

LOCALITY  
SCALE: 1:20,000

**NOTES:**

- There are no existing or proposed drainage features
- retaining walls
- stormwater detention
- community purposes land
- Easements as shown
- The final intended use of all allotments is for residential except if otherwise marked purposes in accordance with Cosgrove Plan of Development
- There are no buildings or structures over the land relevant to this stage
- Access into each allotment shall be via the road frontage. Specific locations to be determined at time of detailed engineering design and preparation of access envelopes.

**DESIGN CODE - ALL ALLOTMENTS**

Type	House, Front Loaded
Lot Access	25m (20m where 15m width proposed)
Lot Depth (Min)	12.5
Lot Width (Min)	May exceed 50% in response to Code Requirements, but no more than 60% Site Coverage.
Site Coverage	3.5m
Setback Front Ground (min) and upper	6m and 1.5m behind front of dwelling
Setback Front Garage	QDC
Setback Principal Side Ground (min)	QDC
Setback Principal Side Upper (min)	QDC
Setback Secondary Road Frontage (min)	QDC
Setback Principal Rear (min)	1.5m (*Sewer lines and manholes may enforce greater setbacks)
Outbuilding (Shed) Width (max)	9m
Outbuilding (Shed) Depth (max)	0-1.0m
Outbuilding (Shed) Rear Setback	Zero if lot 12.5m wide. As per Principal setback if lot >12.5m wide
Outbuilding (Shed) Side Setback	400mm
Floor Height Principal (min)	As per the Applicable Scheme
Maximum Storeys	4m x 4m
Private Open Space (min) (may be covered)	Two (2), one of which must be covered
Parking (min)	Two (2), one of which must be covered

\*Note: Clearances to sewer lines and manholes are required in accordance with council policy. This plan is conceptual and for discussion purposes only. All areas, dimensions and land uses are preliminary, subject to investigation, survey, engineering, and Local Authority and Agency approvals.

**PROPOSED RECONFIGURATION**

Lots 206-207, 218-244 and 900

Cancelling Lot 900 on SP278262

Parish of Coonambelah  
County of Elphinstone  
City of Townsville

**CORNER SIGHT LINES**

Comply with sight lines requirement of the Queensland Development code on road corners. This is typically a 9m x 9m exclusion zone based on boundaries.  
For clipped corners, footpaths wider than 4.2m and lots with park frontages typically this is a 18m x 18m exclusion zone based on edge of traffic lane. Rear access lanes are exempted from this requirement.

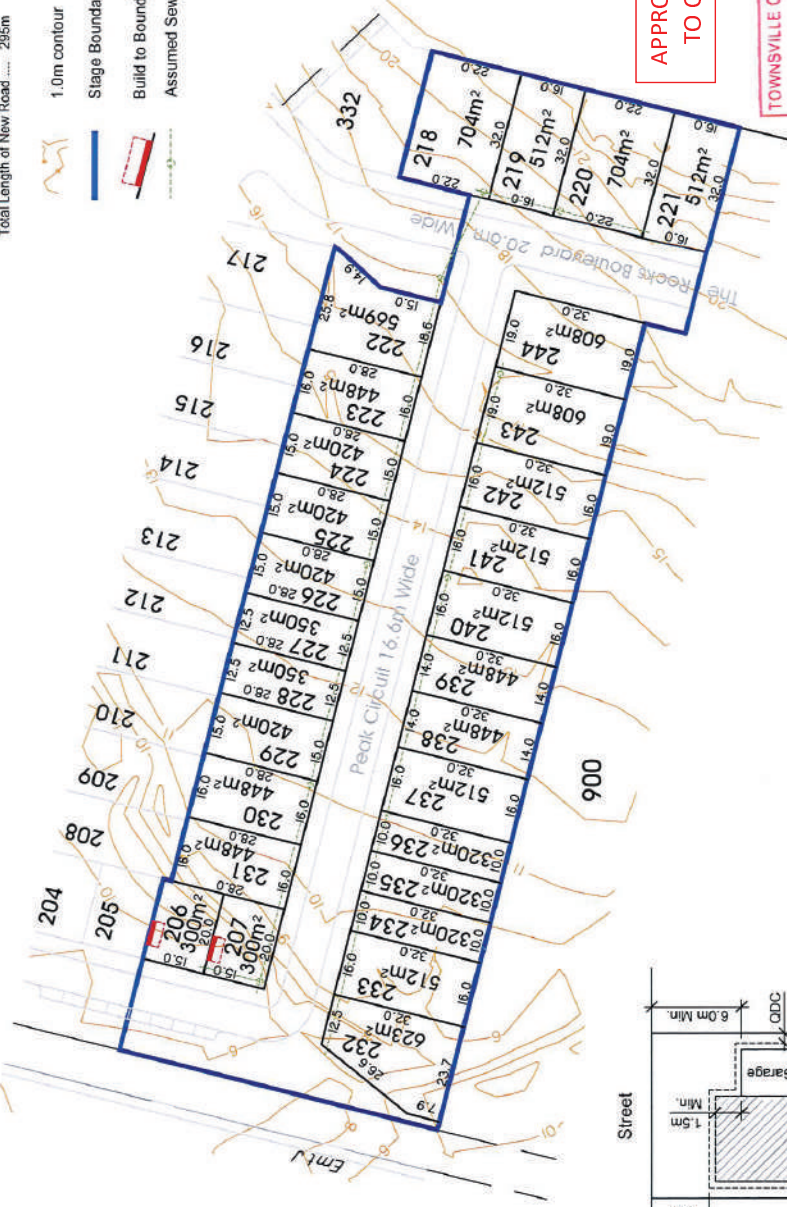


**COSGROVE**

**STAGE 204**

Total Stage Area ..... 1.90 ha  
Number of Lots ..... 29  
Average Lot Area ..... 470m<sup>2</sup>  
Total Length of New Road ..... 295m

- 1.0m contour
- Stage Boundary
- Build to Boundary Setback
- Assumed Sewer Layout



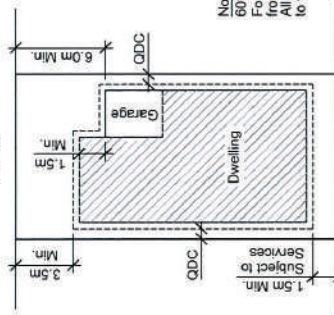
**APPROVED SUBJECT TO CONDITIONS**

**TOWNSVILLE CITY COUNCIL**  
RECD **26 MAY 2016**  
TOWN PLANNING

Date: 13th May, 2016  
Scale: 1:1250 @ A3  
Drawn: MAM  
Job No: 27001/132-01  
Plan No: 27001/105 C



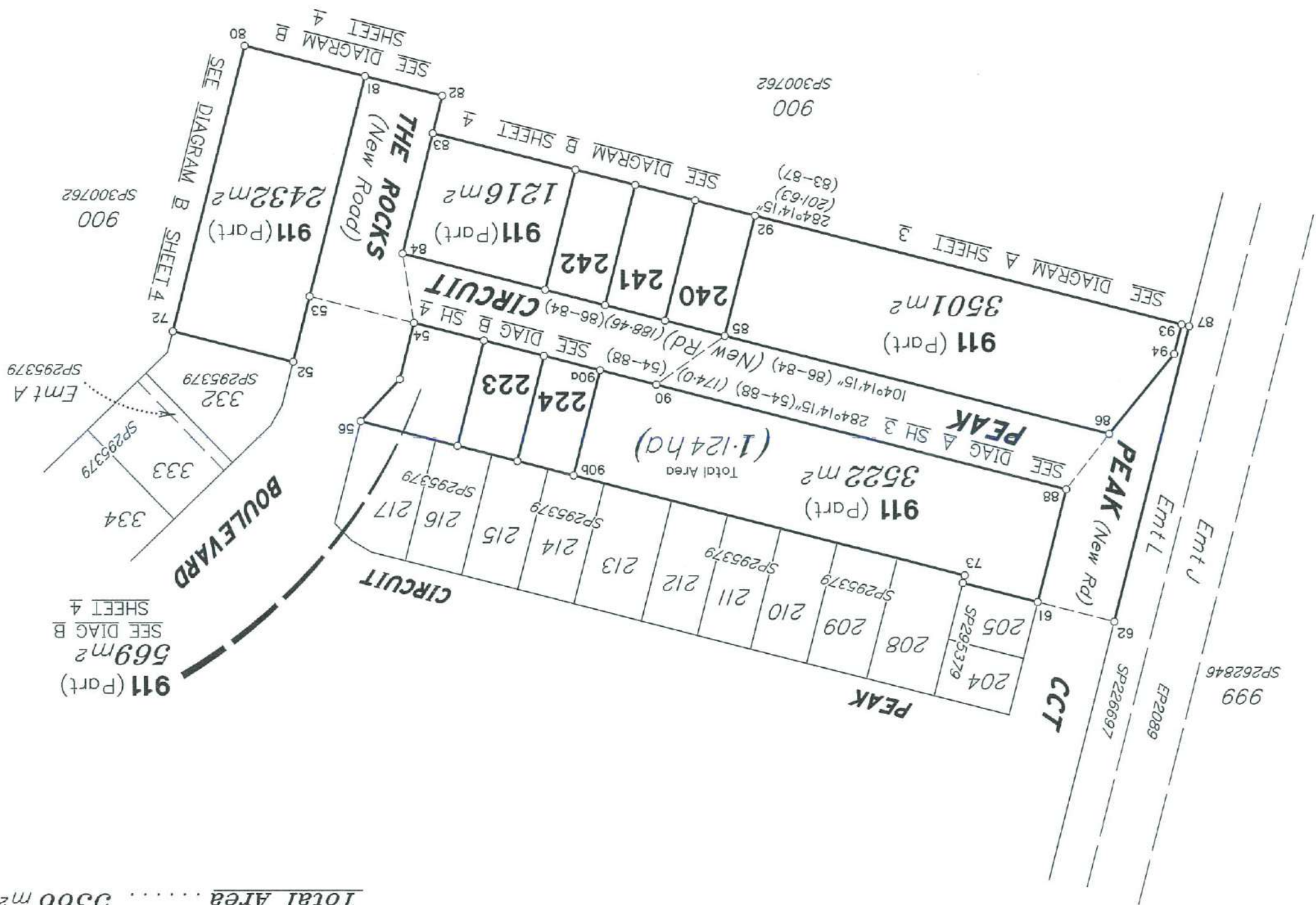
**Typical Setback Requirements**  
Not to Scale



Note  
60% Maximum Site Coverage  
For front and secondary front setback to garage, measure from the front boundary to the garage opening (wall). All other setbacks are measured from the boundary to the outermost projection (including carports).



**Area of New Road**  
 PEAK CIRCUIT (62-61-88-90-90a-54-84-85-86-94-93-87-62) ..... 4099 m<sup>2</sup>  
 THE ROCKS BOULEVARD (54-53-81-82-83-84-54) ..... 1267 m<sup>2</sup>  
**Total Area** ..... 5366 m<sup>2</sup>



BRAZIER MOTTI PTY LTD (ACN 066 411 041) hereby certify that the corporation, by Geoffrey Edwin OSBALDISTON, Cadastral Surveyor, has made this plan under Section 16 of the Survey and Mapping Infrastructure Regulation 2014, and pursuant to the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the plan is accurate, and compiled from DP3000763 in the Department of Natural Resources, Mines and Energy.



Director  
 Date 2/5/18

**Plan of Lots 223, 224, 240-242 & 911**  
 Cancelling Lot 911 on SP300762  
 LOCAL TOWNSVILLE CITY  
 GOVERNMENT: COUNCIL LOCALITY: COSGROVE  
 Meridian: MGA (Zone 55) vide DP300763  
 Survey Records: No

Scale: 1:1250  
 Format: STANDARD  
 State copyright reserved.



27001/186 STJ

5. Lodged by

(Dealing No.)

(Include address, phone number, reference, and Lodger Code)

6. Existing		Created	
Title Reference	Description	New Lots	Road
51137442	Lot 911 on SP300762	223, 224, 240-242 & 911	New Rd

1. Certificate of Registered Owners or Lessees.

1/We **PARKSIDE DEVELOPMENT P.T.Y.LTD**  
**A.C.N. 009 802 233**

(Names in full)

\* as Registered Owners of this land agree to this plan and dedicate the Public Use Land as shown hereon in accordance with Section 50 of the Land Title Act 1994.

~~\* as Lessees of this land agree to this plan:~~

Signature of \*Registered Owners \*Lessees

\* Rule out whichever is inapplicable

2. Planning Body Approval.

\* **TOWNSVILLE CITY COUNCIL**  
hereby approves this plan in accordance with the:  
%

**PLANNING ACT 2016**

Dated this 25th day of May, 2018

**AS DULY AUTHORISED REPRESENTATIVE OF TOWNSVILLE CITY COUNCIL**

**GENERAL MANAGER, PLANNING**

\* Insert the name of the Planning Body.  
# Insert designation of signatory or delegation

3. Plans with Community Management Statement:

CMS Number :

Name :

4. References :

Dept File : **POS18/0033**  
Local Govt : **TOWNSVILLE**  
Surveyor : **27001/137-02 STJ**  
27001\_186A 05/18

% Insert applicable approving legislation.

7. Orig Grant Allocation :

8. Passed & Endorsed :

By : **BRAZIER MOTTI PTY LTD**

Date : **31/5/18**

Signed :

Designation :

Liaison Officer

223, 224, 240-242 & 911 Lot 911 on SP300762

Lots

Orig

10. Lodgement Fees :

Survey Deposit	\$
Lodgement	\$
.....New Titles	\$
Photocopy	\$
Postage	\$
TOTAL	\$

9. Building Format Plans only.

I certify that:

- \* As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or roads;
- \* Part of the building shown on this plan encroaches onto adjoining \* lots and road

Cadastral Surveyor/Director \* Date  
\* delete words not required

11. Insert Plan Number  
**SP302851**

27001/186 STJ

DIAGRAM A  
Scale 1:500

0m

25m  
50mm

50m  
100mm

75m  
150mm

State copyright reserved.  
Insert Plan Number  
**SP302851**

27001/186 STJ

999  
SP262846

EP2089

Emt J

Emt L

2.0

93

87

14°14'05"

7.86

94

39°03'50"

26.6

86

14°14'05"

78.6

SP226697

PEAK

(New Road)

CIRCUIT

62

104°14'15"

20.44

61

104°14'15"

20.0

205

SP295379

204

208

SP295379

209

SP295379

210

SP295379

211

SP295379

212

SP295379

213

SP295379

214

SP295379

911 (Part)  
SEE SHEET I

SEE SHEET I

PEAK

109-365

(90a-88)

(124.365) by Addn

284°14'15"

(90a-88)

(New Road)

104°14'15"

102.46

911 (Part)  
SEE SHEET I

SEE SHEET I

900

SP300762

113-63 by Addn

284°14'15"

(92-87)

92

194°14'15"

32.0

SEE DIAGRAM B  
SHEET 4

240

SEE DIAGRAM B  
SHEET 4

SEE DIAGRAM B  
SHEET 4

CIRCUIT

54°43'15"

21.825

85

15.0

90

90a

SEE DIAG B  
SHEET 4

224

SEE DIAG B  
SHEET 4

28.0

194°14'15"

ADDITIONAL SHEET

Sheet of  
3 4



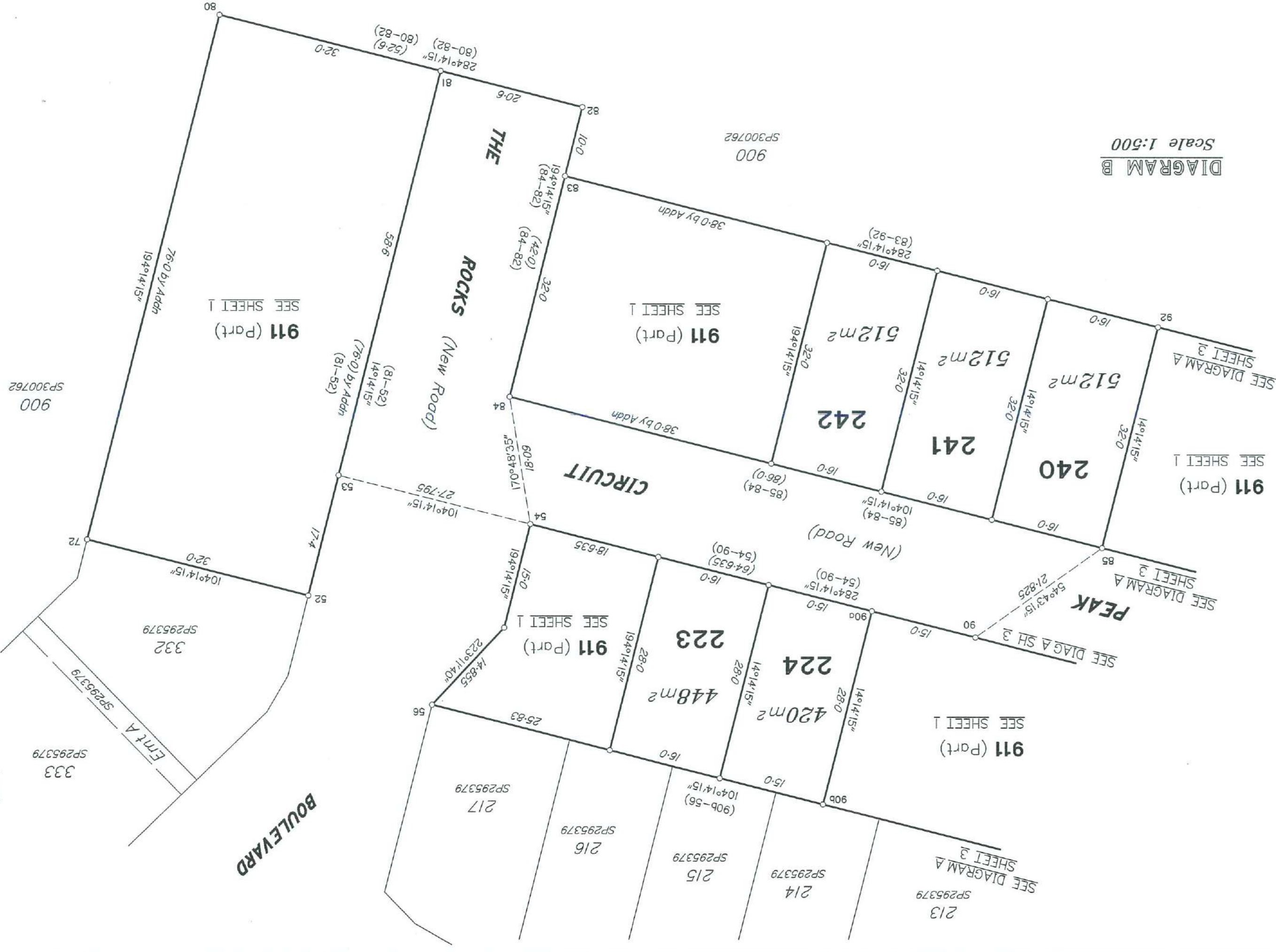


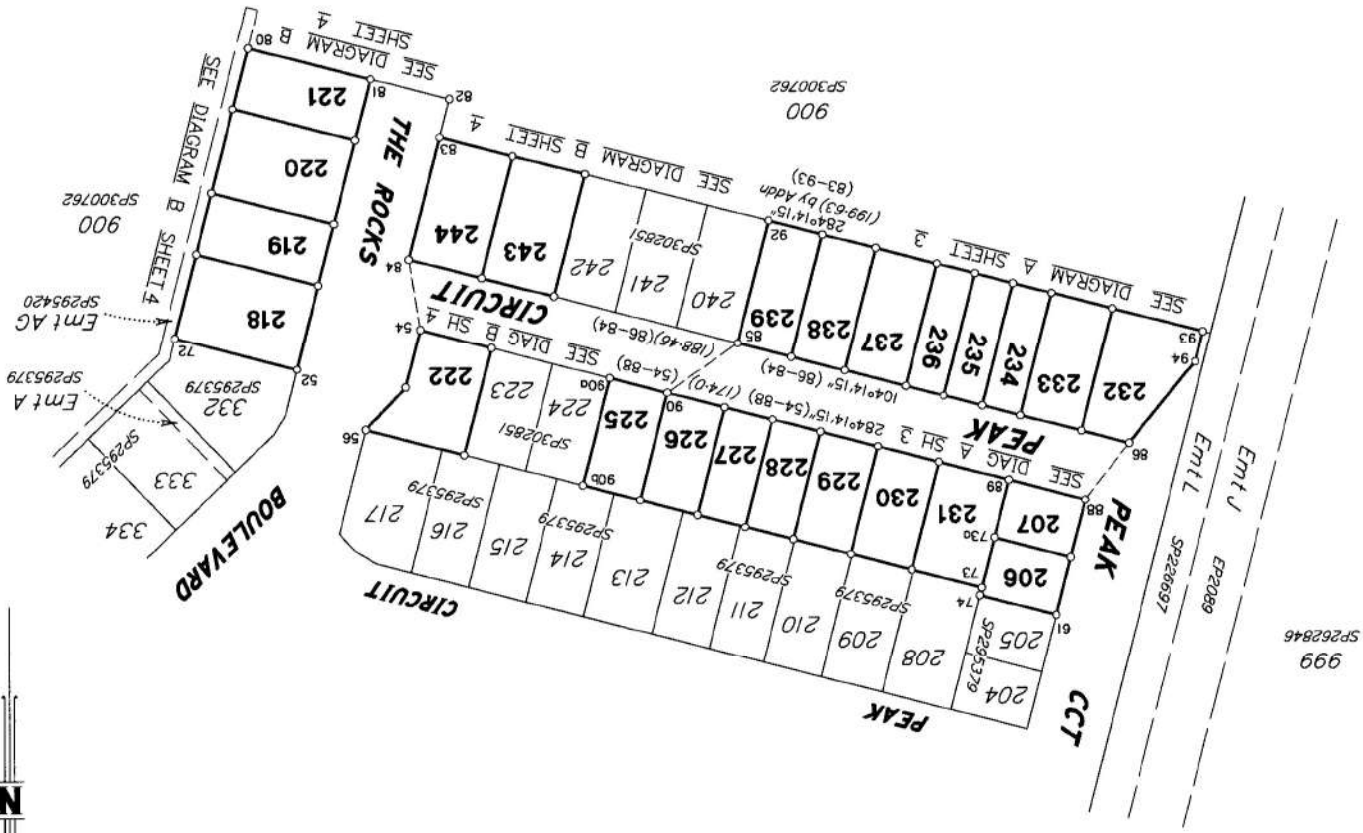
DIAGRAM B  
Scale 1:500

State copyright reserved.

Insert Plan Number  
SP302851



27001/186 ST1



BRAZIER MOTT PTY. LTD. (ACN 066 411 041) hereby certify that the cooperation, by Geoffrey Edwin OSBALLISTON, Coastal and Infrastructure Surveyor, in the preparation of this plan in accordance with the Mapping Infrastructure Regulation 2014 and pursuant to the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the plan is accurate, and compiled from DP300763 and SP302851 in the Department of Natural Resources, Mines and Energy.



Director

Date: 14. 6. 2015



Scale: **1:1250**

187.5m  
150 mm  
State copyright reserved.

**Plan of Lots 206, 207, 218-222, 225-239, 243 & 244**  
Cancelling Lot 911 on SP302851

Format: **STANDARD**



**SP306186**

LOCAL **TOWNSVILLE CITY** LOCALITY: **COSEBROVE**  
GOVERNMENT: **COUNCIL**

Meridian: **MGA (Zone 55) wide DP300763**  
Survey Records: **No**

27001/201 STJ

**718859087**

\$2726.00  
09/07/2018 11:57

**TE 400 NT**

**1. Certificate of Registered Owners or Lessees.**

I/We **PARKSIDE DEVELOPMENT PTY LTD**  
A.C.N. 009 802 233

(Names in full)

\* as Registered Owners of this land agree to this plan and dedicate the Public Use Land as shown hereon in accordance with Section 50 of the Land Title Act 1994.

\* as Lessees of this land agree to this plan:

Signature of \*Registered Owners \*Lessees



\* Rule out whichever is inapplicable

**2. Planning Body Approval.**

\* **TOWNSVILLE CITY COUNCIL**  
hereby approves this plan in accordance with the:  
%

**PLANNING ACT 2016**

Dated this 4<sup>th</sup> day of July 2016  
# AS DULY AUTHORISED REPRESENTATIVE OF  
# **TOWNSVILLE CITY COUNCIL**  
% Insert applicable approving legislation.  
**GENERAL MANAGER, PLANNING**  
\* Insert the name of the Planning Body.  
# Insert designation of signatory or delegation

**3. Plans with Community Management Statement:**

CMS Number:  
Name:  
4. References:  
Dept File: 10518/0051  
Local Govt: TOWNSVILLE  
Surveyor: 27001/137-03 STJ  
27001\_201A\_06/18

**WARNING : Folded or Mutilated Plans will not be accepted.**  
Plans may be rolled.

Information may not be placed in the outer margins.

s. Lodged by **PARKSIDE DEVELOPMENT 888**  
**PO BOX 4018 KIRWAN 4817**  
**ph. 4431860 wtpiolas@parkside.biz**

(Include address, phone number, reference, and Lodger Code)

**6. Existing Created**

Title Reference	Description	New Lots	Road	Secondary Interests
51147372	Lot 911 on SP302851	206, 207, 218-222, 225-239, 243 & 244.		

*SP295420 to register before this plan.*

**9. Building Format Plans only.**

I certify that:  
\* As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or roads.  
\* Part of the building shown on this plan encroaches onto adjoining \* lots and road

Cadastral Surveyor/Director \* Date  
delete words not required

**10. Lodgement Fees:**

Survey Deposit	\$
Lodgement	\$
New Titles	\$
Photocopy	\$
Postage	\$
TOTAL	\$

11. Insert Plan Number  
**SP306186**

27001/201 STJ

2700 / 201571

State copyright reserved.

SP306186  
Insert  
Plan  
Number

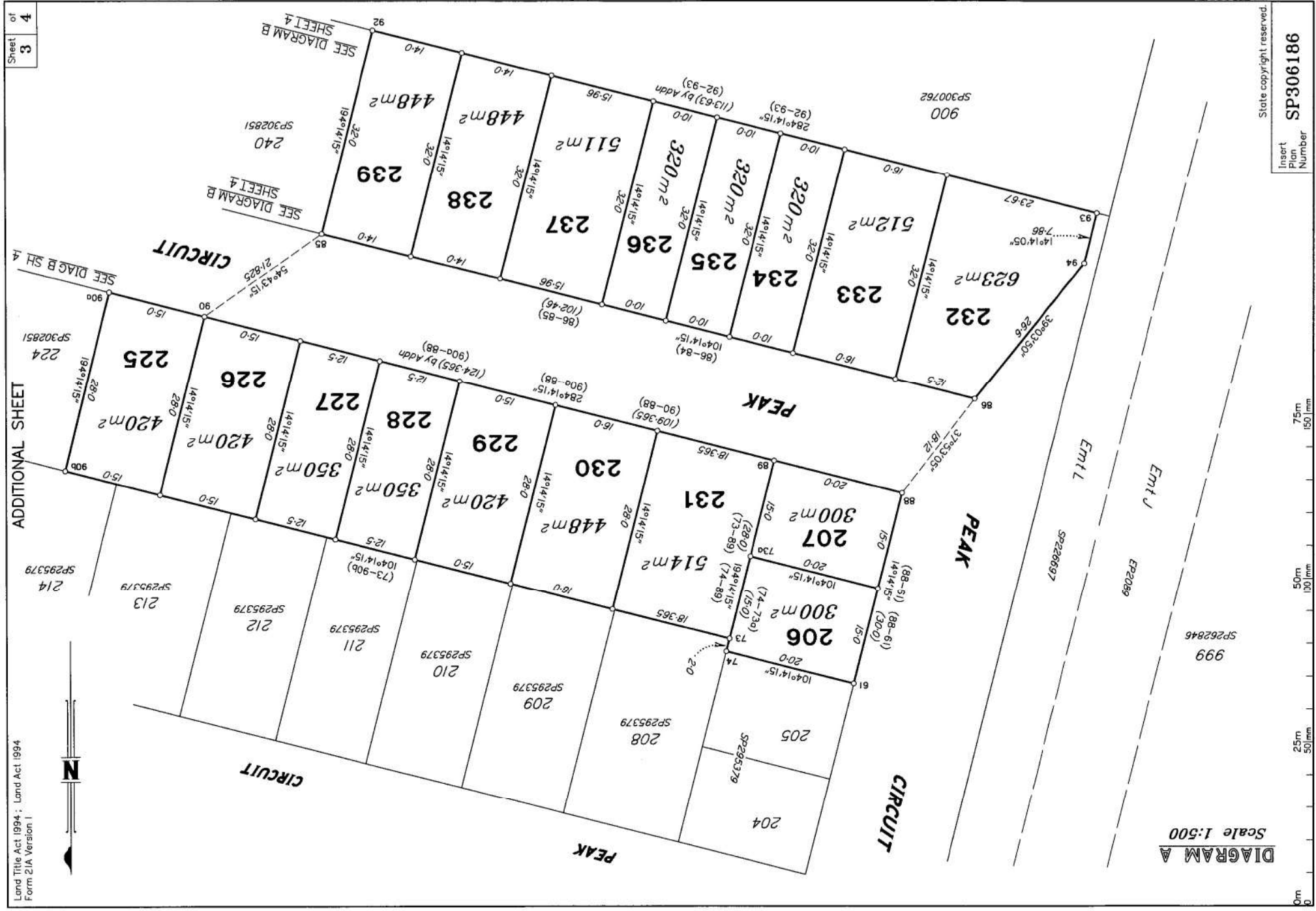
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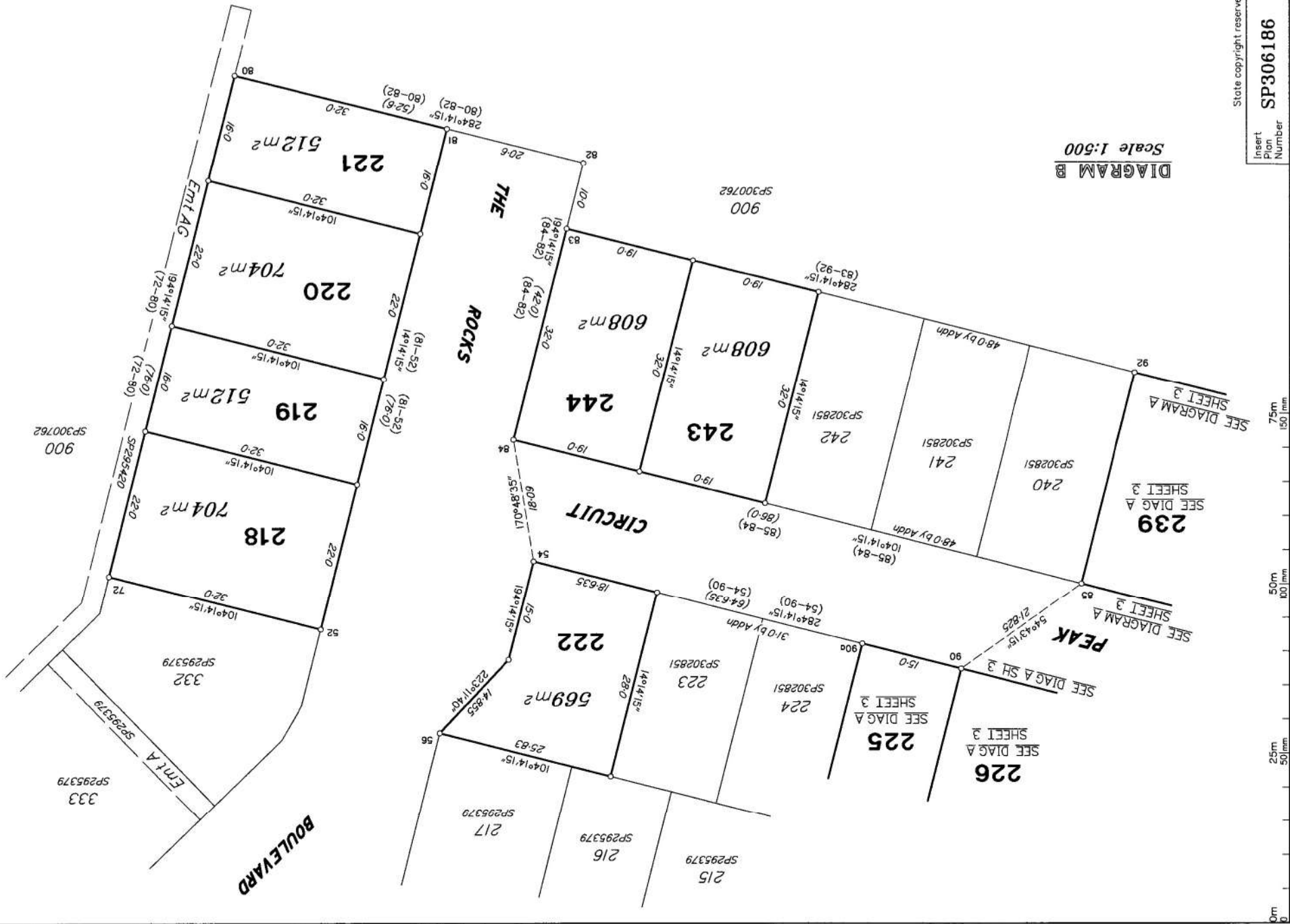
Sheet  
3  
of  
4

ADDITIONAL SHEET

Land Title Act 1994; Land Act 1994  
Form 21A Version 1







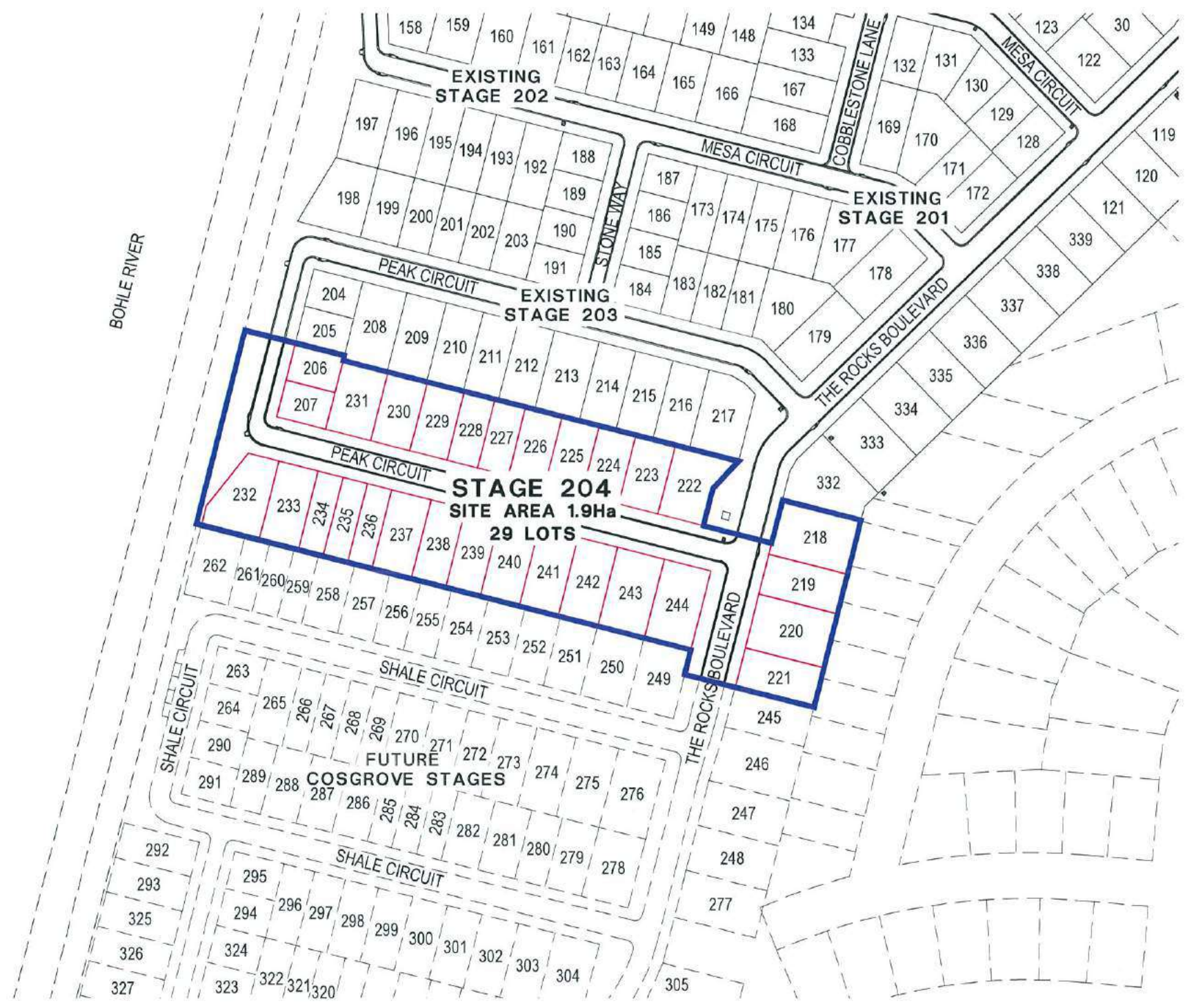
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DIAGRAM B



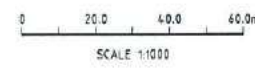
LOCALITY PLAN  
NTS

**DRAWING SCHEDULE**

DRAWING No.	NAME
AS-CONSTRUCTED SET DRAWINGS	
27001/164	LOCALITY PLAN, SITE PLAN & DRAWING SCHEDULE
27001/165	EARTHWORKS LAYOUT PLAN
27001/166	ROADWORKS & STORMWATER DRAINAGE PLAN
27001/167	THE ROCKS BOULEVARD LONGITUDINAL & CROSS SECTIONS
27001/168	PEAK CIRCUIT LONGITUDINAL SECTION
27001/169	PEAK CIRCUIT CROSS SECTIONS
27001/170	ROADWORKS DETAILS PLAN
27001/171	Q2 STORMWATER LONGITUDINAL SECTIONS
27001/172	WATER RETICULATION PLAN
27001/173	SEWER RETICULATION PLAN
27001/174	SEWER LONGITUDINAL SECTIONS
27001/175	MISCELLANEOUS DETAILS PLAN



SITE PLAN  
SCALE 1:1000



MENDI CONSTRUCTIONS PTY LTD DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

DIRECTOR  
DATE 17/1/18

RPEQ  
DATE 18/1/18

No.	Date	Details	Check
A	27/12/2011	AS-CONSTRUCTED ISSUE	

Level Datum: AHD (DERIVED)  
 S.M. Used: PSM17952  
 Coordinate Projection:  
 Coordinate Datum:  
 Origin of Coordinates: PSM17952  
 Meridian:  
 Map Reference:  
 Contour Interval:  
 Job No: 27001-164-01  
 File No: 27001\_164.dwg  
 Surveyed by: SM

Drawn: M.M.  
 Approved:

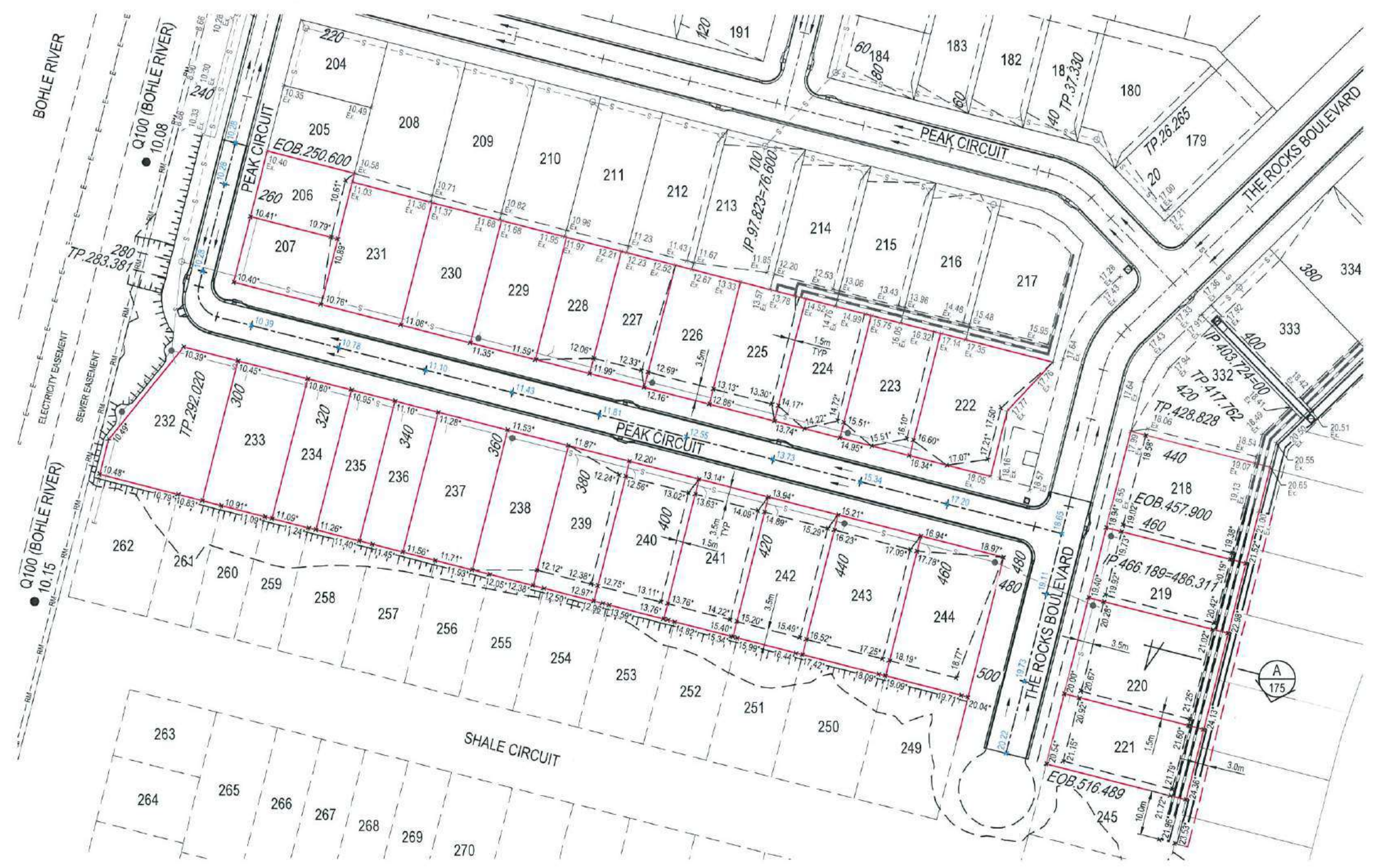
CLIENT: PARKSIDE DEVELOPMENT PTY LTD  
 Project: COSGROVE - STAGE 204  
 COSGROVE DRIVE, COSGROVE  
 LOCALITY PLAN, SITE PLAN & DRAWING SCHEDULE  
 Parish of: Coorambidge County of: Eboracaster  
 Local Authority: Townsville City Council Locality: Townsville

**brazier mom**

1300 267 878  
 www.braziermom.com.au  
 TOWNVILLE | AFR  
 CAIRNS | MACKAY

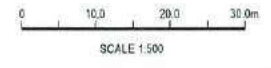
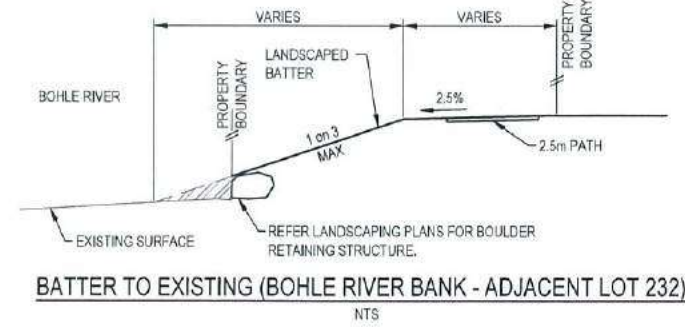
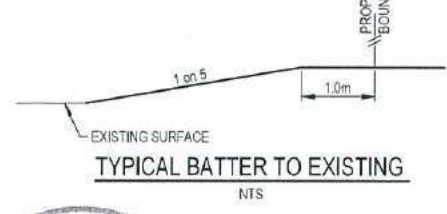
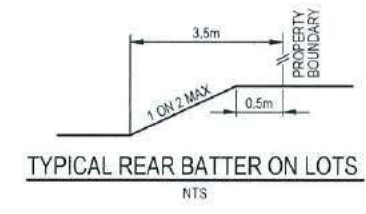
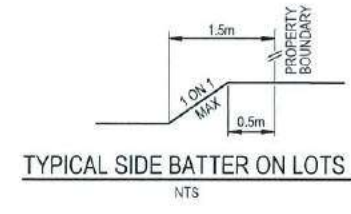
Date: 21st December 2017  
 Sheet: 1 of 1 Sheets  
 Scale: AS SHOWN  
 Plan No: 27001/164 A

surveying | town planning | project management | mapping and GIS



- ### EARTHWORKS LEGEND
- EXISTING SEWER RISING MAIN
  - EXISTING OVERHEAD POWERLINE
  - CERTIFIED FINISHED ALLOTMENT LEVEL
  - DENOTES EXISTING ALLOTMENT LEVEL
  - DENOTES Q100 FLOOD LEVEL
  - TOP OF BATTER
  - BOTTOM OF BATTER
  - INVERT OF DRAIN
  - LINK BLOCK RETAINING WALL
  - EXISTING LINK BLOCK RETAINING WALL
  - DIRECTION OF KERB & CHANNEL FLOW

- ### EARTHWORKS NOTES
- ALL EARTHWORKS OPERATIONS UNDERTAKEN IN ACCORDANCE WITH THE PROJECT SPECIFICATION.
  - ALLOTMENTS GRADED EVENLY BETWEEN LEVELS SHOWN. MINIMUM FINISHED ALLOTMENT GRADE 1.200.

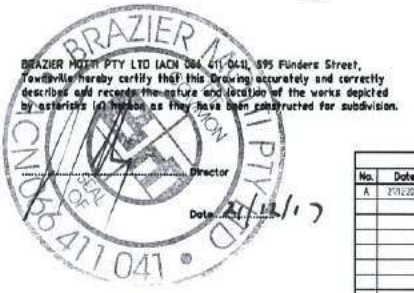


MENDI CONSTRUCTIONS PTY LTD DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

DIRECTOR  
DATE 17.1.18

PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

RPEQ  
DATE 18.1.18

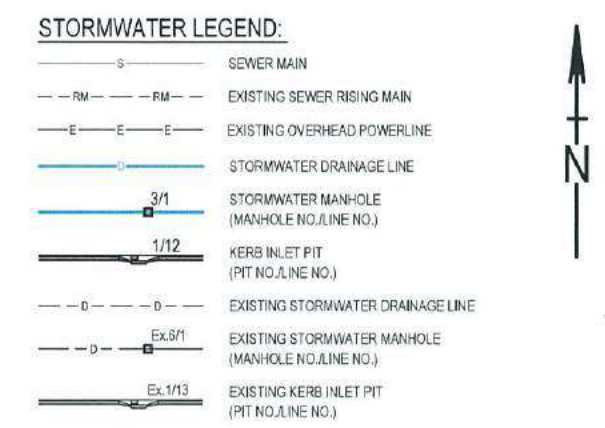
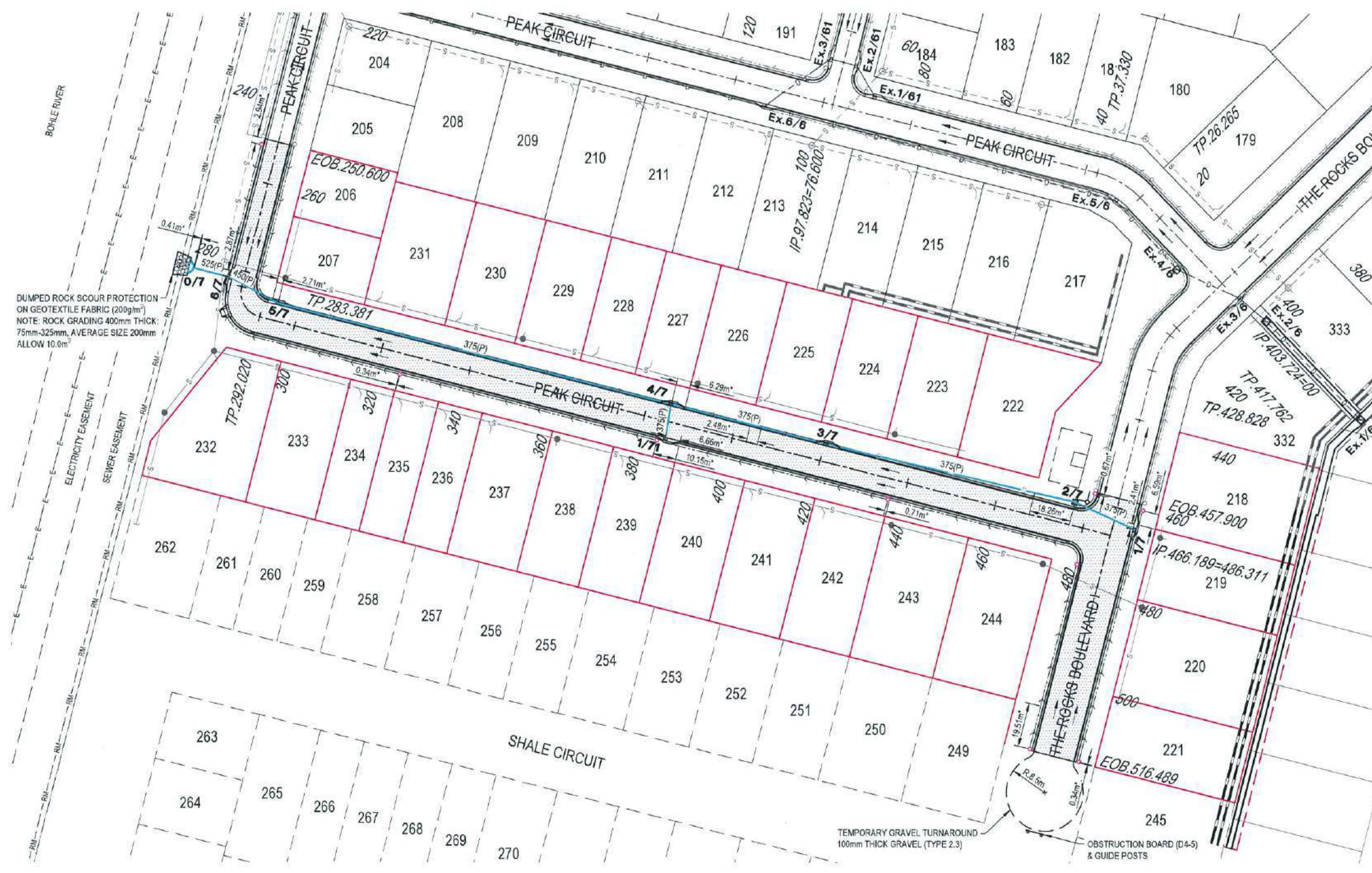


No.	Date	Details	Check
A	27/1/2017	AS-CONSTRUCTED ISSUE	

Level Datum: AHD (DERIVED)  
S.M. Used: PSM-27952  
Coordinate Projection:  
Origin of Coordinates: PSM-27952  
Meridian:  
Map Reference:  
Colour Interval:  
Job No: 27001-18-01  
File No: 27001-18-01-04g  
Surveyed by: TM

CLIENT: PARKSIDE DEVELOPMENT PTY LTD  
Project: COSGROVE - STAGE 204  
COSGROVE DRIVE, COSGROVE  
EARTHWORKS LAYOUT PLAN  
Local Authority: Townsville City Council  
Locality: Townsville

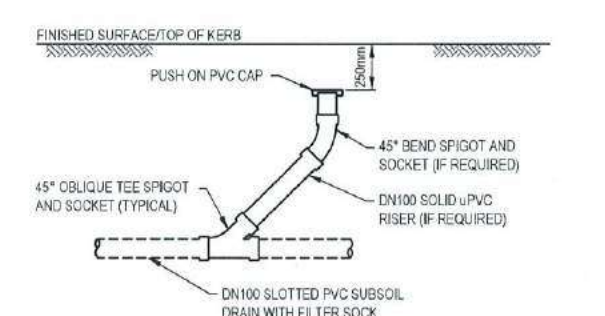
1300 267 878  
www.braziermomi.com.au  
Townsville | Cairns | Mackay  
Date: 27th December 2017  
Sheet 1 of 1 Sheets  
Scale: AS SHOWN  
Plan No: 27001/165 A  
Surveying | Land planning | Project management | Mapping and GIS



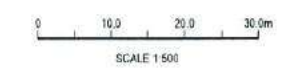
- ### STORMWATER NOTES
- ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
  - FOR STORMWATER LEVELS, PIPE LENGTHS, PIPE CLASS AND STRUCTURE TYPES, REFER STORMWATER LONGITUDINAL DRAWINGS.
  - ALL PIPE CUTS MADE USING A MASONRY SAW.
  - ALL TRENCHES UNDER ROAD PAVEMENT (INCLUDING FUTURE) BACKFILLED WITH CRUSHER DUST TO SUBGRADE LEVEL. REFER PROJECT SPECIFICATION FOR COMPACTION AND COMPLIANCE TESTING REQUIREMENTS.



- ### ROADWORKS NOTES
- ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
  - FOR ROAD GRADING, LEVELS AND TYPICAL SECTIONS, REFER ROAD LONGITUDINAL/CROSS SECTION AND ROADWORKS DETAILS DRAWINGS.
  - ALL SUBSOIL DRAINS GRADED AT MINIMUM 0.5% FROM HIGH POINT TO OUTLET, UNLESS NOTED OTHERWISE.
  - SUBSOIL DRAIN REVERSE GRADED AT MINIMUM 0.5% TO ENSURE POSITIVE GRADE.



**TYPICAL SUBSOIL DRAIN CLEANOUT POINT DETAIL**  
NTS  
NOTE: PROVIDE "S" BRASS KERB MARKER TO INDICATE LOCATION OF CLEANOUT POINT



MENDI CONSTRUCTIONS PTY LTD DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.



DATE: 18.1.18

RPEQ DATE: 18.1.18

No.	Date	Details	Check
A	21/12/17	AS-CONSTRUCTED ISSUE	

Level Datum: AHD (DERIVED)  
S.M. Used: PS/M/27952  
Coordinate Projection:  
Coordinate Datum:  
Origin of Coordinates: PS/M/27952  
Meridian:  
Map Reference:  
Contour Interval:  
File No: 27001\_166A.dwg  
Surveyed by: EM

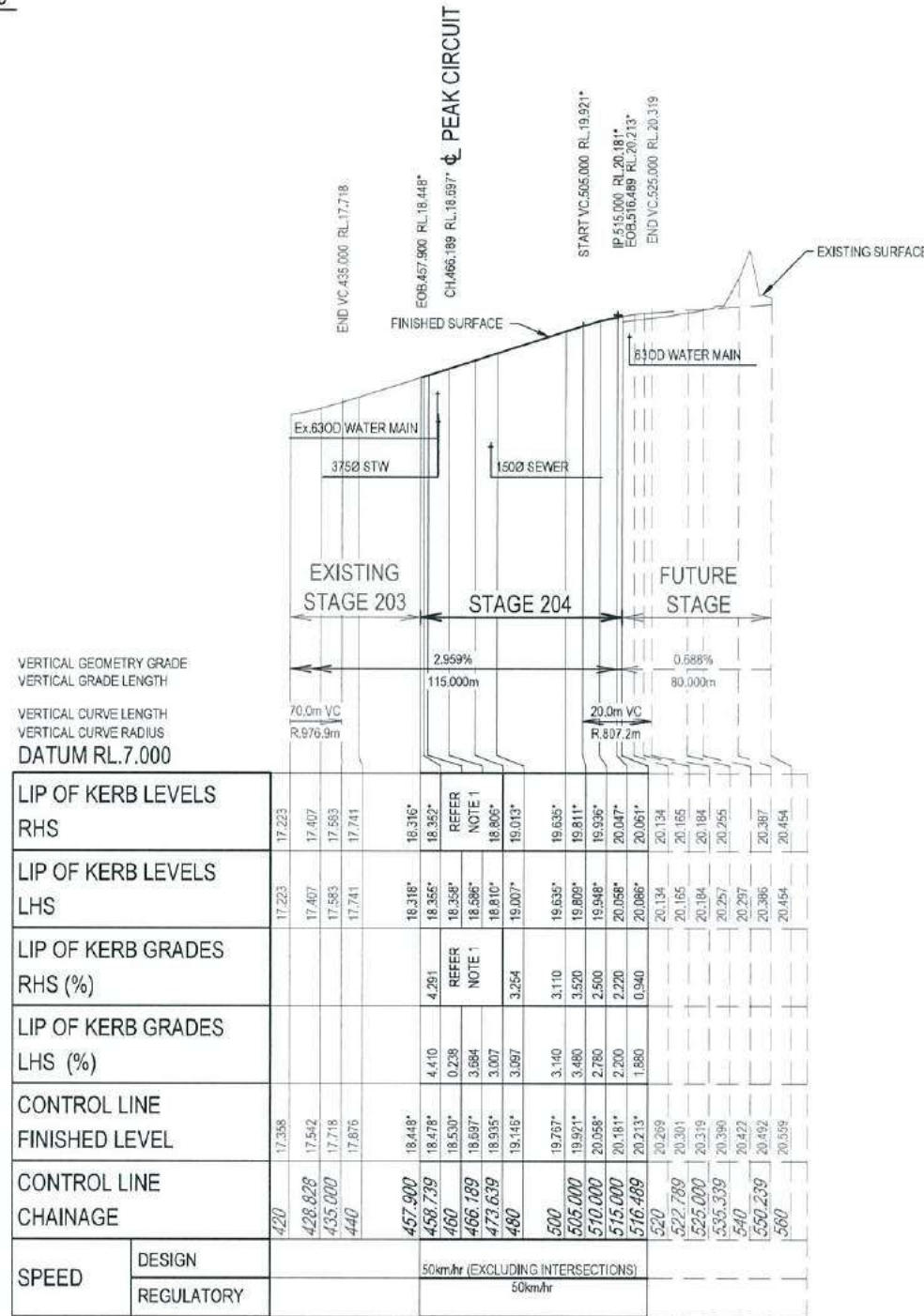
Client: PARKSIDE DEVELOPMENT PTY LTD  
Project: COSGROVE - STAGE 204  
COSGROVE DRIVE, COSGROVE  
ROADWORKS & STORMWATER DRAINAGE PLAN

1300 267 878  
www.braziermott.com.au  
TOWNSVILLE | Ayr  
CAIRNS | MACKAY

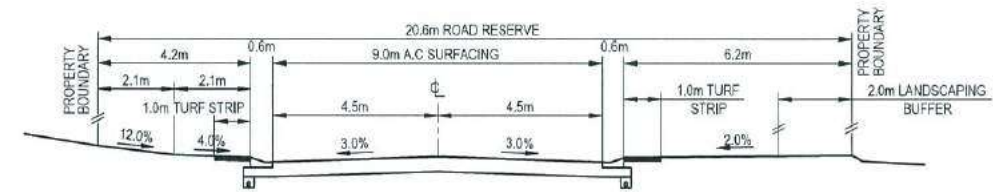
Date: 21st December 2017  
Sheet: 1 of 1 Sheets  
Scale: AS SHOWN  
Plan No: 27001/166 A

**APPROVED PAVEMENT DESIGN**  
**THE ROCKS BOULEVARD CH.457.900 - CH.516.489**

30mm ASPHALT SURFACING (AC10M)  
 PRIME COAT 1.1L/m<sup>2</sup> (AMCO)  
 125mm BASE COURSE (DMR TYPE 2.1)  
 155mm SUB BASE COURSE (DMR TYPE 2.3)



**THE ROCKS BOULEVARD LONGITUDINAL SECTION**  
 SCALE 1:100 VERTICAL, SCALE 1:1000 HORIZONTAL



**THE ROCKS BOULEVARD CROSS SECTIONS**  
 SCALE 1:100

**ROAD LONGITUDINAL SECTION NOTES**

1. FOR LEVEL INFORMATION REFER ROADWORKS DETAILS PLAN.

MENDI CONSTRUCTIONS PTY LTD DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.



DIRECTOR  
 DATE

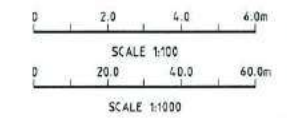
RPEQ  
 DATE

No.	Date	Details	Check
A	27/12/2017	AS-CONSTRUCTED SURVEY	

Level Datum: MVD (DERIVED)  
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 Coordinate Projection:  
 Origin of Coordinates: PSM127952  
 Meridian:  
 Map Reference:  
 Contour Interval:  
 Job No: 27001-158-01  
 File No: 27001\_157A.dwg  
 Surveyed by: SM

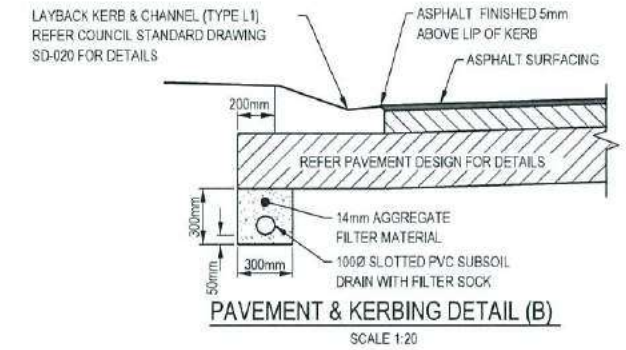
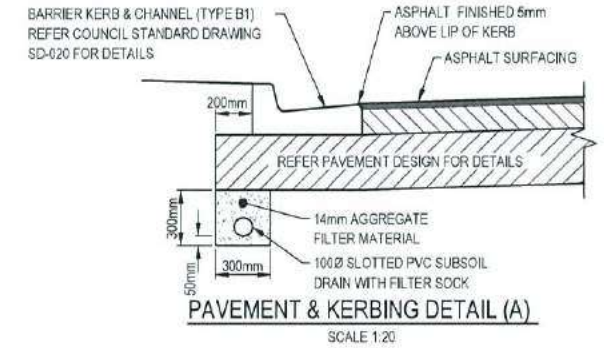
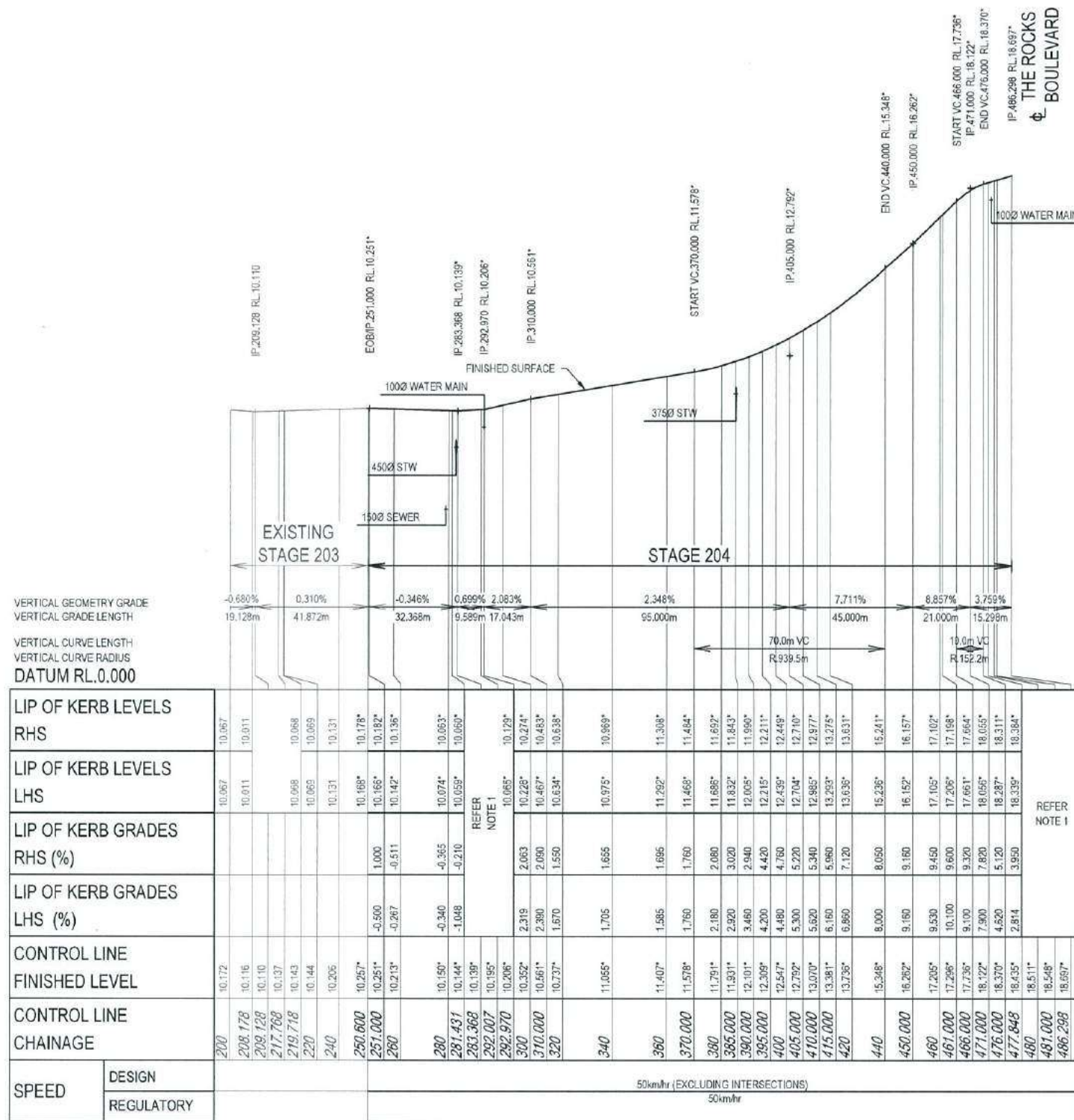
CLIENT: PARKSIDE DEVELOPMENT PTY LTD  
 Project: COSGROVE - STAGE 204  
 COSGROVE DRIVE, COSGROVE  
 THE ROCKS BLVD LONG & CROSS SECTIONS  
 Parish of: Coorambah  
 County of: Diocese  
 Local Authority: Townsville City Council  
 Locality: Townsville

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 Date: 27th December 2017  
 Sheet 1 of 1 Sheets  
 Scale: AS SHOWN  
 Plan No: 27001/157 A  
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**APPROVED PAVEMENT DESIGN**  
**PEAK CIRCUIT CH.250.600 - CH.486.298**

30mm ASPHALT SURFACING (AC10M)  
 PRIME COAT 1.1L/m<sup>2</sup> (AMCO)  
 125mm BASE COURSE (DMR TYPE 2.1)  
 125mm SUB BASE COURSE (DMR TYPE 2.3)



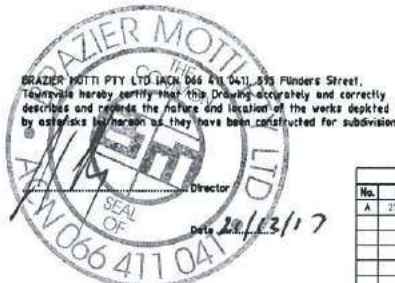
**PEAK CIRCUIT LONGITUDINAL SECTION**  
 SCALE 1:100 VERTICAL, SCALE 1:1000 HORIZONTAL

**ROAD LONGITUDINAL SECTION NOTES**

- FOR LEVEL INFORMATION REFER ROADWORKS DETAILS PLAN.
- FOR TYPICAL SECTIONS REFER TO RELEVANT ROAD CROSS SECTION PLAN.

MENDI CONSTRUCTIONS PTY LTD DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.



DIRECTOR  
 DATE 17/1/18

RPEQ  
 DATE 18.1.18

Revisions		Level Datum: AHD (DEFINED)
No.	Date	Details
A	21/12/2017	AS CONSTRUCTED EDGE

B.M. Used: PSM127082  
 Coordinate Projection:  
 Coordinate Datum:  
 Origin of Coordinates: PSM127082  
 Meridian:  
 Map Reference:  
 Contour Interval:  
 Job No: 27001-18A-01  
 File No: 27001-18A-04g  
 Surveyed by: BM  
 Drawn: M/M  
 Approved:

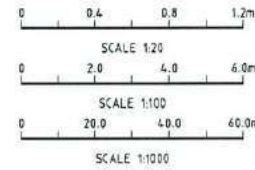
CLIENT: PARKSIDE DEVELOPMENT PTY LTD  
 Project: COSGROVE - STAGE 204  
 COSGROVE DRIVE, COSGROVE  
 PEAK CIRCUIT LONGITUDINAL SECTION  
 Parish of: Cosgrove  
 Local Authority: Townsville City Council  
 County of: Fitzroy  
 Locality: Townsville

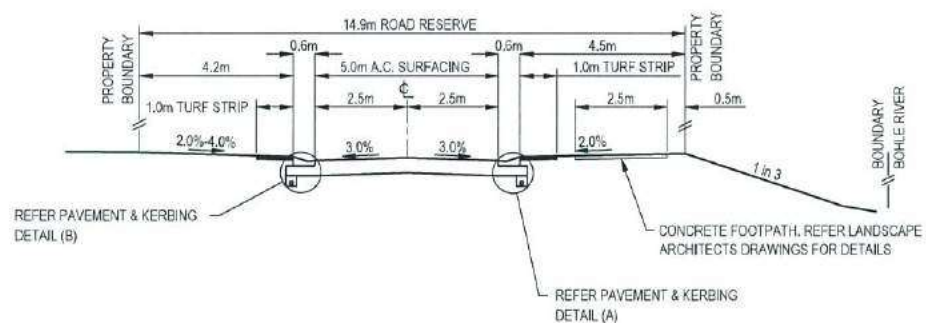
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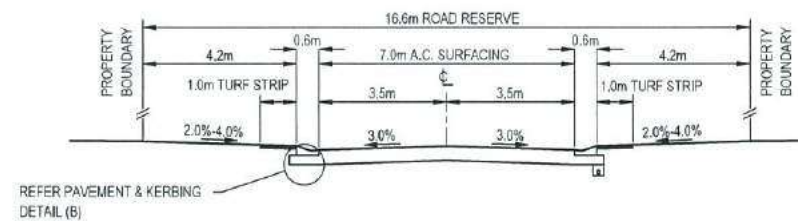
Date: 21st December 2017  
 Sheet: 1 of 1 Sheets  
 Scale: AS SHOWN  
 Plan No: 27001/168 A

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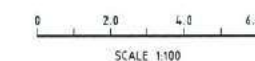
TYPICAL SECTION CH.250.600 - CH.275.881



TYPICAL SECTION CH.292.970 - CH.467.818

PEAK CIRCUIT CROSS SECTIONS

SCALE 1:100



MENDI CONSTRUCTIONS PTY LTD DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

DIRECTOR  
DATE 17/11/18

PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

RPEQ  
DATE 15.11.18

Revisions			
No.	Date	Details	Check
A	27/12/2017	AS CONSTRUCTED TO B&B	

Level Datum: AHD (DERIVED)  
 B.M. Used: PSM127952  
 Coordinate Projection:  
 Coordinate Datum:  
 Origin of Coordinates: PSM127952  
 Meridian:  
 Map Reference:  
 Contour Interval:  
 Job No: 27001-1169-01  
 File No: 27001\_1169.dwg  
 Surveyed by: SA

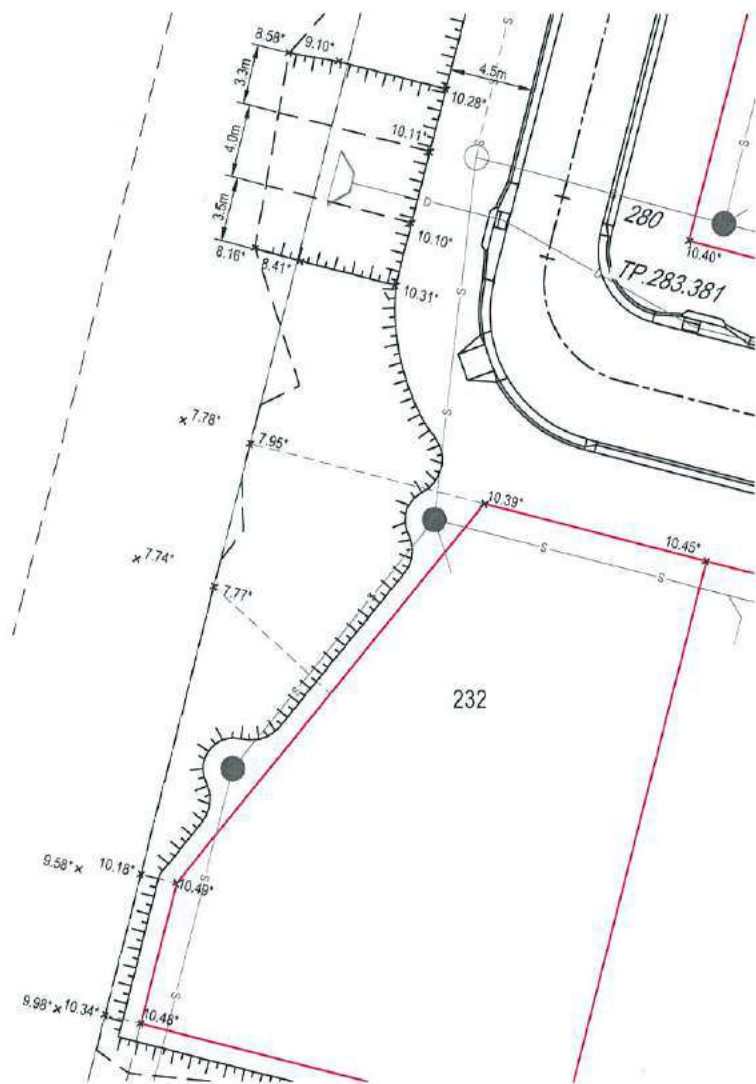
CLIENT: PARKSIDE DEVELOPMENT PTY LTD  
 Project: COSGROVE - STAGE 204  
 COSGROVE DRIVE, COSGROVE  
 PEAK CIRCUIT TYPICAL CROSS SECTIONS  
 Parish of: Condamine County of: Epiphanie  
 Local Authority: Townsville City Council Locality: Townsville

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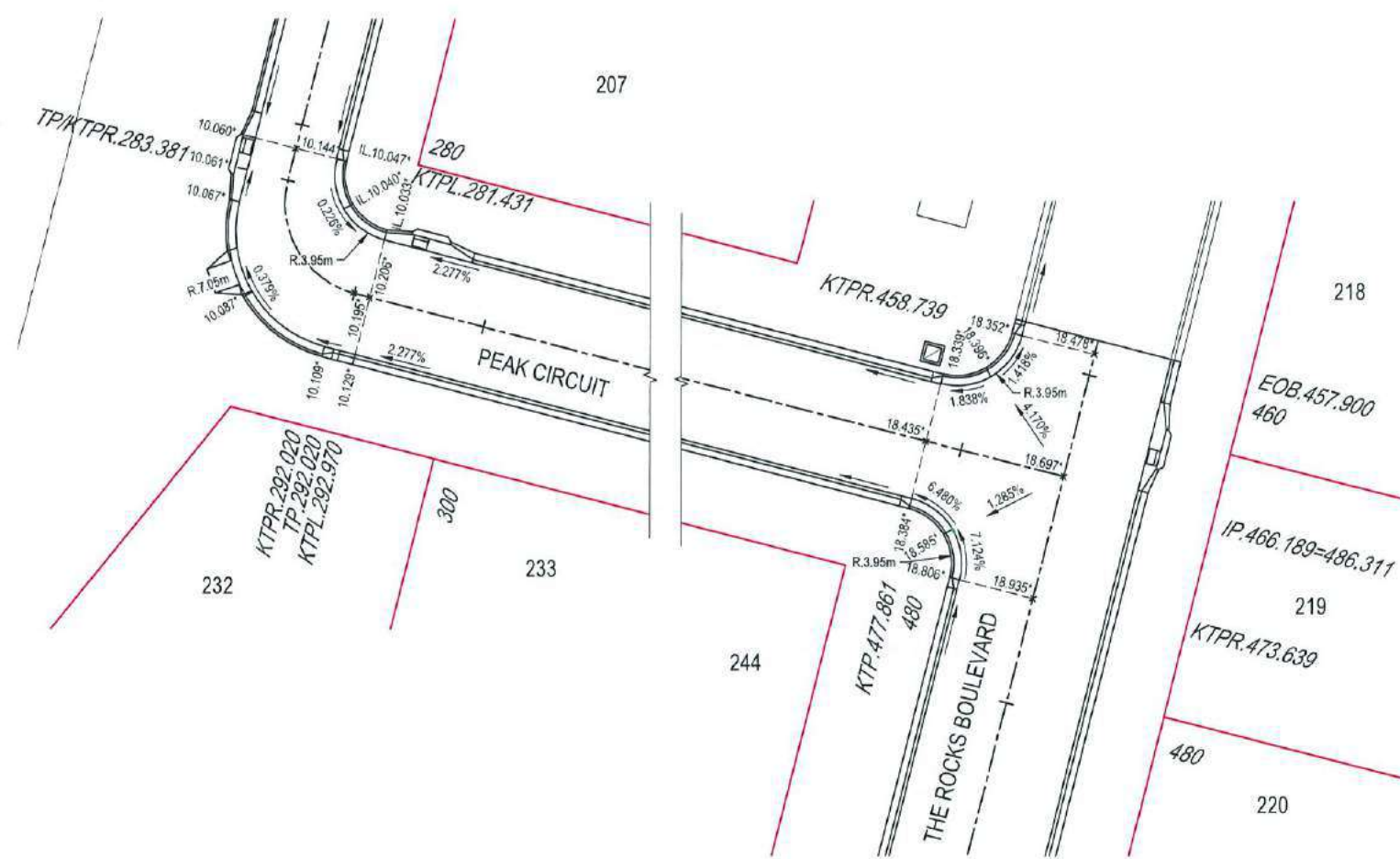
Date: 27th December, 2017  
 Sheet: 1 of 1 Sheets  
 Scale: AS SHOWN  
 Plan No: 27001/1169 A

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**SURCHARGE PATH DETAILS**

SCALE 1:200



**ROADWORKS DETAILS**

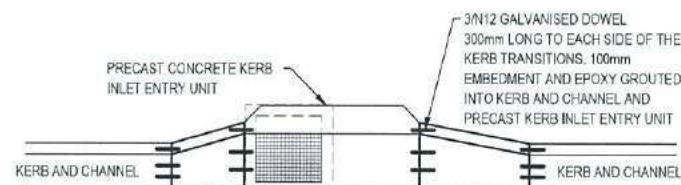
SCALE 1:200

**ROADWORKS DETAILS LEGEND**

- LAYBACK KERB & CHANNEL (TYPE L1)
- BARRIER KERB & CHANNEL (TYPE B1)

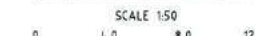
**ROADWORKS DETAILS NOTES**

1. ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
2. ALL RADII, LEVEL INFORMATION IS TO LIP OF KERB UNLESS NOTED OTHERWISE.



**KERB INLET TRANSITION DETAIL**

SCALE 1:50



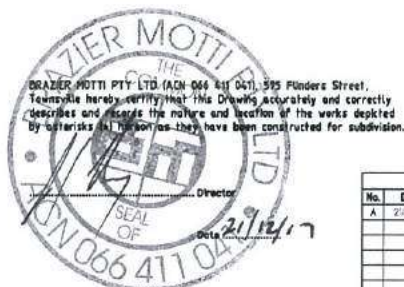
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MENDI CONSTRUCTIONS PTY LTD DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

DIRECTOR  
DATE 1.7.18

PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

RPEQ  
DATE 2.1.18



No.	Date	Details	Check
A	2/12/17	ASCONSTRUCTED ISSUE	

Level Datum: MVD (PERMVD)  
B.M. Used: PSM12992  
Coordinate Projection:  
Coordinate Datum:  
Origin of Coordinate: PSM12992  
Meridian:  
Map Reference:  
Contour Interval:  
Job No: 27001-170-04  
File No: 27001-170-04G  
Surveyed by: JM

CLIENT:	PARKSIDE DEVELOPMENT PTY LTD
Project:	COSGROVE - STAGE 204 COSGROVE DRIVE, COSGROVE ROADWORKS DETAILS PLAN
Parish of:	Coorambah
Local Authority:	Townsville City Council
County of:	Edmondstone
Locality:	Townsville

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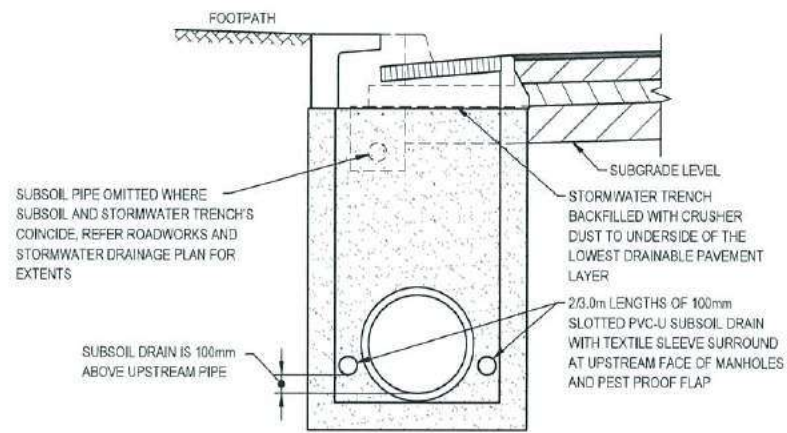
Date: 21st December 2017  
Sheet: 1 of 1 Sheets  
Scale: AS SHOWN  
Plan No: 27001/170 A

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**STORMWATER NOTES**

1. ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
2. STRUCTURE LENGTH IS TO CENTRE OF MANHOLE OR CENTRE OF STANDARD KERB INLET CHAMBER.
3. FOR STORMWATER ALIGNMENT, REFER TO STORMWATER LAYOUT DRAWING.
4. ALL RCP DRAINAGE PIPES FLUSH JOINTED WITH EXTERNAL RUBBER BAND, UNLESS NOTED OTHERWISE.
5. ALL uPVC DRAINAGE PIPES RUBBER RING JOINTED CONFORMING TO AS1254.
6. ALL POLYPROPYLENE DRAINAGE PIPES IN ACCORDANCE WITH AS5065.
7. PIPE CLASS: (P) - POLYPROPYLENE



TYPICAL SUBSURFACE DRAIN - STORMWATER MANHOLES

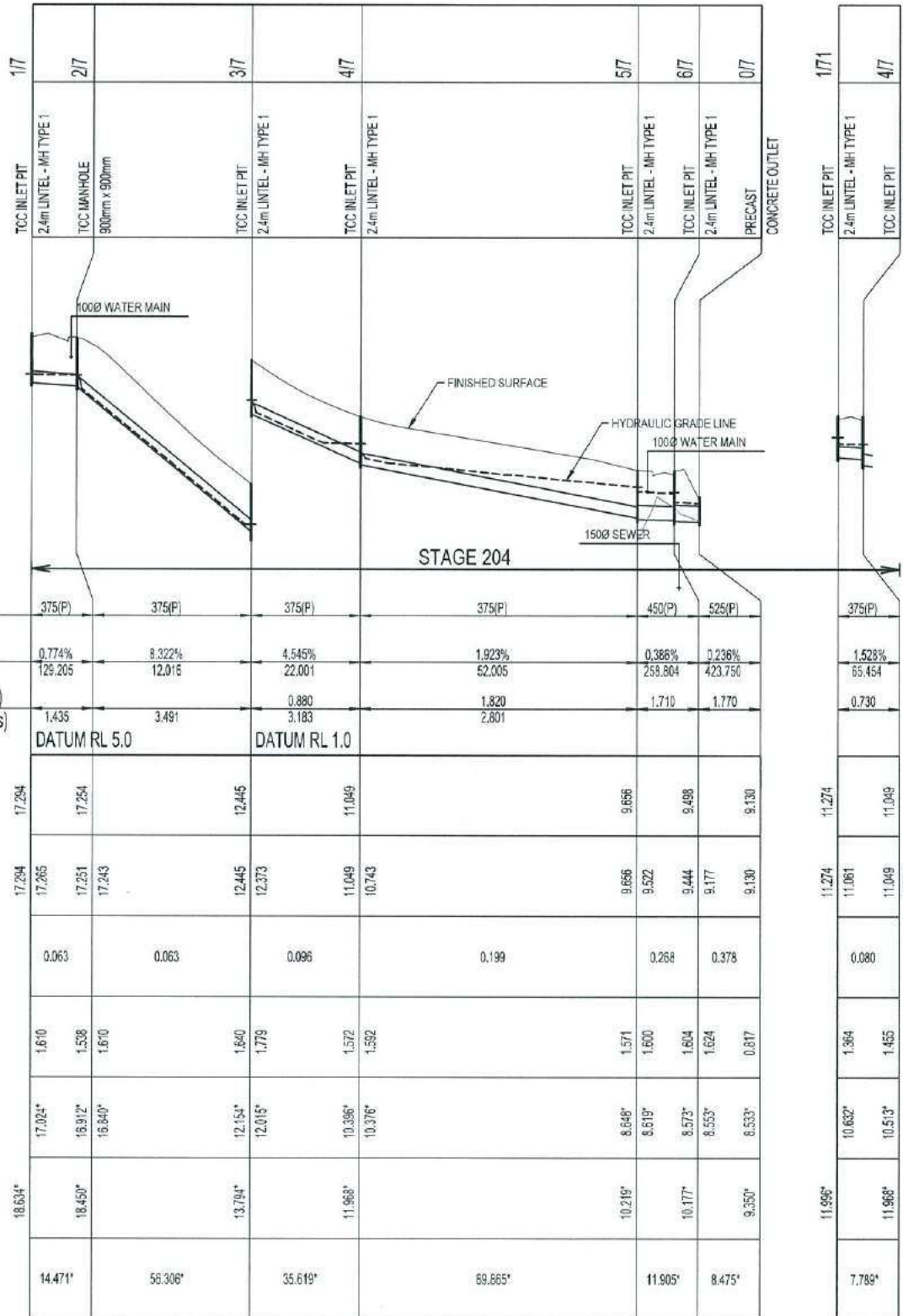
SCALE 1:20

STRUCTURE NAME
STRUCTURE DESCRIPTION

PIPE SIZEmm (Class)	375(P)	375(P)	375(P)	375(P)	450(P)	525(P)	375(P)
PIPE GRADE %	0.774%	8.322%	4.545%	1.923%	0.386%	0.236%	1.528%
PIPE SLOPE 1 in X	129.205	12.016	22.001	52.005	258.804	423.750	65.454
FULL PIPE FLOW VELOCITY (m/s)	1.435	3.491	0.880	1.820	1.710	1.770	0.730
PART FULL FLOW VELOCITY (m/s)			3.183	2.801			

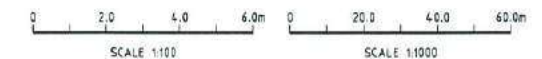
WATER LEVEL IN STRUCTURE	17.294	17.254	12.445	11.049	9.656	9.488	9.130	11.274	11.049								
HYDRAULIC GRADE LEVEL	17.294	17.265	17.251	17.243	12.445	12.373	11.049	10.743	9.656	9.522	9.444	9.177	9.130	11.274	11.061	11.049	10.743
PIPE FLOW (Cumecs)	0.063	0.063	0.096	0.199	0.268	0.378	0.080										
DEPTH TO INVERT	1.610	1.538	1.640	1.779	1.571	1.600	1.604	1.624	0.817	1.364	1.455						
INVERT LEVEL OF DRAIN	17.024*	16.912*	16.840*	12.154*	12.016*	10.396*	10.376*	8.646*	8.619*	8.673*	8.653*	8.533*	10.632*	10.632*	10.513*		
FINISHED SURFACE LEVEL	18.634*	18.450*	13.794*	11.968*	10.219*	10.177*	9.350*	11.966*	11.966*								
PIPE LENGTH	14.471'	58.306'	35.619'	69.665'	11.905'	8.475'	7.789'										

LINE



**Q2 STORMWATER LONGITUDINAL SECTION**

SCALE 1:100 VERTICAL, SCALE 1:1000 HORIZONTAL



MENDI CONSTRUCTIONS PTY LTD DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

DIRECTOR  
DATE 17/1/18

PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

RPEQ  
DATE 18.1.18

BRAZIER MOTTI PTY LTD (ACN 066 411 051) (Under Seal)  
Townsville hereby certifies that this Drawing accurately and correctly describes and records the nature and location of the works depicted by contours (where shown) as they have been constructed for subdivision.



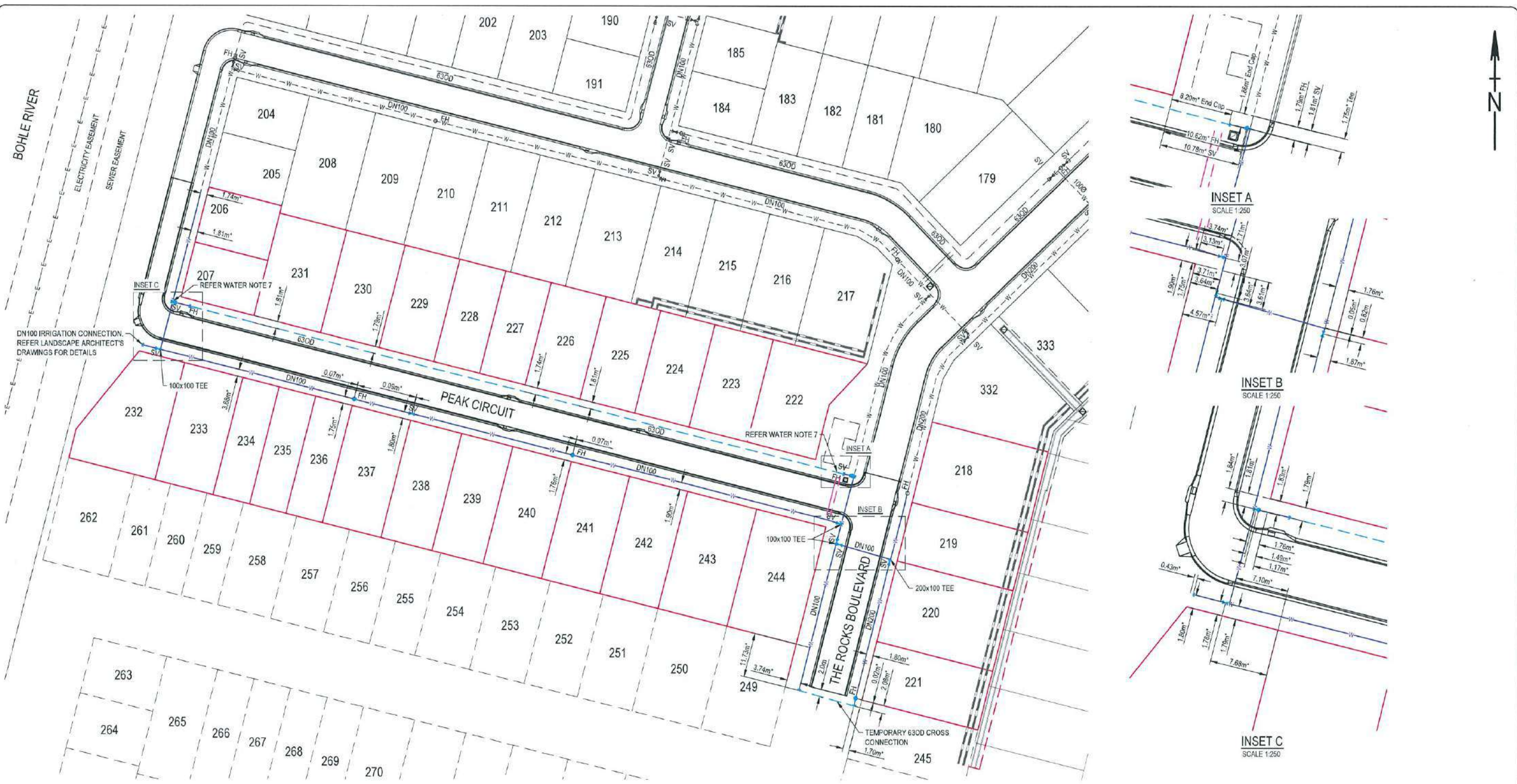
No.	Date	Details	Check
A	21/12/2017	AS-CONSTRUCTED 6/16	

Level Datum: AHD (DERIVED)  
B.M. Used: PSM127952  
Coordinate Projection:  
Coordinate Datum:  
Origin of Coordinates: PSM127952  
Meridian:  
Map Reference:  
Contour Interval:  
Job No: 27001-171-A1  
File No: 27001\_171A-046  
Surveyed by: SM

Drawn: N.M.  
Approved:

CLIENT: PARKSIDE DEVELOPMENT PTY LTD  
Project: COSGROVE - STAGE 204  
COSGROVE DRIVE, COSGROVE  
Q2 STORMWATER LONGITUDINAL SECTION  
Parish of: Coorambah  
Local Authority: Townsville City Council  
County of: Oronsaye  
Locality: Townsville

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DN100 IRRIGATION CONNECTION. REFER LANDSCAPE ARCHITECT'S DRAWINGS FOR DETAILS

INSET C  
REFER WATER NOTE 7

INSET A  
REFER WATER NOTE 7

INSET A  
SCALE 1:250

INSET B  
SCALE 1:250

INSET C  
SCALE 1:250

**WATER LEGEND**

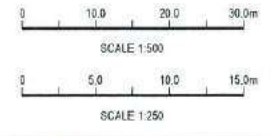
- DN100 ——— WATER MAIN AND DIAMETER
- 630D ——— POLYETHYLENE WATER MAIN AND DIAMETER
- FH — SV — FIRE HYDRANT, VALVE AND REDUCER
- W — V — W — EXISTING WATER MAIN, VALVE AND HYDRANT
- E — E — E — EXISTING OVERHEAD POWERLINE

**WATER NOTES**

1. ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND PROJECT SPECIFICATION.
2. ALL WATER MAINS ARE LOCATED ON A 1.8m ±0.1m ALIGNMENT OFFSET FROM PROPERTY BOUNDARIES, UNLESS NOTED OTHERWISE.
3. ALL uPVC MAINS ARE CLASS PN16 SERIES 2 COMPATIBLE TO AS 1477 RUBBER RING JOINTED, WITH SOCKETED DIOL FITTINGS UNLESS NOTED OTHERWISE.
4. ALL 630D MAINS POLYETHYLENE CLASS PN16 TO AS 4130.
5. ALL TRENCHES UNDER ROAD PAVEMENT (INCLUDING FUTURE) BACKFILLED WITH CRUSHER DUST TO SUBGRADE LEVEL. REFER PROJECT SPECIFICATION FOR COMPACTION AND COMPLIANCE TESTING REQUIREMENTS.
6. CONNECTION TO EXISTING WATER MAINS CARRIED OUT BY COUNCIL AT THE CONTRACTOR'S EXPENSE.
7. REFER TO STANDARD DRAWING SD-315 FOR PVC TO PE SERVICE MAIN CONNECTION DETAIL.

**IRRIGATION CONDUITS LEGEND**

- DN100 CONDUIT
- DN150 CONDUIT



MENDI CONSTRUCTIONS PTY LTD DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.



DIRECTOR  
DATE: 1/1/18

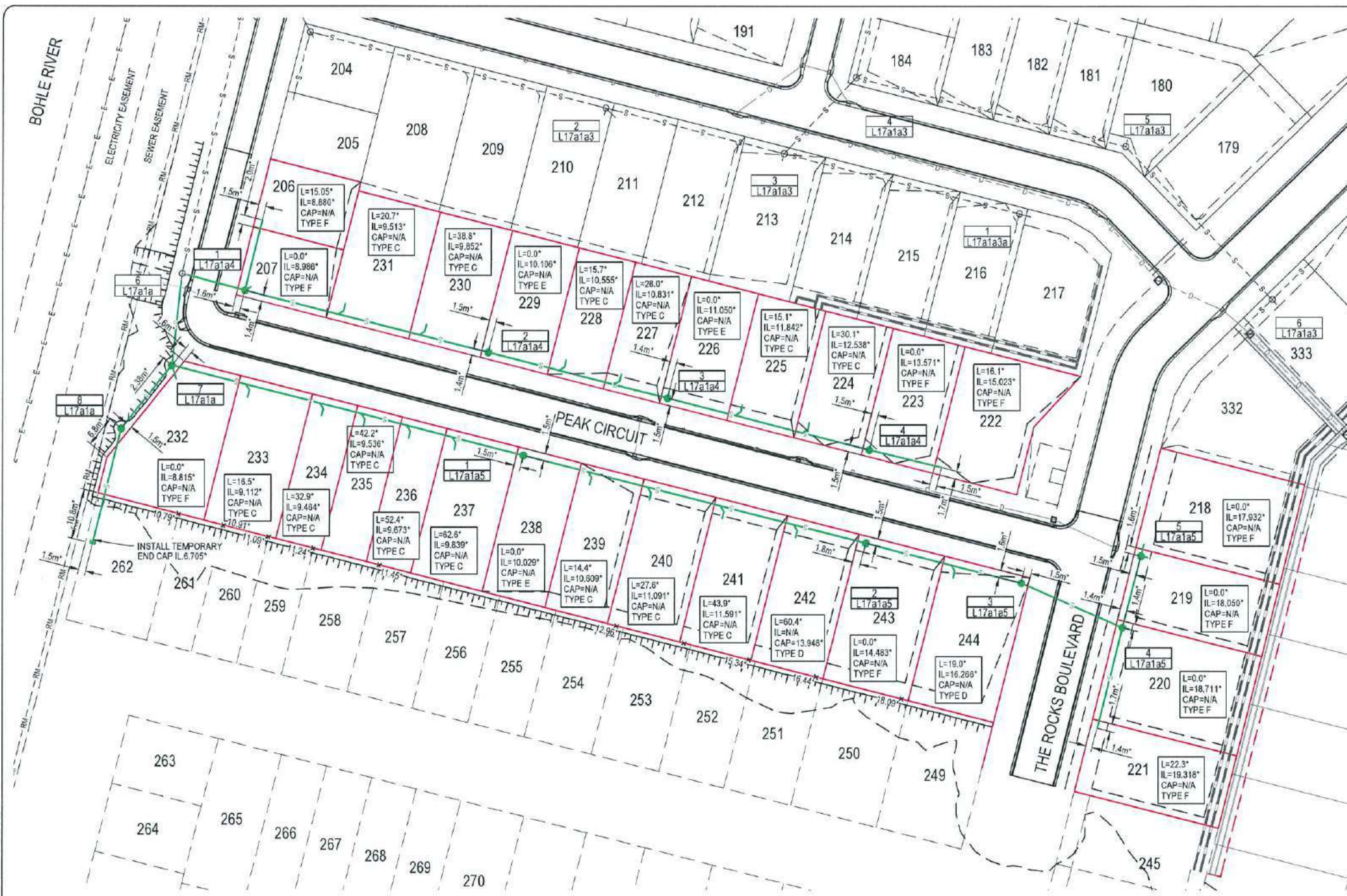
RPEQ  
DATE: 18.1.18

No.	Date	Details	Check
A	2/12/2017	AS-CONSTRUCTED TO SCALE	

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 B.M. Used: P54157952  
 Coordinate Projection:  
 Coordinate Datum:  
 Origin of Coordinates: P53M27952  
 Meridian:  
 Map Reference:  
 Contour Interval:  
 Job No: 27001-172-A-01  
 File No: 27001\_172A-01g  
 Surveyed by: BM

CLIENT: PARKSIDE DEVELOPMENT PTY LTD  
 Project: COSGROVE - STAGE 204  
 COSGROVE DRIVE, COSGROVE  
 WATER RETICULATION PLAN  
 Parish of: Comondale  
 Local Authority: Townsville City Council  
 County of: Liverpool  
 Locality: Townsville

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 Sheet 1 of 1 Sheets  
 Scale: AS SHOWN  
 Plan No: 27001/172 A  
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 CAIRNS | MACKAY  
 Locality: Townsville



**SEWER LEGEND**

- STORMWATER DRAINAGE LINE
  - EXISTING OVERHEAD POWERLINE
  - EXISTING RISING MAIN
  - SEWER MAIN AND MANHOLE (MH)
  - SEWER MAIN AND MAINTENANCE SHAFT (MS)
  - DN100 SEWER HOUSE DRAIN
  - EXISTING SEWER MAIN AND MANHOLE
  - MH.6.57' / 1 / ML 041
  - L=3.0' / IL=5.160' / CAP=N/A / TYPE D
  - L=3.0' / IL=5.160' / CAP=N/A / TYPE D
- CERTIFIED TYPE & INDICATIVE TOP OF MANHOLE LEVEL MANHOLE NUMBER LINE NUMBER
- HOUSE CONNECTION (X&Y DIMENSIONS AS PER RELEVANT COUNCIL STANDARD DRAWING U.N.O.)
- CERTIFIED DISTANCE FROM DOWNSTREAM MANHOLE CERTIFIED INVERT LEVEL OF HOUSE CONNECTION POINT CERTIFIED LEVEL OF CAP FOR 'TYPE D' CONNECTION HOUSE CONNECTION TYPE
- TYPE A - ACROSS BOUNDARY 'SLOPE DROP'
- TYPE B - ACROSS BOUNDARY 'JUMP UP'
- TYPE C - WITHIN LOT 'DIRECT CONNECTION'
- TYPE D - WITHIN LOT 'JUMP UP'
- TYPE E - MANHOLE 'DIRECT CONNECTION'
- TYPE F - MANHOLE 'INTERNAL DROP'
- TYPE G - MAINTENANCE SHAFT CONNECTION
- TYPE EX - EXISTING HOUSE CONNECTION

**SEWER NOTES**

1. ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND PROJECT SPECIFICATION
2. ALL SEWERAGE MAINS LOCATED ON 1.5m ±0.1m ALIGNMENT OFFSET FROM THE PROPERTY BOUNDARIES, UNLESS NOTED OTHERWISE.
3. ALL SEWERAGE MAINS DN150, UNLESS NOTED OTHERWISE.
4. ALL DN150 AND DN225 SEWERAGE MAINS uPVC DWV S/NB, UNLESS NOTED OTHERWISE.
5. ALL DN100 HOUSE DRAINS uPVC DWV S/NB, UNLESS NOTED OTHERWISE. (MAXIMUM LENGTH 10.0m)
6. ALL TRENCHES UNDER ROAD PAVEMENT (INCLUDING FUTURE) BACKFILLED WITH CRUSHER DUST TO SUBGRADE LEVEL.
7. CONNECTIONS/ALTERATIONS TO EXISTING SEWERAGE INFRASTRUCTURE CARRIED OUT BY COUNCIL AT THE CONTRACTORS EXPENSE.
8. ALL MANHOLE INTERNAL DROP 'CORES' ARE NOT LOCATED WITHIN 150mm OF PRECAST WALL JOINTS.
9. FOR SEWER LEVELS, PIPE LENGTHS, DIAMETERS AND STRUCTURE TYPES, REFER SEWER LONGITUDINAL DRAWINGS.
10. TOP OF MANHOLE LEVELS PROVIDED ARE INDICATIVE, REFER TOC STANDARD DRAWING SD-475 FOR FINISHED LEVELS OF MANHOLE COVERS.

MENDI CONSTRUCTIONS PTY LTD DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

BRAZIER MOTTI PTY LTD IACN 066 411 041 395 Flinders Street, Townsville hereby certify that this Drawing accurately and correctly depicts and records the nature and location of the works depicted by statistics in person as they have been constructed for subdivision.

DIRECTOR  
DATE 17/1/18

RPEQ  
DATE 15.1.18



Revisions		Level Datum: AHD (DERIVED)	
No.	Date	Details	Check
A	2/12/2017	AS CONSTRUCTED EDGE	

B.M. Used: PSM127952  
 Coordinate Projection:  
 Origin of Coordinates: PSMA127952  
 Meridian:  
 Map Reference:  
 Contour Interval:  
 Job No: 27001-173-01  
 File No: 27001\_173A.dwg  
 Surveyed by: BM

CLIENT: PARKSIDE DEVELOPMENT PTY LTD	
Project: COSGROVE - STAGE 204 COSGROVE DRIVE, COSGROVE SEWERAGE RETICULATION PLAN	
Parish of: Cooksland	County of: Charters Towers
Local Authority: Townsville City Council	Locality: Townsville

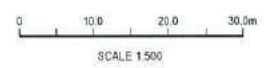
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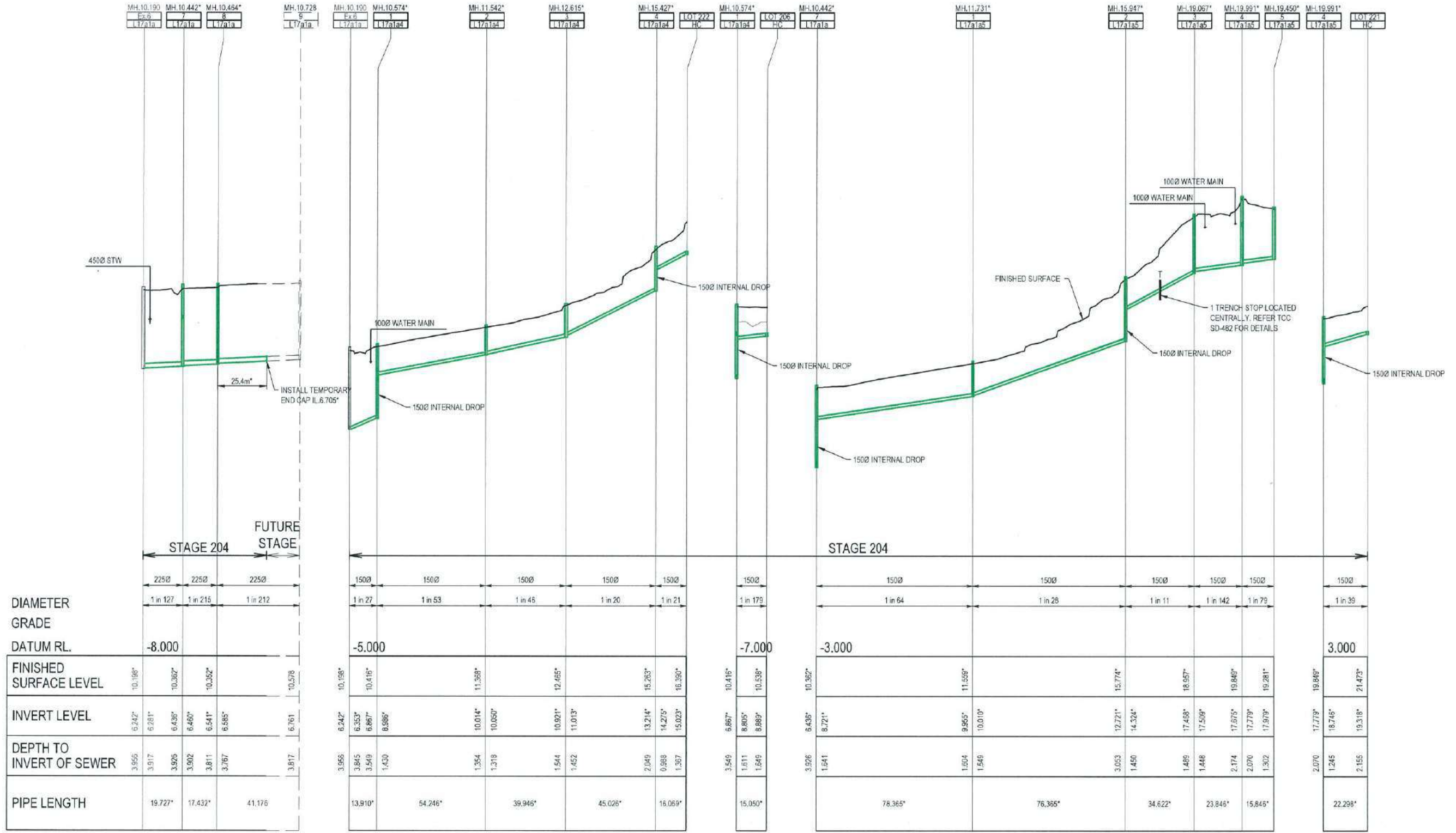
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Sheet: 1 of 1 Sheets  
Scale: AS SHOWN  
Plan No: 27001/173 A

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DIAMETER	GRADE	DATUM RL.
2250	1 in 127	-8.000
2250	1 in 215	-8.000
2250	1 in 212	-8.000

FINISHED SURFACE LEVEL	INVERT LEVEL	DEPTH TO INVERT OF SEWER	PIPE LENGTH
10.198*	6.242*	3.956	19.727*
10.362*	6.281*	3.917	17.432*
10.352*	6.436*	3.926	41.176
	6.460*	3.902	
	6.541*	3.811	
	6.585*	3.767	
10.578	6.761	3.817	

DIAMETER	GRADE	DATUM RL.
1500	1 in 27	-5.000
1500	1 in 53	-5.000
1500	1 in 45	-5.000
1500	1 in 20	-5.000
1500	1 in 21	-5.000

FINISHED SURFACE LEVEL	INVERT LEVEL	DEPTH TO INVERT OF SEWER	PIPE LENGTH
10.198*	6.242*	3.956	13.910*
10.416*	6.353*	3.845	54.246*
11.358*	6.867*	3.549	39.946*
	8.986*	1.430	
12.465*	10.014*	1.354	45.026*
	10.050*	1.318	
	10.921*	1.544	
	11.013*	1.452	
15.263*	13.214*	2.049	16.069*
16.390*	14.275*	9.988	
	15.023*	1.367	

DIAMETER	GRADE	DATUM RL.
1500	1 in 179	-7.000
1500	1 in 64	-3.000
1500	1 in 28	-3.000
1500	1 in 11	-3.000
1500	1 in 142	-3.000
1500	1 in 79	-3.000
1500	1 in 39	3.000

FINISHED SURFACE LEVEL	INVERT LEVEL	DEPTH TO INVERT OF SEWER	PIPE LENGTH
10.416*	6.867*	3.549	15.050*
10.538*	8.805*	1.611	
	8.889*	1.549	
10.352*	8.438*	3.926	78.365*
	8.721*	1.641	
11.559*	9.955*	1.604	76.365*
	10.010*	1.549	
15.774*	12.771*	3.053	34.622*
	14.324*	1.450	
18.957*	17.459*	1.489	23.846*
	17.509*	1.448	
19.849*	17.675*	2.174	15.845*
	17.779*	2.070	
19.281*	17.979*	1.302	
19.849*	17.779*	2.070	
21.473*	19.318*	1.245	22.298*
	18.746*	2.155	

**SEWERAGE LONGITUDINAL SECTIONS**  
SCALE 1:100 VERTICAL, SCALE 1:1000 HORIZONTAL

MENDI CONSTRUCTIONS PTY LTD DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

BRAZIER MOTTI PTY LTD IACH 044 411 061, 395 Flinders Street, Townsville hereby certifies that this Drawing accurately and correctly describes and records the nature and location of the works depicted by asterisks (\*) herein as they have been constructed for subdivision.

DIRECTOR  
DATE 17/11/14

RPEQ  
DATE 12.1.18



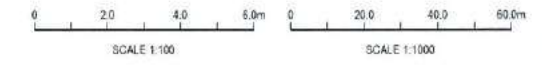
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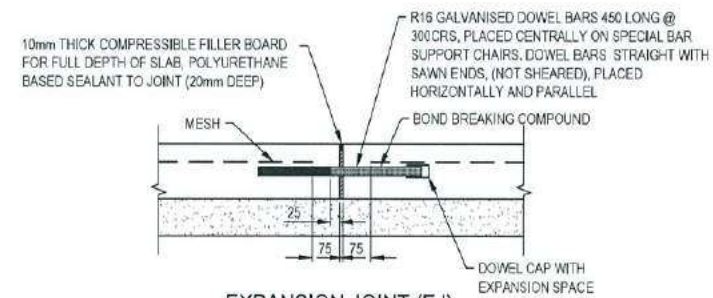
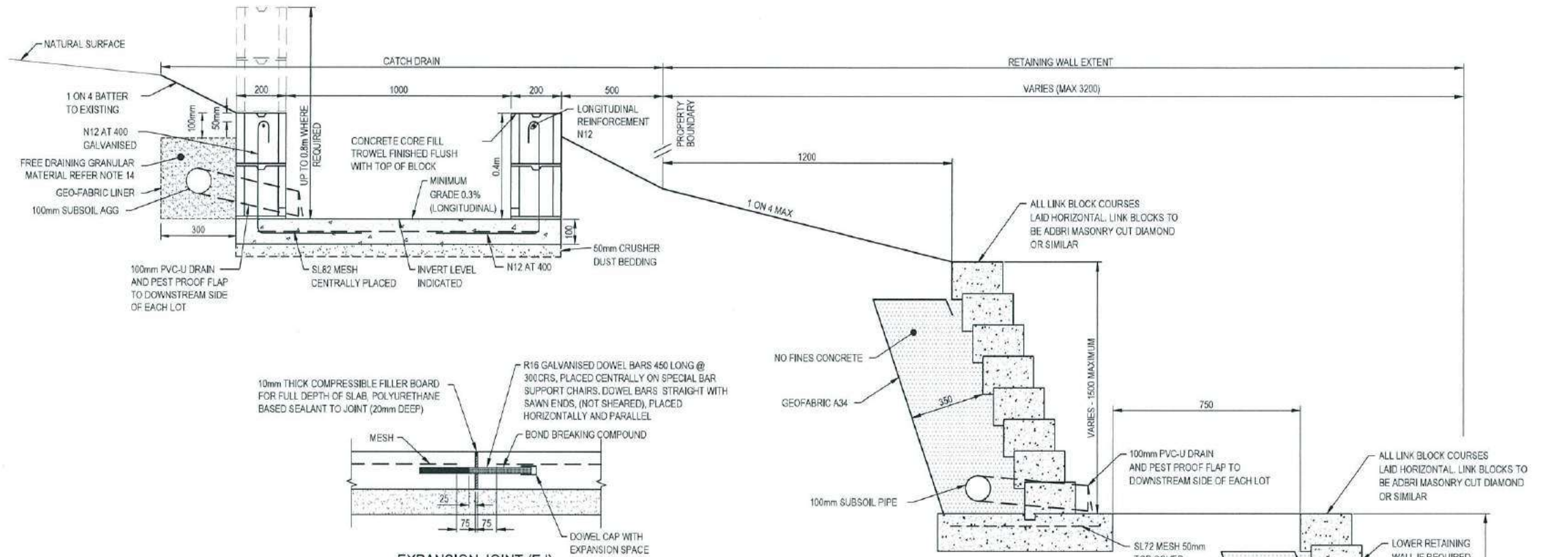
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E.M. Used: PSM127952  
Coordinate Projection:  
Coordinate Datum:  
Origin of Coordinates: PSM127952  
Meridian:  
Map Reference:  
Colour Interval:  
Job No: 27001/174-01  
File No: 27001/174-01g  
Surveyed by: IM

Drawn: M.M.  
Approved:

CLIENT: PARKSIDE DEVELOPMENT PTY LTD  
Project: COSGROVE - STAGE 204  
COSGROVE DRIVE, COSGROVE  
SEWERAGE LONGITUDINAL SECTIONS  
Parish of: Cassowary  
Local Authority: Townsville City Council  
County of: Enderbury  
Locality: Townsville

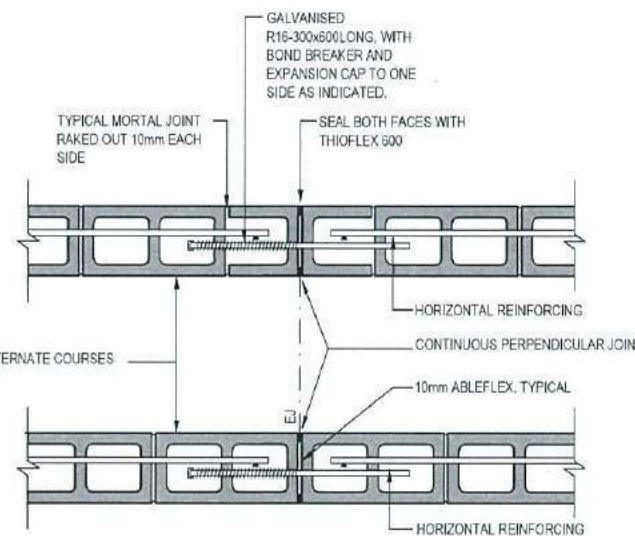
**brazier motti**  
1300 267 878  
www.braziermotti.com.au  
TOWNVILLE | AFR  
CAIRNS | MACKAY  
Date: 21st December 2017  
Sheet 1 of 1 Sheets  
Scale: AS SHOWN  
Plan No: 27001/174 A  
surveying | town planning | project management | mapping and GIS



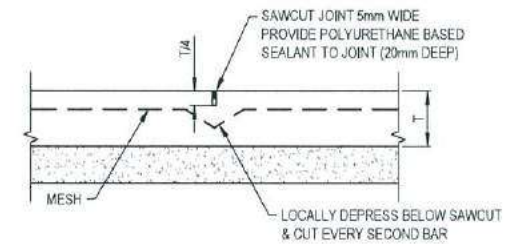


EXPANSION JOINT (EJ)  
SCALE 1:10  
NOTE: MAXIMUM JOINT SPACING 12.0m FOR DRAIN SLAB AND DRAIN WALLS

TYPICAL SECTION A  
LINK BLOCK WALL DETAIL  
NTS



MASONRY DRAIN WALL - CONTROL JOINT DETAIL  
SCALE 1:20  
(JOINTS AT MAXIMUM 12m CENTRE SPACINGS)



SAW CUT JOINT (SJ)  
SCALE 1:10  
NOTE: MAXIMUM JOINT SPACING 6.0m,  
T = SLAB THICKNESS

**NOTES**

- ALL DIMENSIONS ARE IN MILLIMETRES U.N.O.
- ALL WORKMANSHIP AND MATERIALS IN ACCORDANCE WITH AS 2870 AND AS 3600.
- MASONRY WORK TO AS 3700 AND AS 4455.
- CONCRETE SHALL HAVE THE FOLLOWING PROPERTIES:
  - FOOTINGS
 

4.1.1. CLASS & GRADE	N32
4.1.2. MAXIMUM SLUMP(mm)	80
4.1.3. AGGREGATE SIZE(mm)	20
  - MASONRY
 

4.2.1. CLASS & GRADE	S20
4.2.2. MAXIMUM SLUMP(mm)	230
4.2.2. AGGREGATE SIZE(mm)	16
- CLEAR COVER TO REINFORCEMENT PROVIDED BY APPROVED CHAIRS, SPACERS OR TIES AS REQUIRED TO PROVIDE ADEQUATE SUPPORT AS FOLLOWS:
  - BARS 16 AND LESS AND FABRIC - 1000 CRS
  - BARS 20 AND OVER 1200 CRS
- CLEAR COVER TO REINFORCEMENT:
 

6.1. LOCATION	FOOTINGS
6.2. CLASSIFICATION	A2
6.3. COVER(mm)	50
- CURE CONCRETE IN ACCORDANCE WITH AS 3600 FOR 7 DAYS.
- ALL N BARS N BAR GRADE 500.
- ALL MASONRY CAVITIES FULLY CORE FILLED.
- RETAINING WALLS HAVE BEEN DESIGNED FOR A MAXIMUM OF 5kPa LIVE LOAD SURCHARGE.
- FOUNDATIONS HAVE A MIN 150kPa ALLOWABLE BEARING CAPACITY. CONTRACTOR TO CONFIRM ON SITE.
- ALL BASE SLAB STARTER BARS ARE GALVANISED.
- Ø100 SUBSOIL AGG. DRAIN. WRAP IN GEOTEXTILE FILTER FABRIC.
- BACK FILL WITH Ø20 WASHED, 300 WIDE COMPACTED FREE DRAINING GRANULAR FILL UP TO 300 BELOW TOP OF WALL. GEO-FABRIC SEPARATION BETWEEN IN-SITU MATERIAL AND DRAINAGE MATERIAL.
- DRAIN (SLAB) SAWCUT JOINTS (SJ) AT 6M SPACINGS.
- MASONRY DRAIN WALL CONTROL JOINTS AT 12M SPACINGS TO COINCIDE WITH DRAIN SLAB EXPANSION JOINTS AT 12M CENTRES.

MENDI CONSTRUCTIONS PTY LTD DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

DIRECTOR  
DATE 17/11/18

RPEQ  
DATE 18/11/18

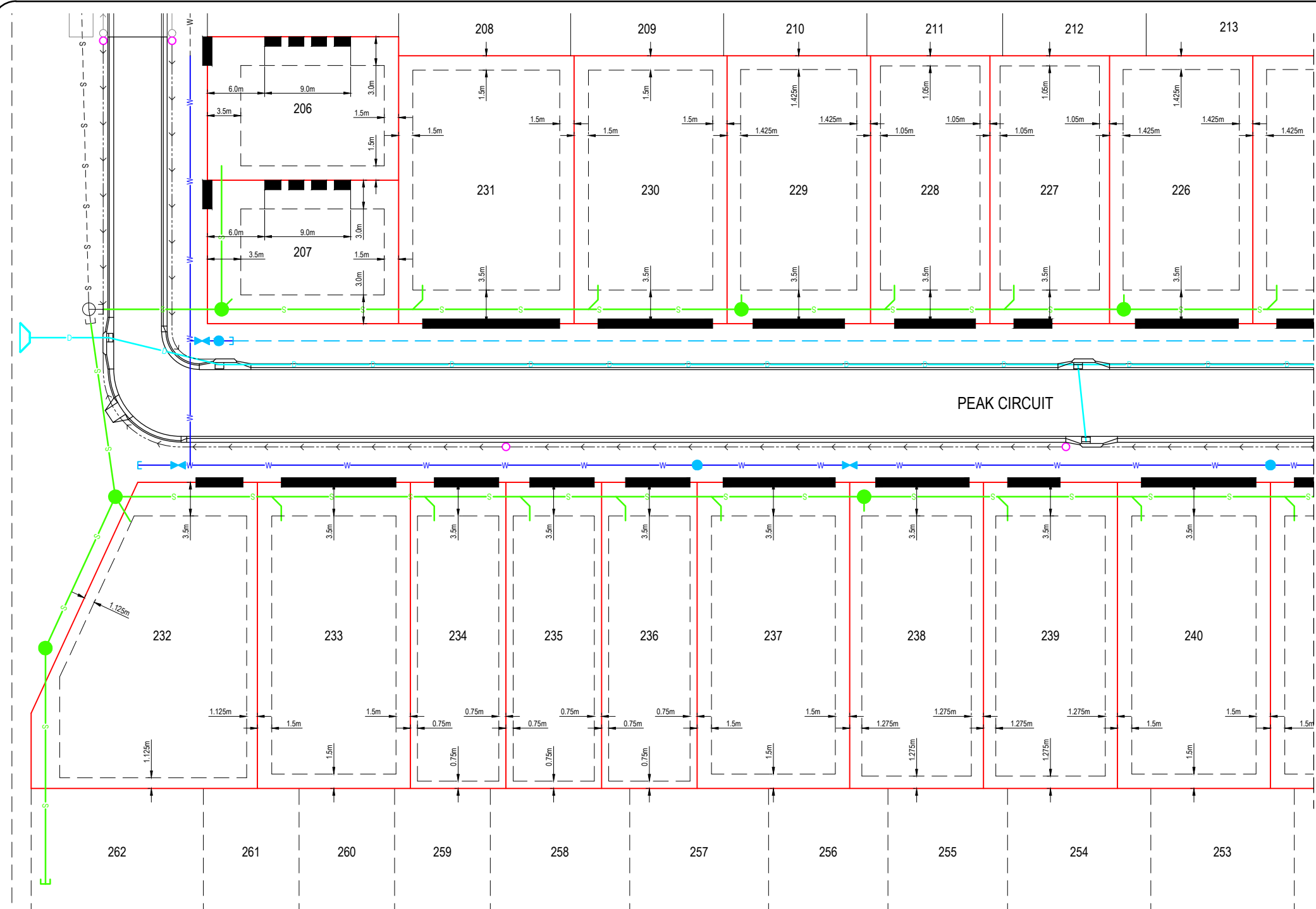
No.	Date	Details	Check
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Level Datum: AHD (DERIVED)  
B.M. Used: PSM127502  
Coordinate Projection:  
Origin of Coordinates: PSM127502  
Vertical:  
Map Reference:  
Contour Interval:  
Job No: 27001-136-01  
File No: 27001\_175A.dwg  
Surveyed by: SM

Drawn: NJM  
Approved:

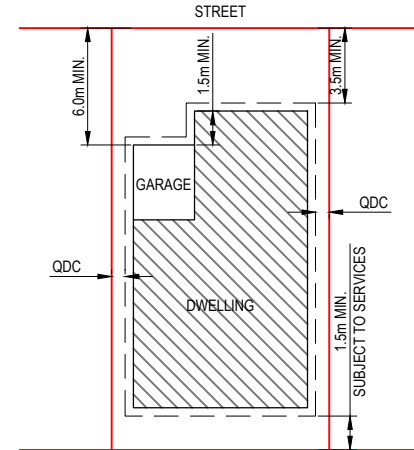
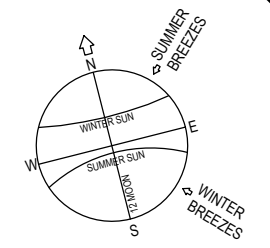
CUSTOMER: PARKSIDE DEVELOPMENT PTY LTD  
Project: COSGROVE - STAGE 204  
COSGROVE DRIVE, COSGROVE  
MISCELLANEOUS DETAILS PLAN  
Parish of: Cosgrove  
Local Authority: Townsville City Council

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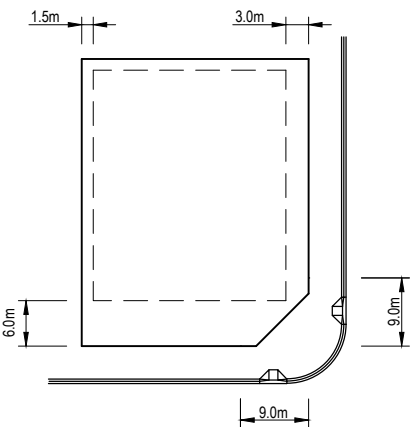


**CORNER SIGHT LINES**

1. COMPLY WITH SIGHT LINES REQUIREMENT OF THE QUEENSLAND DEVELOPMENT CODE ON ROAD CORNERS. THIS IS TYPICALLY A 9m x 9m EXCLUSION ZONE BASED ON BOUNDARIES. FOR CLIPPED CORNERS AND LOTS WITH PARK FRONTAGES TYPICALLY THIS IS A 18m x 18m EXCLUSION ZONE BASED ON THE EDGE OF THE TRAFFIC LANE. REAR ACCESS LANES ARE EXEMPTED FROM THIS REQUIREMENT.



**TYPICAL SETBACK REQUIREMENTS**  
NTS



**STANDARD BUILDING SETBACK**  
NTS

**NOTES:**

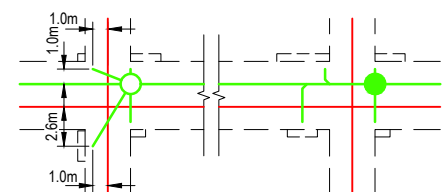
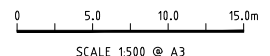
- 60% MAXIMUM SITE COVERAGE.
- FOR FRONT SETBACK TO GARAGE, MEASURE FROM THE FRONT BOUNDARY TO THE GARAGE OPENING (WALL).
- ALL OTHER SETBACKS ARE MEASURED FROM THE BOUNDARY TO THE OUTERMOST PROJECTION.

**DESIGN CODE - ALL ALLOTMENTS**

TYPE	HOUSE, FRONT LOADED
LOT ACCESS	FRONT
LOT DEPTH (MIN)	25m (20m WHERE 15m WIDTH PROPOSED)
LOT WIDTH (MIN)	10.0m
SITE COVERAGE	MAY EXCEED 50% IN RESPONSE TO CODE REQUIREMENTS, BUT NO MORE THAN 60% SITE COVERAGE.
SETBACK FRONT GROUND (MIN) AND UPPER (MIN)	3.5m
SETBACK FRONT GARAGE	6m AND 1.5m BEHIND FRONT OF DWELLING
SETBACK PRINCIPAL SIDE GROUND (MIN)	QDC
SETBACK PRINCIPAL SIDE UPPER (MIN)	QDC
SETBACK SECONDARY ROAD FRONTAGE (MIN)	2m
SETBACK PRINCIPAL REAR (MIN)	1.5m (SEWER LINES AND MANHOLES MAY ENFORCE GREATER SETBACKS)*
OUTBUILDING (SHED) WIDTH (MAX)	LESSER OF 50% OF REAR BOUNDARY OR 9m
OUTBUILDING (SHED) DEPTH (MAX)	9m
OUTBUILDING (SHED) REAR SETBACK	0-1.0m
OUTBUILDING (SHED) SIDE SETBACK	ZERO IF LOT 12.5m WIDE. AS PER PRINCIPAL SETBACK IF LOT >12.5m WIDE
FLOOR HEIGHT PRINCIPAL (MIN)	400mm
MAXIMUM STOREYS	AS PER THE APPLICABLE SCHEME
PRIVATE OPEN SPACE (MIN) (MAY BE COVERED)	4mx4m
PARKING (MIN)	TWO (2), ONE OF WHICH MUST BE COVERED

\*NOTE: CLEARANCES TO SEWER LINES AND MANHOLES ARE REQUIRED IN ACCORDANCE WITH COUNCIL POLICY.

LIGHT POLES & TELSTRA PITS HAVE NOT BEEN SHOWN AS APPROVED PLANS HAVE NOT BEEN RECEIVED TO DATE



**HOUSE CONNECTION DETAIL**

NOTE: MINIMUM 1.0m CLEARANCE FROM END OF SEWER HOUSE CONNECTION TO THE NEAREST POINT OF THE STRUCTURE FOUNDATION OR 2.0m CLEARANCE FROM CONNECTION AT MAIN/CENTRE OF MANHOLE.

**LEGEND**

- ALLOWABLE DRIVEWAY ACCESS
- BUILT TO BOUNDARY GARAGE AS PER QDC
- SEWER MAIN & MANHOLE
- WATER MAIN, FIRE HYDRANT & SLUICE VALVE
- STORMWATER & INLET PIT
- SUBSOIL DRAIN & CLEANOUT POINT
- EXISTING SEWER MAIN & MANHOLE
- EXISTING WATER MAIN
- EXISTING STORMWATER
- BUILDING SETBACK, REFER NOTE 3
- LINK BLOCK RETAINING WALL
- EXISTING LINK BLOCK RETAINING WALL
- EXISTING ERGON SUBSTATION

**DRIVEWAY ACCESS ENVELOPE**

- FOR DRIVEWAY ACCESS ENVELOPE ALLOW 0.5m MINIMUM CLEARANCE TO ALL COUNCIL INFRASTRUCTURE, EXCEPT STORMWATER PITS WHICH REQUIRE 0.6m MINIMUM CLEARANCE AND SEWERAGE HOUSE CONNECTIONS WHICH REQUIRE 1.2m MINIMUM CLEARANCE.
- ALL DRIVEWAYS REQUIRE A PERMIT FROM COUNCIL PRIOR TO CONSTRUCTION.

**ERGON SUBSTATIONS**

- HABITABLE ROOMS REQUIRE A CLEARANCE OF 4m TO ERGON SUBSTATION SITES.

**BUILDING SETBACK**

- "SETBACK" MEANS A LINE OR LINES PARALLEL TO ANY BOUNDARY OF A LOT BEYOND WHICH THE BUILDING OR OTHER STRUCTURE SHALL NOT ENCRDACH, AND MEASURED AS THE SHORTEST HORIZONTAL DISTANCE FROM THE OUTERMOST PROJECTION OF THE BUILDING OR OTHER STRUCTURE TO THE VERTICAL PROJECTION OF THE LOT BOUNDARY (TOWNSVILLE CITY PLAN 2005, PAGE 491).
- THE BUILDING ENVELOPES ARE TO COMPLY WITH THE DESIGN CODE SHOWN ON THIS PLAN. GREATER SETBACKS MAY BE REQUIRED TO ACCOMMODATE THE ZONE OF INFLUENCE OF UNDERGROUND SERVICES AS STATED IN COUNCIL'S POLICY ON BUILDING OVER OR ADJACENT TO SEWERS.
- DIMENSIONS SHOWN ARE QDC GROUND DWELLING ONLY AND DO NOT ACCOUNT FOR BATTERS OR RETAINING WALLS. A SITE INSPECTION IS REQUIRED PRIOR TO COMMENCEMENT OF DESIGN. REFER DESIGN CODE FOR UPPER FLOOR AND GARAGE SETBACKS.

**CONSTRUCTION ISSUE**

REV.	DATE	REVISIONS	REC.	APP.
A	28/06/17	ISSUED FOR CONSTRUCTION		
1	02/06/17	ISSUED FOR OPERATIONAL WORKS APPROVAL		

**ISO 9001**

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**REAL PROPERTY DESCRIPTION:**  
LOT 900 ON SP 267461

DRAWN: G.CAMPBELL  
DESIGNED: G.CAMPBELL  
CHECKED: K.DE LACEY  
PROJECT MANAGER: P.PETERSEN RPEQ 13231

DATUM: AHD (DERIVED)  
PSM 127952  
RL 9.066  
E: 69522.193  
N: 91444.889

PROJECT DIRECTOR: P.PETERSEN

**UDP**  
Excellence Through Partnerships

DALGETY PLACE  
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TOWNSVILLE QLD 4810

Phone: (07) 4772 0666  
Fax: (07) 4772 0668  
Email: main@udpgroup.com.au  
Web: www.udpgroup.com.au

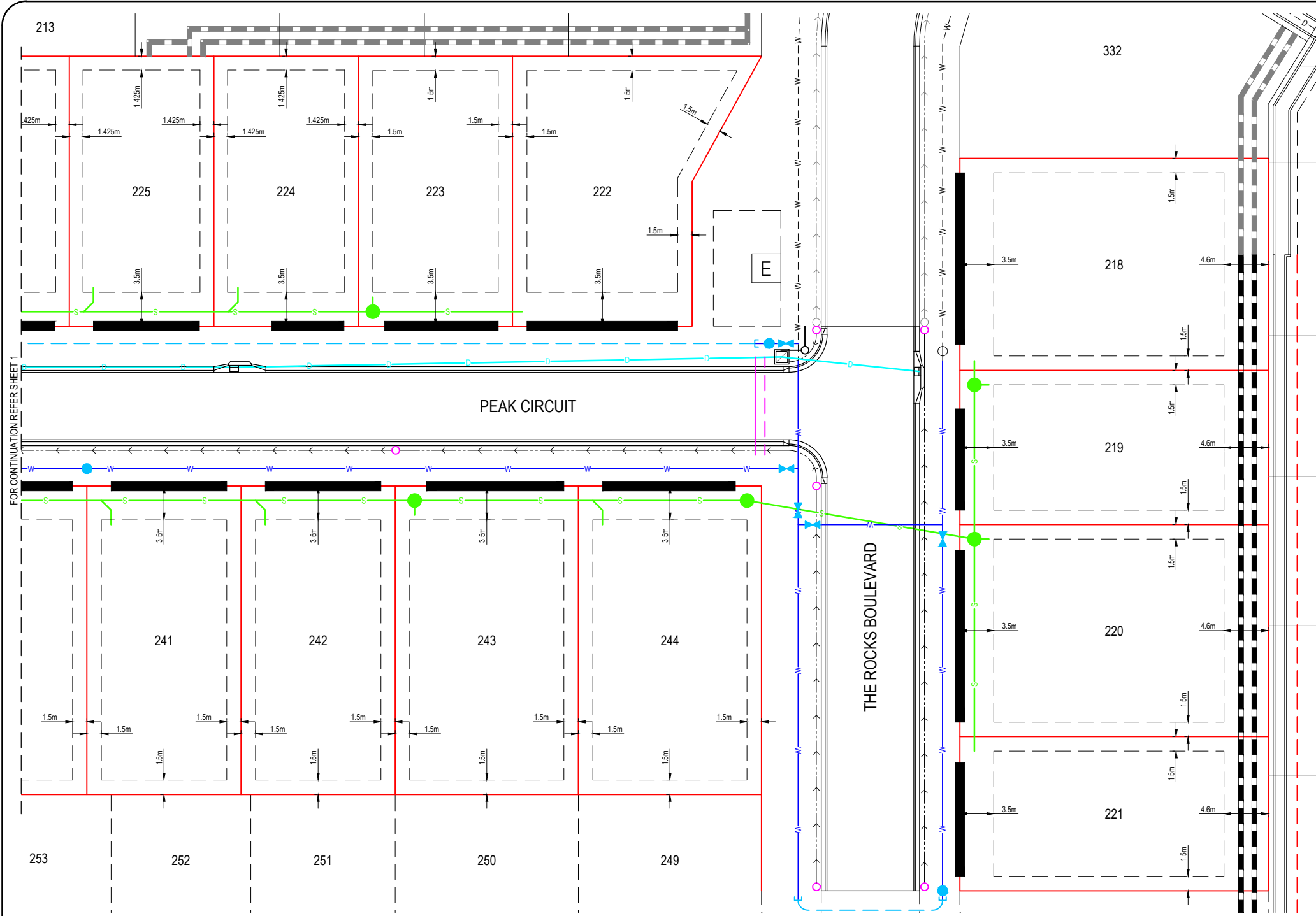
**PARKSIDE DEVELOPMENT PTY LTD**

COSGROVE - STAGE 204  
COSGROVE DRIVE, COSGROVE

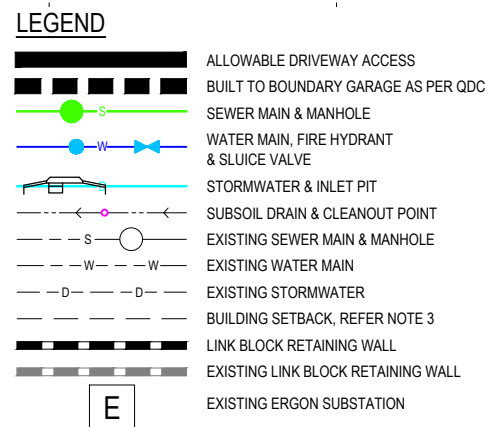
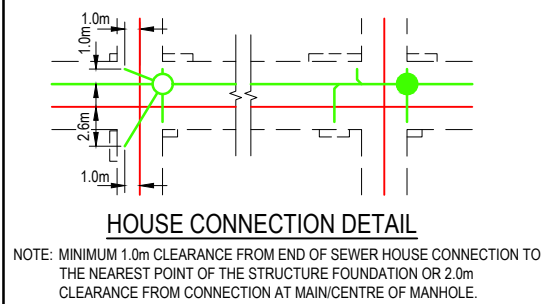
**BUILDING ENVELOPE & DRIVEWAY ACCESS PLAN - SHEET 1 OF 2**

DRAWING SIZE: A3  
SCALE: 1:500  
XREF: PAR-0218-XR-DESIGN

DRAWING NO: PAR-0218-C18  
REV: A



FOR CONTINUATION REFER SHEET 1



**DRIVEWAY ACCESS ENVELOPE**

- FOR DRIVEWAY ACCESS ENVELOPE ALLOW 0.5m MINIMUM CLEARANCE TO ALL COUNCIL INFRASTRUCTURE, EXCEPT STORMWATER PITS WHICH REQUIRE 0.6m MINIMUM CLEARANCE AND SEWERAGE HOUSE CONNECTIONS WHICH REQUIRE 1.2m MINIMUM CLEARANCE.
- ALL DRIVEWAYS REQUIRE A PERMIT FROM COUNCIL PRIOR TO CONSTRUCTION.

**ERGON SUBSTATIONS**

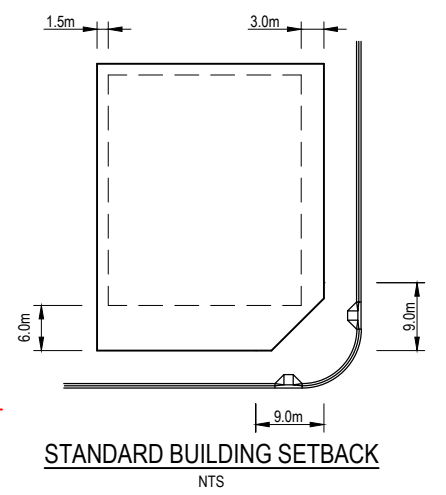
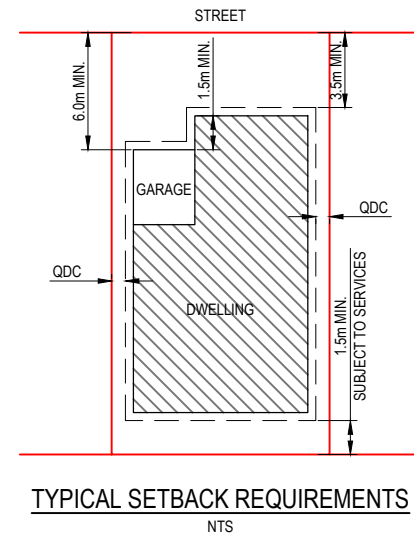
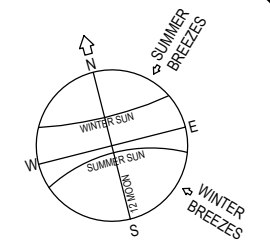
- HABITABLE ROOMS REQUIRE A CLEARANCE OF 4m TO ERGON SUBSTATION SITES.

**BUILDING SETBACK**

- "SETBACK" MEANS A LINE OR LINES PARALLEL TO ANY BOUNDARY OF A LOT BEYOND WHICH THE BUILDING OR OTHER STRUCTURE SHALL NOT ENCROACH, AND MEASURED AS THE SHORTEST HORIZONTAL DISTANCE FROM THE OUTERMOST PROJECTION OF THE BUILDING OR OTHER STRUCTURE TO THE VERTICAL PROJECTION OF THE LOT BOUNDARY (TOWNSVILLE CITY PLAN 2005, PAGE 491).
- THE BUILDING ENVELOPES ARE TO COMPLY WITH THE DESIGN CODE SHOWN ON THIS PLAN. GREATER SETBACKS MAY BE REQUIRED TO ACCOMMODATE THE ZONE OF INFLUENCE OF UNDERGROUND SERVICES AS STATED IN COUNCIL'S POLICY ON BUILDING OVER OR ADJACENT TO SEWERS.
- DIMENSIONS SHOWN ARE QDC GROUND DWELLING ONLY AND DO NOT ACCOUNT FOR BATTERS OR RETAINING WALLS. A SITE INSPECTION IS REQUIRED PRIOR TO COMMENCEMENT OF DESIGN. REFER DESIGN CODE FOR UPPER FLOOR AND GARAGE SETBACKS.

**CORNER SIGHT LINES**

1. COMPLY WITH SIGHT LINES REQUIREMENT OF THE QUEENSLAND DEVELOPMENT CODE ON ROAD CORNERS. THIS IS TYPICALLY A 9m x 9m EXCLUSION ZONE BASED ON BOUNDARIES. FOR CLIPPED CORNERS AND LOTS WITH PARK FRONTAGES TYPICALLY THIS IS A 18m x 18m EXCLUSION ZONE BASED ON THE EDGE OF THE TRAFFIC LANE. REAR ACCESS LANES ARE EXEMPTED FROM THIS REQUIREMENT.



**NOTES:**

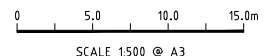
- 60% MAXIMUM SITE COVERAGE.
- FOR FRONT SETBACK TO GARAGE, MEASURE FROM THE FRONT BOUNDARY TO THE GARAGE OPENING (WALL).
- ALL OTHER SETBACKS ARE MEASURED FROM THE BOUNDARY TO THE OUTERMOST PROJECTION.

**DESIGN CODE - ALL ALLOTMENTS**

TYPE	HOUSE, FRONT LOADED
LOT ACCESS	FRONT
LOT DEPTH (MIN)	25m (20m WHERE 15m WIDTH PROPOSED)
LOT WIDTH (MIN)	10.0m
SITE COVERAGE	MAY EXCEED 50% IN RESPONSE TO CODE REQUIREMENTS, BUT NO MORE THAN 60% SITE COVERAGE.
SETBACK FRONT GROUND (MIN) AND UPPER (MIN)	3.5m
SETBACK FRONT GARAGE	6m AND 1.5m BEHIND FRONT OF DWELLING
SETBACK PRINCIPAL SIDE GROUND (MIN)	QDC
SETBACK PRINCIPAL SIDE UPPER (MIN)	QDC
SETBACK SECONDARY ROAD FRONTAGE (MIN)	2m
SETBACK PRINCIPAL REAR (MIN)	1.5m (SEWER LINES AND MANHOLES MAY ENFORCE GREATER SETBACKS)*
OUTBUILDING (SHED) WIDTH (MAX)	LESSER OF 50% OF REAR BOUNDARY OR 9m
OUTBUILDING (SHED) DEPTH (MAX)	9m
OUTBUILDING (SHED) REAR SETBACK	0-1.0m
OUTBUILDING (SHED) SIDE SETBACK	ZERO IF LOT 12.5m WIDE. AS PER PRINCIPAL SETBACK IF LOT >12.5m WIDE
FLOOR HEIGHT PRINCIPAL (MIN)	400mm
MAXIMUM STOREYS	AS PER THE APPLICABLE SCHEME
PRIVATE OPEN SPACE (MIN) (MAY BE COVERED)	4mx4m
PARKING (MIN)	TWO (2), ONE OF WHICH MUST BE COVERED

\*NOTE: CLEARANCES TO SEWER LINES AND MANHOLES ARE REQUIRED IN ACCORDANCE WITH COUNCIL POLICY.

LIGHT POLES & TELSTRA PITS HAVE NOT BEEN SHOWN AS APPROVED PLANS HAVE NOT BEEN RECEIVED TO DATE



CONSTRUCTION ISSUE	
REV	DATE
A	28/06/17
1	02/06/17

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**REAL PROPERTY DESCRIPTION:**  
LOT 900 ON SP 267461  
DRAWN: G.CAMPBELL  
DESIGNED: G.CAMPBELL  
CHECKED: K.DE LACEY  
PROJECT MANAGER: P.PETERSEN RPEQ 13231  
DATUM: AHD (DERIVED)  
PSM 127952  
RL: 9.066  
E: 69522.193  
N: 91444.889  
PROJECT DIRECTOR: P.PETERSEN

**UDP**  
Excellence Through Partnerships  
DALGETY PLACE  
24 DENHAM STREET  
PO BOX 1110  
TOWNSVILLE QLD 4810  
Phone: (07) 4772 0666  
Fax: (07) 4772 0668  
Email: main@udpgroup.com.au  
Web: www.udpgroup.com.au

PARKSIDE DEVELOPMENT PTY LTD		COSGROVE - STAGE 204	
COSGROVE DRIVE, COSGROVE		BUILDING ENVELOPE & DRIVEWAY ACCESS PLAN - SHEET 2 OF 2	
DRAWING SIZE	SCALE	DRAWING NO.	REV
A3	1:500	PAR-0218-C19	A
XREF	PAR-0218-XR-DESIGN		