER
- FH SV FIRE HYDRANT, VALVE AND REDUCER
- EXISTING WATER MAIN, VALVE AND HYDRANT
- EXISTING OVERHEAD POWERLINE
- EXISTING SEWER RISING MAIN

**IRRIGATION CONDUITS LEGEND**

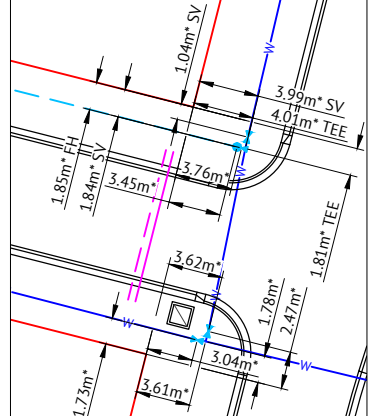
- DN100 CONDUIT
- DN150 CONDUIT

**WATER NOTES**

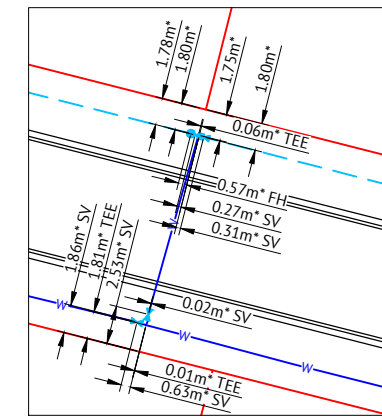
1. ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND PROJECT SPECIFICATION.
2. ALL WATER MAINS ARE LOCATED ON A 1.8m ±0.1m ALIGNMENT OFFSET FROM PROPERTY BOUNDARIES, UNLESS NOTED OTHERWISE.
3. ALL FIRE HYDRANTS ARE LOCATED OPPOSITE A SIDE PROPERTY BOUNDARY, UNLESS NOTED OTHERWISE.
4. ALL uPVC MAINS ARE CLASS PN16 SERIES 2 COMPATIBLE TO AS 1477 RUBBER RING JOINTED, WITH SOCKETED DICL FITTINGS UNLESS NOTED OTHERWISE.
5. ALL 630D MAINS POLYETHYLENE CLASS PN16 TO AS 4130.
6. ALL TRENCHES UNDER ROAD PAVEMENT (INCLUDING FUTURE) BACKFILLED WITH CRUSHER DUST TO SUBGRADE LEVEL. REFER PROJECT SPECIFICATION FOR COMPACTION AND COMPLIANCE TESTING REQUIREMENTS.
7. CONNECTION TO EXISTING WATER MAINS CARRIED OUT BY COUNCIL AT THE CONTRACTORS EXPENSE.
8. REFER TCC STANDARD DRAWING SD-315 FOR PVC TO PE SERVICE MAIN CONNECTION DETAIL.



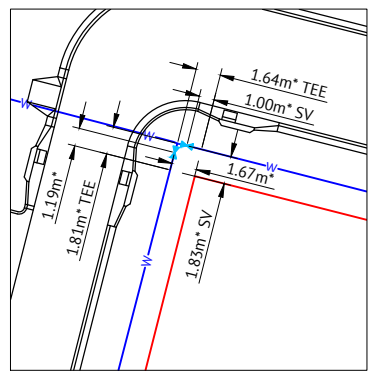
**INSET A**  
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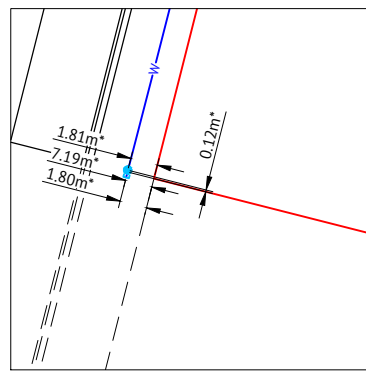
**INSET B**  
SCALE: 1:250



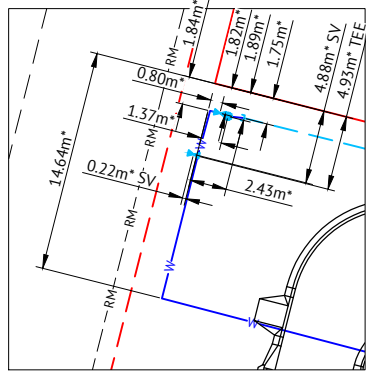
**INSET C**  
SCALE: 1:250



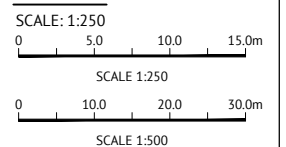
**INSET D**  
SCALE: 1:250



**INSET E**  
SCALE: 1:250



**INSET F**  
SCALE: 1:250



MENDI CONSTRUCTIONS PTY LTD DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

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DATE .....

ENGINEER..... DATE .....

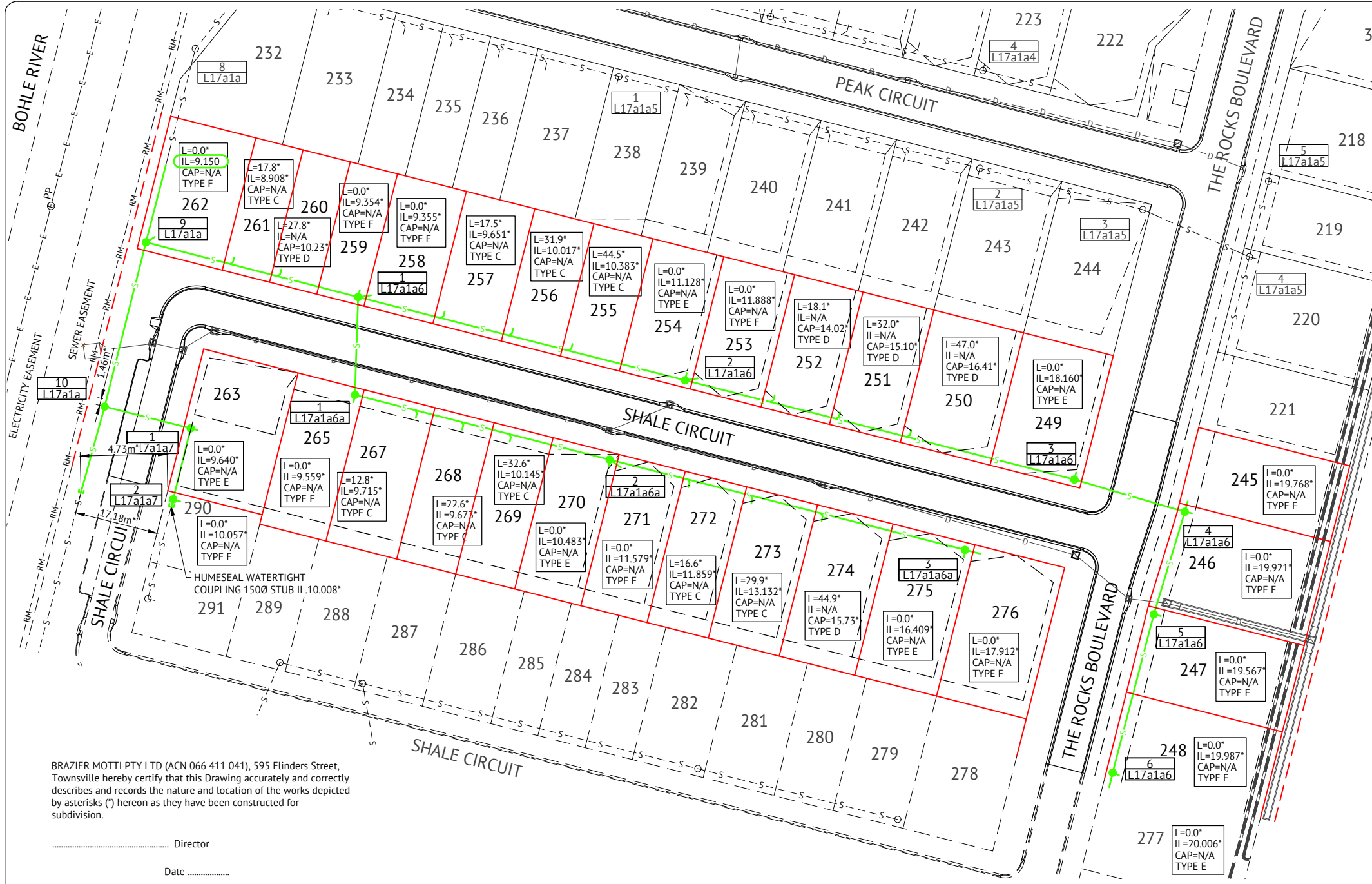
Director  
Date .....

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CLIENT: PARKSIDE DEVELOPMENT PTY LTD  
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 COSGROVE DRIVE, COSGROVE  
 WATER RETICULATION PLAN  
 Parish of: Coonambelah  
 County of: Elphinstone  
 Local Authority: Townsville City Council  
 Locality: Townsville

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 Date: 6th September, 2018  
 Sheet 1 of 1 Sheets  
 Scale: AS SHOWN  
 Plan No: 27001/194 B  
 Surveying | town planning | project management | mapping and GIS



**SEWER LEGEND**

- 3: ——— D ——— STORMWATER DRAINAGE LINE
- E — E — E — EXISTING OVERHEAD POWERLINE
- - - RM - - - RM - - - EXISTING RISING MAIN
- S — S — S — SEWER MAIN AND MANHOLE (MH)
- - - S - O - S - EXISTING SEWER MAIN AND MANHOLE
- TYPE & INDICATIVE TOP OF MANHOLE  
LEVEL MANHOLE NUMBER  
LINE NUMBER
- HOUSE CONNECTION (X&Y DIMENSIONS AS PER  
RELEVANT COUNCIL STANDARD DRAWING U.N.O.)
- CERTIFIED DISTANCE FROM DOWNSTREAM MANHOLE  
CERTIFIED INVERT LEVEL OF HOUSE CONNECTION POINT  
CERTIFIED LEVEL OF CAP FOR 'TYPE D' CONNECTION  
HOUSE CONNECTION TYPE  
TYPE A - ACROSS BOUNDARY 'SLOPE DROP'  
TYPE B - ACROSS BOUNDARY 'JUMP UP'  
TYPE C - WITHIN LOT 'DIRECT CONNECTION'  
TYPE D - WITHIN LOT 'JUMP UP'  
TYPE E - MANHOLE 'DIRECT CONNECTION'  
TYPE F - MANHOLE 'INTERNAL DROP'  
TYPE G - MAINTENANCE SHAFT CONNECTION  
TYPE Ex. - EXISTING HOUSE CONNECTION

**SEWER NOTES**

1. ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND PROJECT SPECIFICATION
  2. ALL SEWERAGE MAINS & MANHOLES LOCATED ON 1.5m ±0.1m ALIGNMENT OFFSET FROM THE PROPERTY BOUNDARIES, UNLESS NOTED OTHERWISE.
  3. ALL SEWERAGE MAINS DN150, UNLESS NOTED OTHERWISE.
  4. ALL DN150 AND DN225 SEWERAGE MAINS uPVC DWV SN8, UNLESS NOTED OTHERWISE.
  5. ALL DN100 HOUSE DRAINS uPVC DWV SN10, UNLESS NOTED OTHERWISE. (MAXIMUM LENGTH 10.0m)
  6. ALL TRENCHES UNDER ROAD PAVEMENT (INCLUDING FUTURE) BACKFILLED WITH CRUSHER DUST TO SUBGRADE LEVEL. REFER PROJECT SPECIFICATION FOR COMPACTION AND COMPLIANCE TESTING REQUIREMENTS.
  7. CONNECTION/ALTERATIONS TO EXISTING SEWERAGE INFRASTRUCTURE CARRIED OUT BY COUNCIL AT THE CONTRACTORS EXPENSE.
  8. ALL MANHOLE INTERNAL DROP 'CORES' ARE NOT LOCATED WITHIN 150mm OF PRECAST WALL JOINTS. IF CLASH OCCURRED SUPERINTENDENT PROVIDED FURTHER INSTRUCTIONS PRIOR TO MANHOLE BEING 'CORED'.
  9. TOP OF MANHOLE LEVELS PROVIDED ARE INDICATIVE, REFER TCC STANDARD DRAWING SD-475 FOR FINISHED LEVELS OF MANHOLE COVERS.
- MENDI CONSTRUCTIONS PTY LTD DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

AUTHORISED REPRESENTATIVE.....  
 DATE .....

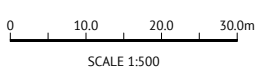
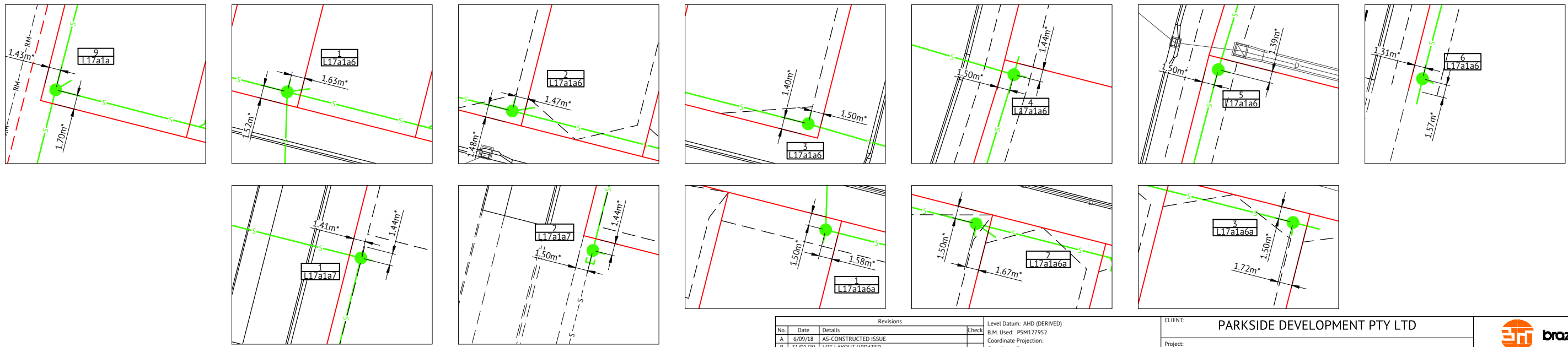
PREMISE AUSTRALIA PTY LTD DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

ENGINEER..... DATE .....

RPEQ.....

BRAZIER MOTTI PTY LTD (ACN 066 411 041), 595 Flinders Street, Townsville hereby certify that this Drawing accurately and correctly describes and records the nature and location of the works depicted by asterisks (\*) hereon as they have been constructed for subdivision.

..... Director  
 Date .....



No.	Date	Details	Check
A	6/09/18	AS-CONSTRUCTED ISSUE	
B	31/01/20	LOT LAYOUT UPDATED	

Level Datum: AHD (DERIVED)  
 B.M. Used: PSM127952  
 Coordinate Projection:  
 Coordinate Datum:  
 Origin of Coordinates: PSM127952  
 Meridian:  
 Map Reference:  
 Contour Interval:  
 Job No: 27001-148-01  
 File No: 27001\_195B.dwg  
 Surveyed by: BM  
 Drawn: MJM  
 Approved:

CLIENT: PARKSIDE DEVELOPMENT PTY LTD  
 Project: COSGROVE - STAGE 205  
 COSGROVE DRIVE, COSGROVE  
 SEWERAGE RETICULATION PLAN  
 Parish of: Coonambelah  
 County of: Eppingstone  
 Local Authority: Townsville City Council  
 Locality: Townsville

**brozier motti**

1300 267 878  
 www.braziermotti.com.au  
 TOWNVILLE | AYR  
 CAIRNS | MACKAY

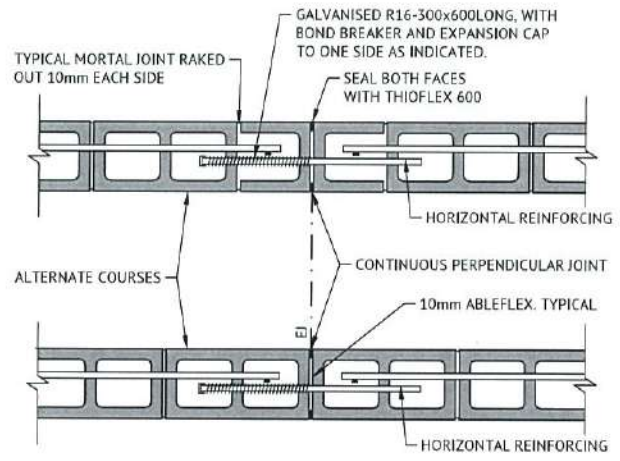
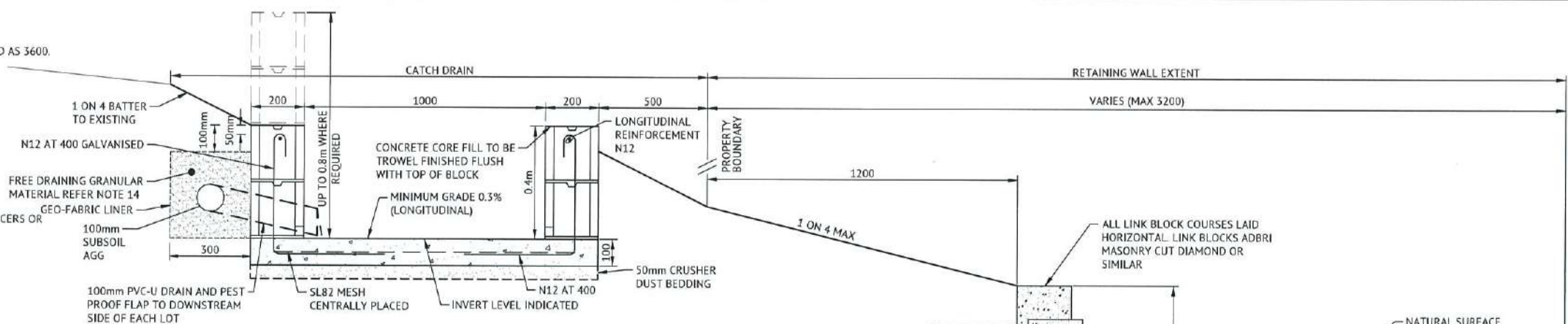
Date: 6th September, 2018  
 Sheet 1 of 1 Sheets  
 Scale: AS SHOWN  
 Plan No: 27001/195 B

surveying | town planning | project management | mapping and GIS

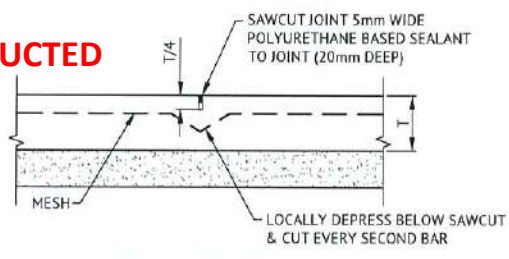


**NOTES**

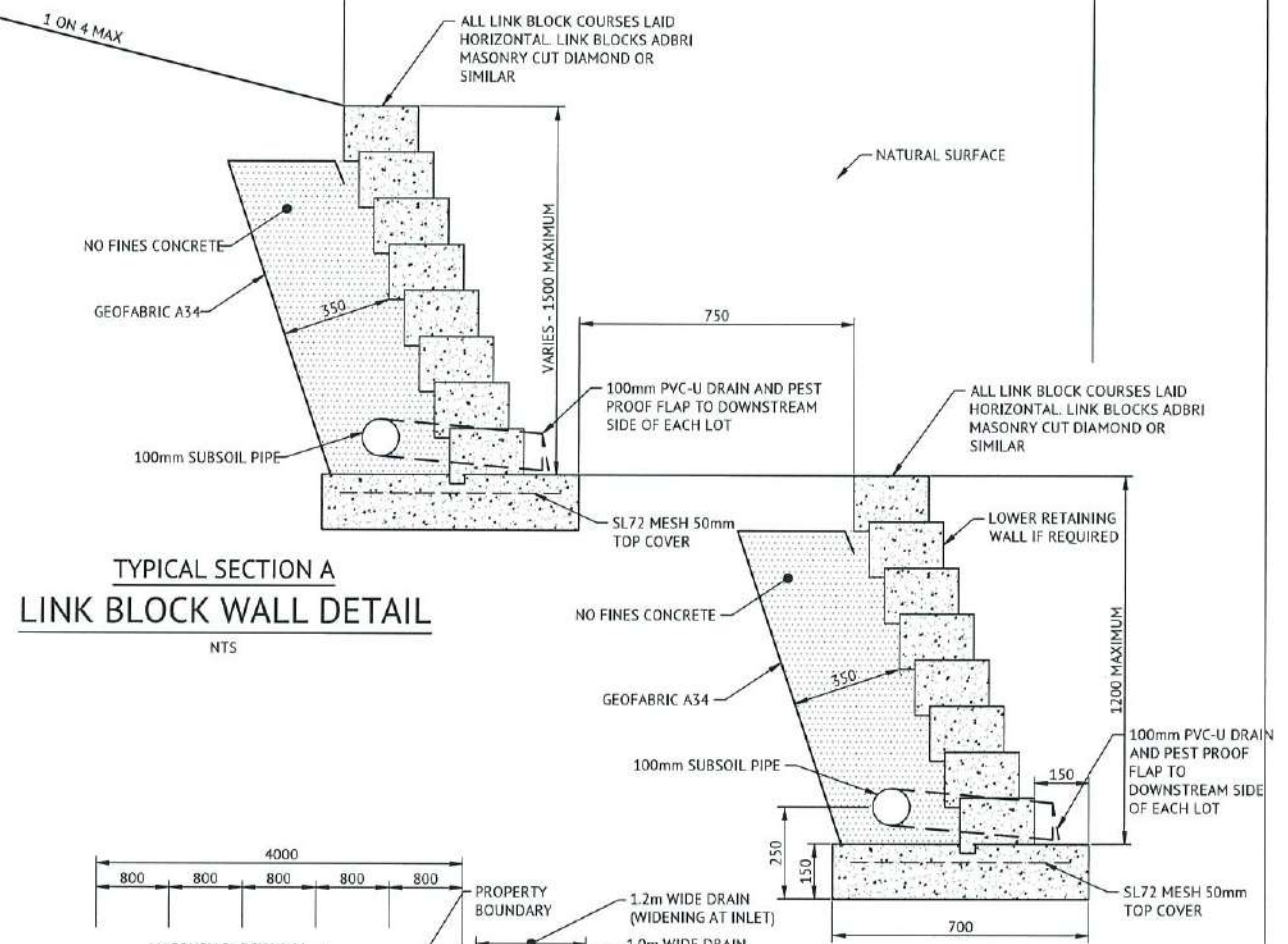
- ALL DIMENSIONS ARE IN MILLIMETRES U.N.O.
- ALL WORKMANSHIP AND MATERIALS IN ACCORDANCE WITH AS 2870 AND AS 3600.
- MASONRY WORK TO AS 3700 AND AS 4455.
- CONCRETE SHALL HAVE THE FOLLOWING PROPERTIES:
  - FOOTINGS
    - CLASS & GRADE N32
    - MAXIMUM SLUMP(mm) 80
    - AGGREGATE SIZE(mm) 20
  - MASONRY
    - CLASS & GRADE S20
    - MAXIMUM SLUMP(mm) 230
    - AGGREGATE SIZE(mm) 10
- CLEAR COVER TO REINFORCEMENT PROVIDED BY APPROVED CHAIRS, SPACERS OR TIES AS REQUIRED TO PROVIDE ADEQUATE SUPPORT AS FOLLOWS:
  - BARS 16 AND LESS AND FABRIC - 1000 CRS
  - BARS 20 AND OVER 1200 CRS
- CLEAR COVER TO REINFORCEMENT SHALL BE:
  - LOCATION FOOTINGS
  - CLASSIFICATION A2
  - COVER(mm) 50
- CURE CONCRETE IN ACCORDANCE WITH AS 3600 FOR 7 DAYS.
- ALL N BARS N BAR GRADE 500.
- ALL MASONRY CAVITIES FULLY CORE FILLED.
- RETAINING WALLS HAVE BEEN DESIGNED FOR A MAXIMUM OF 5kPa LIVE LOAD SURCHARGE.
- FOUNDATIONS SHALL HAVE A MIN 150kPa ALLOWABLE BEARING CAPACITY. CONTRACTOR TO CONFIRM ON SITE.
- ALL BASE SLAB STARTER BARS ARE GALVANISED.
- Ø100 SUBSOIL AGG. DRAIN. WRAP IN GEOTEXTILE FILTER FABRIC.
- BACK FILL WITH Ø20 WASHED, 300 WIDE COMPACTED FREE DRAINING GRANULAR FILLED UP TO 300 BELOW TOP OF WALL. GEO-FABRIC SEPARATION BETWEEN IN-SITU MATERIAL AND DRAINAGE MATERIAL.
- DRAIN (SLAB) SAWCUT JOINTS (SJ) AT 6M SPACINGS.
- MASONRY DRAIN WALL CONTROL JOINTS AT 12M SPACINGS TO COINCIDE WITH DRAIN SLAB EXPANSION JOINTS AT 12M CENTRES.



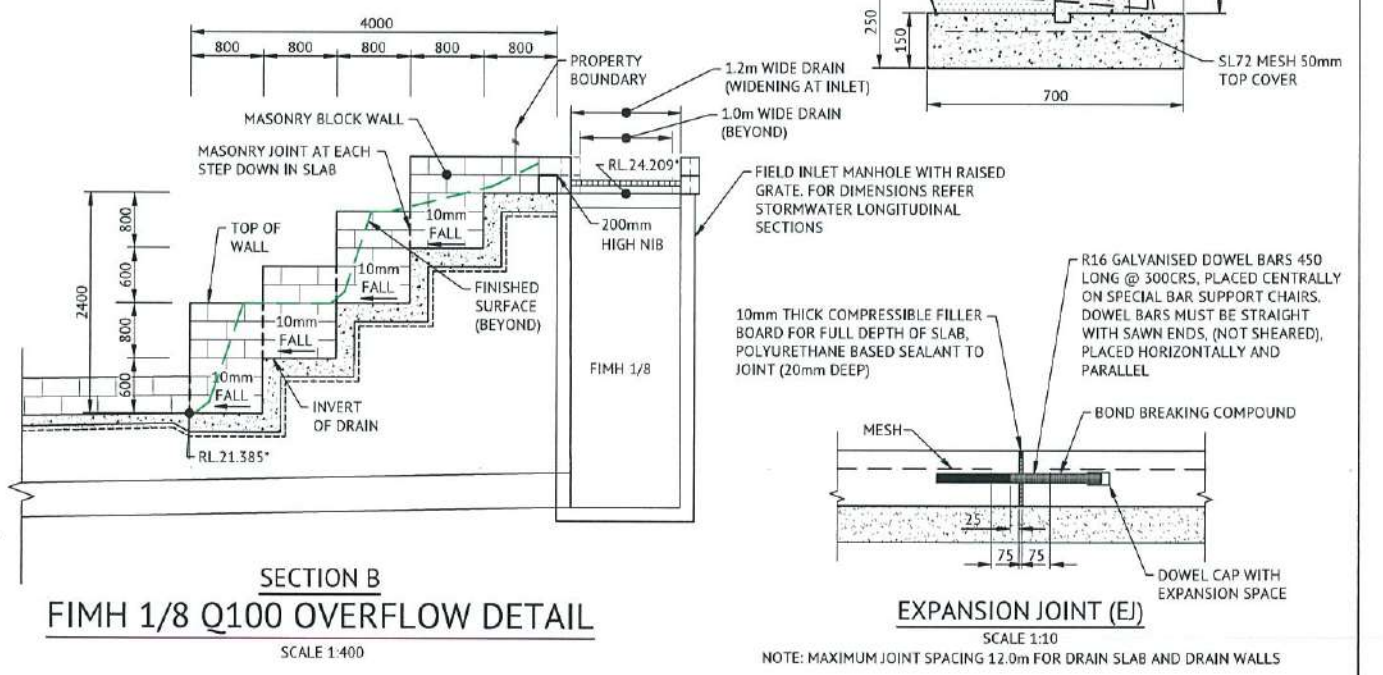
**MASONRY DRAIN WALL - CONTROL JOINT DETAIL**  
SCALE 1:20  
(JOINTS AT MAXIMUM 12m CENTRE SPACINGS)



**SAW CUT JOINT (SJ)**  
SCALE 1:10  
NOTE: MAXIMUM JOINT SPACING 6.0m.  
T = SLAB THICKNESS

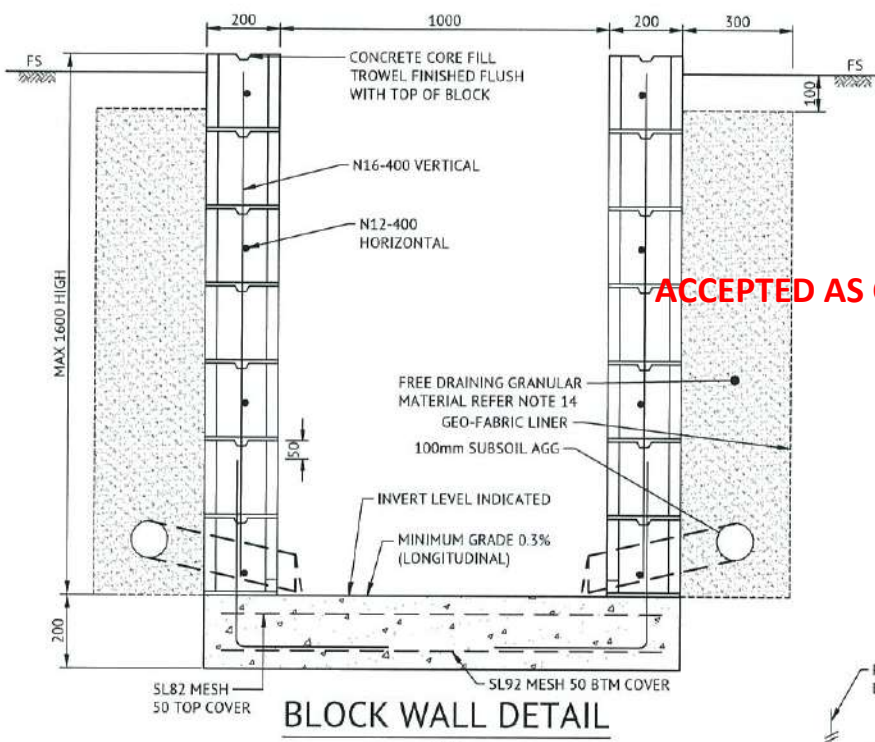


**TYPICAL SECTION A LINK BLOCK WALL DETAIL**  
NTS

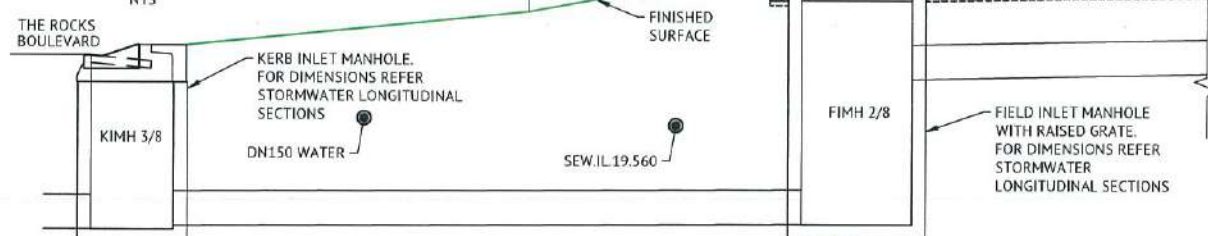


**SECTION B FIMH 1/8 Q100 OVERFLOW DETAIL**  
SCALE 1:400

**EXPANSION JOINT (EJ)**  
SCALE 1:10  
NOTE: MAXIMUM JOINT SPACING 12.0m FOR DRAIN SLAB AND DRAIN WALLS



**BLOCK WALL DETAIL**  
NTS



**ACCEPTED AS CONSTRUCTED**

MENDI CONSTRUCTIONS PTY LTD DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

PREMISE AUSTRALIA PTY LTD DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

BRAZIER MOTTS PTY LTD (ACN 066 411 041), 595 Flinders Street, Townsville hereby certify that this Drawing accurately and correctly describes and records the nature and location of the works depicted by asterisks (\*) hereon as they have been constructed for subdivision.

AUTHORISED REPRESENTATIVE: [Signature]  
DATE: 10/9/18

ENGINEER: [Signature] DATE: 13.9.18  
RPEQ: 13251

Director: [Signature]  
Date: 8/9/18  
SEAL OF BRAZIER MOTTS PTY LTD ACN 066 411 041

No.	Date	Details	Check
A	6/9/18	AS-CONSTRUCTED ISSUE	

Level Datum: AHD (DERIVED)  
i.M. Use #: PSM121952  
Coordinate Projection:  
Coordinate Datum:  
Origin of Coordinates: PSM121952  
Meridian: 9952.195  
Map Reference:  
Contour Interval:  
Job No: 27001-197A-01  
File No: 27001-197A.dwg  
Surveyed by: BM

Drawn: MEM  
Approved:

CLIENT: PARKSIDE DEVELOPMENT PTY LTD  
Project: COSGROVE - STAGE 205  
COSGROVE DRIVE, COSGROVE  
MISCELLANEOUS DETAILS PLAN  
Parish of: Cosmambah  
Local Authority: Townsville City Council

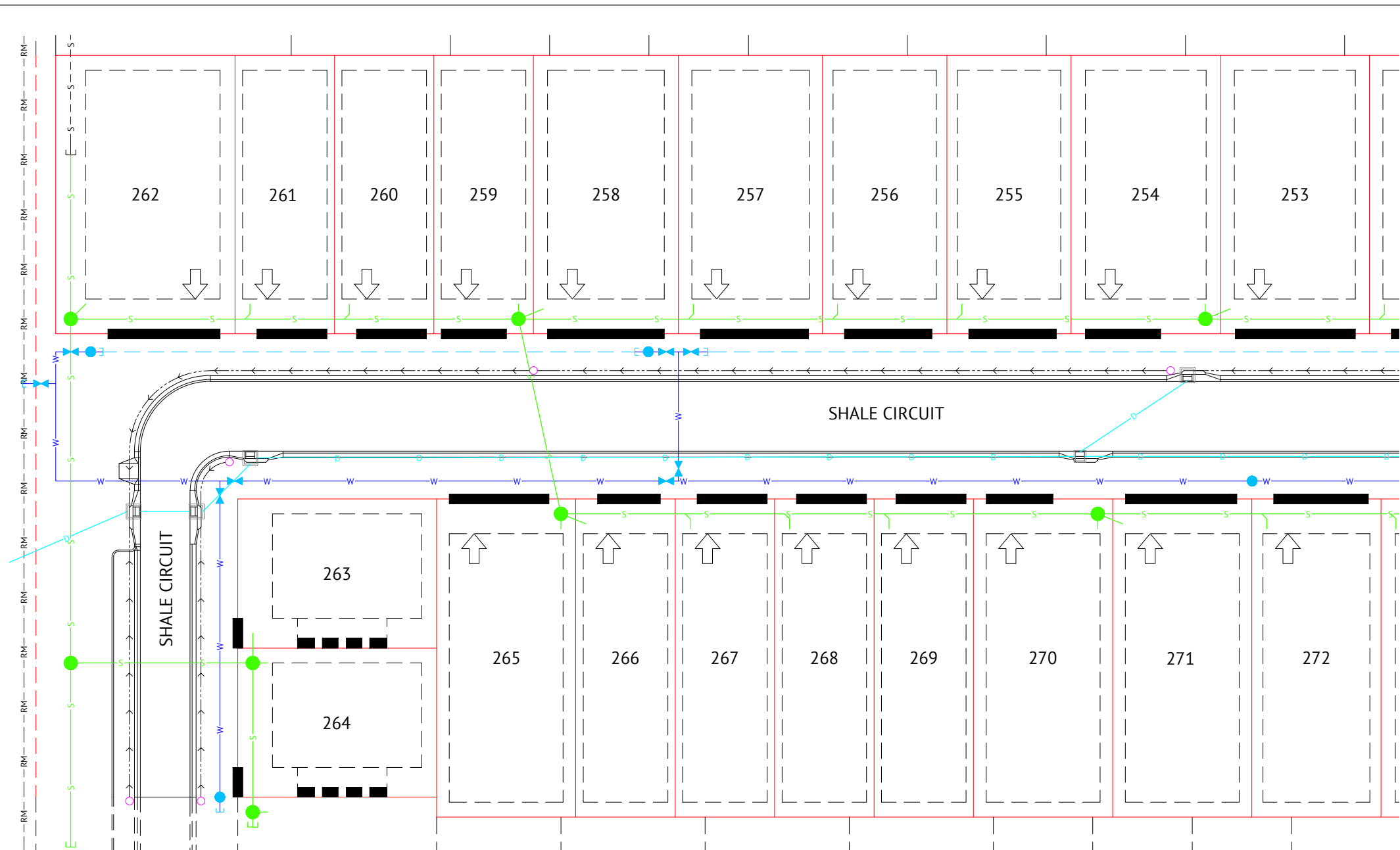
**brazier motts**  
1500 267 878  
www.braziermotts.com.au  
TOWNSVILLE  
CABRIS  
MACKAY

Date: 6th September, 2018  
Sheet: 3 of 1 Sheets  
Scale: AS SHOWN  
Plan No: 27001/197 A  
Surveying | Urban planning | Project management | Mapping and GIS

**Townsville City Council**

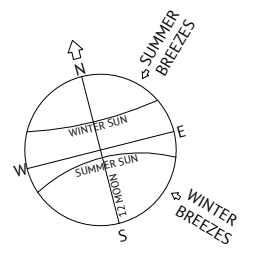
**Received 20/09/2018**





**LEGEND**

- ALLOWABLE DRIVEWAY ACCESS
- BUILT TO BOUNDARY GARAGE AS PER QDC
- SEWER MAIN & MANHOLE
- WATER MAIN, FIRE HYDRANT & SLUICE VALVE
- STORMWATER DRAINAGE LINE
- SUBSOIL DRAIN & CLEANOUT POINT
- EXISTING SEWER MAIN & MANHOLE
- EXISTING WATER MAIN
- EXISTING STORMWATER
- BUILDING SETBACK, REFER NOTE 3
- LINK BLOCK RETAINING WALL
- EXISTING LINK BLOCK RETAINING WALL
- PREFERRED DRIVEWAY LOCATION



**DRIVEWAY ACCESS ENVELOPE**

- FOR DRIVEWAY ACCESS ENVELOPE ALLOW 0.5m MINIMUM CLEARANCE TO ALL COUNCIL INFRASTRUCTURE, EXCEPT STORMWATER PITS WHICH REQUIRED 0.6m MINIMUM CLEARANCE AND SEWERAGE HOUSE CONNECTIONS WHICH REQUIRE 1.2m MINIMUM CLEARANCE.
- ALL DRIVEWAYS REQUIRED A PERMIT FROM COUNCIL PRIOR TO CONSTRUCTION

**CORNER SIGHT LINES**

- COMPLY WITH SIGHT LINES REQUIREMENT OF THE QUEENSLAND AND DEVELOPMENT CODE ON ROAD CORNERS. THIS IS TYPICALLY A 9m x 9m EXCLUSION ZONE BASED ON BOUNDARIES.
- FOR CLOPPED CORNERS AND LOTS WITH PARK FRONT AGES TYPICALLY THIS IS A 18m x 18m EXCLUSION ZONE BASED ON THE EDGE OF THE TRAFFIC LANE. REAR ACCESS LANES ARE EXEMPTED FROM THIS REQUIREMENT.

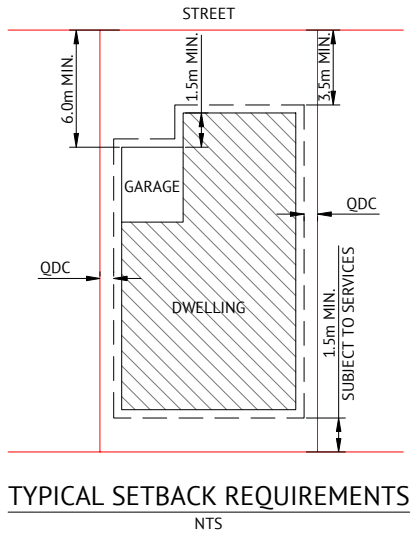
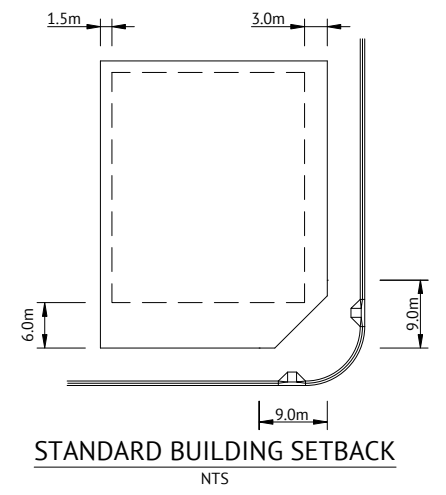
**BUILDING SETBACK**

- "SETBACK" MEANS A LINE OR LINES PARALLEL TO ANY BOUNDARY OF A LOT BEYOND WHICH THE BUILDING OR OTHER STRUCTURE SHALL NOT ENCROACH, AND MEASURED AS THE SHORTEST HORIZONTAL DISTANCE FROM THE OUTERMOST PROJECTION OF THE BUILDING OR OTHER STRUCTURE TO THE VERTICAL PROJECTION OF THE LOT BOUNDARY (TOWNSVILLE CITY PLAN 2005, PAGE 491).
- THE BUILDING ENVELOPES ARE TO COMPLY WITH THE DESIGN CODE SHOWN ON THIS PLAN. GREATER SETBACKS MAY BE REQUIRED TO ACCOMMODATE THE ZONE OF INFLUENCE OF UNDERGROUND SERVICES AS STATED IN COUNCIL'S POLICY ON BUILDING OVER OR ADJACENT TO SEWERS.
- DIMENSIONS ARE QDC GROUND DWELLING ONLY AND DO NOT ACCOUNT FOR BATTERS OR RETAINING WALLS. A SITE INSPECTION IS REQUIRED PRIOR TO COMMENCEMENT OF DESIGN. REFER DESIGN CODE FOR UPPER FLOOR AND GARAGE SETBACKS.

**DESIGN CODE - ALL ALLOTMENTS**

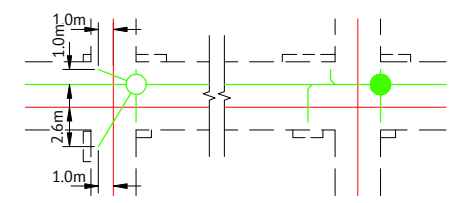
TYPE	HOUSE, FRONT LOADED
LOT ACCESS	FRONT
LOT DEPTH (MIN)	25m (20m WHERE 15m WIDTH PROPOSED)
LOT WIDTH (MIN)	10.0m
SITE COVERAGE	MAY EXCEED 50% IN RESPONSE TO CODE REQUIREMENTS, BUT NO MORE THAN 60% SITE COVERAGE.
SETBACK FRONT GROUND (MIN) AND UPPER (MIN)	3.5m
SETBACK FRONT GARAGE	6m AND 1.5m BEHIND FRONT OF DWELLING
SETBACK PRINCIPAL SIDE GROUND (MIN)	QDC
SETBACK PRINCIPAL SIDE UPPER (MIN)	QDC
SETBACK SECONDARY ROAD FRONTAGE (MIN)	2m
SETBACK PRINCIPAL REAR (MIN)	1.5m (SEWER LINES AND MANHOLES MAY ENFORCE GREATER SETBACKS)*
OUTBUILDING (SHED) WIDTH (MAX)	LESSER OF 50% OF REAR BOUNDARY OR 9m
OUTBUILDING (SHED) DEPTH (MAX)	9m
OUTBUILDING (SHED) REAR SETBACK	0-1.0m
OUTBUILDING (SHED) SIDE SETBACK	ZERO IF LOT 12.5m WIDE. AS PER PRINCIPAL SETBACK IF LOT >12.5m WIDE
FLOOR HEIGHT PRINCIPAL (MIN)	400mm
MAXIMUM STOREYS	AS PER THE APPLICABLE SCHEME
PRIVATE OPEN SPACE (MIN) (MAY BE COVERED)	4mx4m
PARKING (MIN)	TWO (2), ONE OF WHICH MUST BE COVERED

\*NOTE: CLEARANCES TO SEWER LINES AND MANHOLES ARE REQUIRED IN ACCORDANCE WITH COUNCIL POLICY.



**NOTES**

- 60% MAXIMUM SITE COVERAGE.
- FOR FRONT SETBACK TO GARAGE, MEASURE FROM THE FRONT BOUNDARY TO THE GARAGE OPENING (WALL).
- ALL OTHER SETBACKS ARE MEASURED FROM THE BOUNDARY TO THE OUTERMOST PROJECTIONS.



**HOUSE CONNECTION DETAIL**

NOTE: MINIMUM 1.0m CLEARANCE FROM END OF SEWER HOUSE CONNECTION TO THE NEAREST POINT OF THE STRUCTURE FOUNDATION OR 2.0m CLEARANCE FROM CONNECTION AT MAIN/CENTRE OF MANHOLE.

LIGHT POLES & TELSTRA PITS HAVE NOT BEEN SHOWN AS APPROVED PLANS HAVE NOT BEEN RECEIVED TO DATE

<b>CONSTRUCTION ISSUE</b>	
23/11/17	A ISSUED FOR CONSTRUCTION
07/09/17	1 PRELIMINARY ISSUE
DATE	REV DESCRIPTION REVISIONS

**Premise**

TOWNSVILLE OFFICE  
84 DENHAM STREET  
PO BOX 1110  
TOWNSVILLE, QLD 4810  
PH: (07) 4772 0666  
WEB: www.premise.com.au

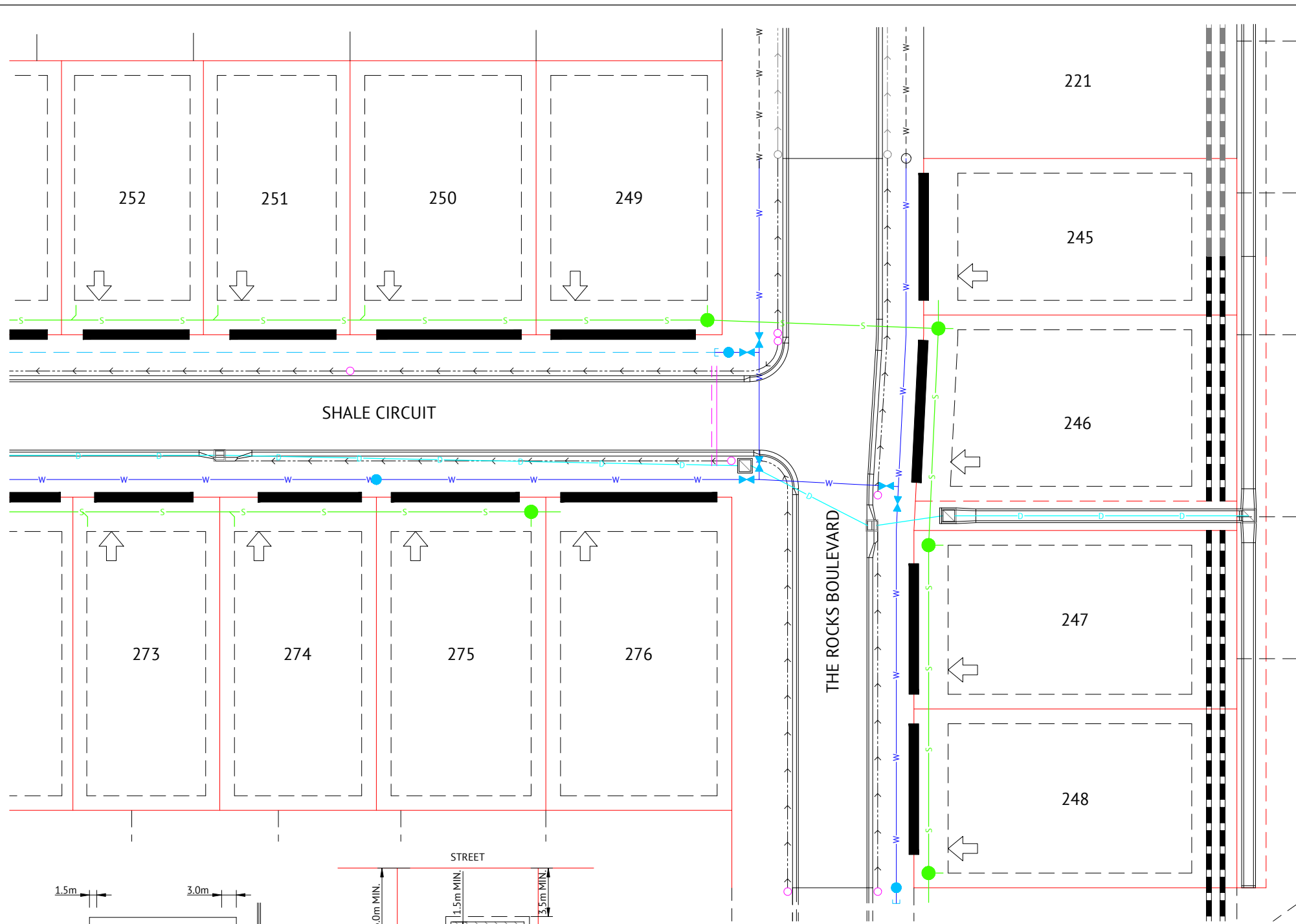
DESIGNED	K.BETTERIDGE
CHECKED	K.DE LACEY
PROJECT MANAGER	P.PETERSEN
PROJECT DIRECTOR	PAUL PETERSEN

RPEQ  
PAUL PETERSEN RPEQ 13231

SCALE  
0 5.0 10.0 15.0m  
SCALE 1:500 @ A3

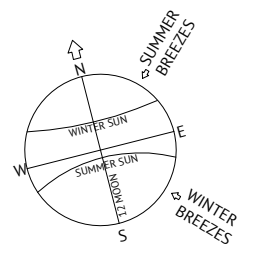
CLIENT	PARKSIDE DEVELOPMENT PTY LTD
PROJECT	COSGROVE - STAGE 205
LOCATION	COSGROVE DRIVE, COSGROVE
SHEET TITLE	BUILDING ENVELOPE & DRIVEWAY ACCESS PLAN - SHEET 1 OF 2

JOB CODE	PAR-0219
SHEET NUMBER	C18
REV	A



**LEGEND**

- ALLOWABLE DRIVEWAY ACCESS
- BUILT TO BOUNDARY GARAGE AS PER QDC
- SEWER MAIN & MANHOLE
- WATER MAIN, FIRE HYDRANT & SLUICE VALVE
- STORMWATER DRAINAGE LINE
- SUBSOIL DRAIN & CLEANOUT POINT
- EXISTING SEWER MAIN & MANHOLE
- EXISTING WATER MAIN
- EXISTING STORMWATER
- BUILDING SETBACK, REFER NOTE 3
- LINK BLOCK RETAINING WALL
- EXISTING LINK BLOCK RETAINING WALL
- PREFERRED DRIVEWAY LOCATION



**DRIVEWAY ACCESS ENVELOPE**

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**CORNER SIGHT LINES**

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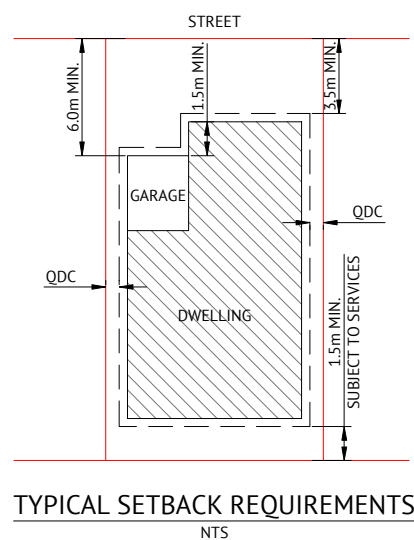
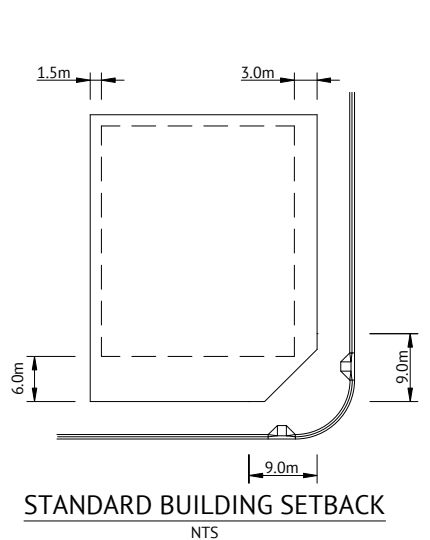
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**DESIGN CODE - ALL ALLOTMENTS**

TYPE	HOUSE, FRONT LOADED
LOT ACCESS	FRONT
LOT DEPTH (MIN)	25m (20m WHERE 15m WIDTH PROPOSED)
LOT WIDTH (MIN)	10.0m
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SETBACK PRINCIPAL SIDE UPPER (MIN)	QDC
SETBACK SECONDARY ROAD FRONTAGE (MIN)	2m
SETBACK PRINCIPAL REAR (MIN)	1.5m (SEWER LINES AND MANHOLES MAY ENFORCE GREATER SETBACKS)*
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OUTBUILDING (SHED) DEPTH (MAX)	9m
OUTBUILDING (SHED) REAR SETBACK	0-1.0m
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FLOOR HEIGHT PRINCIPAL (MIN)	400mm
MAXIMUM STOREYS	AS PER THE APPLICABLE SCHEME
PRIVATE OPEN SPACE (MIN) (MAY BE COVERED)	4mx4m
PARKING (MIN)	TWO (2), ONE OF WHICH MUST BE COVERED

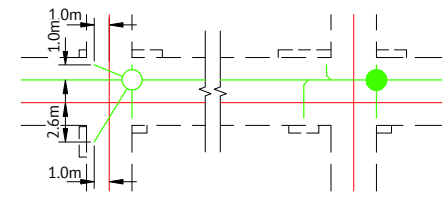
\*NOTE: CLEARANCES TO SEWER LINES AND MANHOLES ARE REQUIRED IN ACCORDANCE WITH COUNCIL POLICY.



**NOTES**

- 60% MAXIMUM SITE COVERAGE.
- FOR FRONT SETBACK TO GARAGE, MEASURE FROM THE FRONT BOUNDARY TO THE GARAGE OPENING (WALL).
- ALL OTHER SETBACKS ARE MEASURED FROM THE BOUNDARY TO THE OUTERMOST PROJECTIONS.

LIGHT POLES & TELSTRA PITS HAVE NOT BEEN SHOWN AS APPROVED PLANS HAVE NOT BEEN RECEIVED TO DATE



NOTE: MINIMUM 1.0m CLEARANCE FROM END OF SEWER HOUSE CONNECTION TO THE NEAREST POINT OF THE STRUCTURE FOUNDATION OR 2.0m CLEARANCE FROM CONNECTION AT MAIN/CENTRE OF MANHOLE.

**CONSTRUCTION ISSUE**

DATE	REV	DESCRIPTION	REC	APP
23/11/17	A	ISSUED FOR CONSTRUCTION		
07/09/17	1	PRELIMINARY ISSUE		

**Premise**  
TOWNSVILLE OFFICE  
84 DENHAM STREET  
PO BOX 1110  
TOWNSVILLE, QLD 4810  
PH: (07) 4772 0666  
WEB: www.premise.com.au

DESIGNED	K.BETTERIDGE	RPEQ	PAUL PETERSEN
CHECKED	K.DE LACEY	RPEQ 13231	
PROJECT MANAGER	P.PETERSEN	SCALE	0 5.0 10.0 15.0m
PROJECT DIRECTOR			SCALE 1:500 @ A3

CLIENT	PARKSIDE DEVELOPMENT PTY LTD
PROJECT	COSGROVE - STAGE 205
LOCATION	COSGROVE DRIVE, COSGROVE
SHEET TITLE	BUILDING ENVELOPE & DRIVEWAY ACCESS PLAN - SHEET 2 OF 2

JOB CODE	PAR-0219
SHEET NUMBER	C19
REV	A