

NOTES:

- There are no existing or proposed
 - drainage features
 - retaining walls
 - stormwater detention
 - community purposes land
- Easements as shown
- The final intended use of all allotments is for residential except if otherwise marked purposes in accordance with Cosgrove Plan of Development
- There are no buildings or structures over the land relevant to this stage
- Access into each allotment shall be via the road frontage. Specific locations to be determined at time of detailed engineering design and preparation of access envelopes.

DESIGN CODE - ALL ALLOTMENTS

Type	House, Front Loaded
Lot Access	Front
Lot Depth (Min)	25m (20m where 15m width proposed)
Lot Width (Min)	12.5
Site Coverage	May exceed 50% in response to Code Requirements, but no more than 60% Site Coverage.
Setback Front Ground (min) and upper (min)	3.5m
Setback Front Garage	6m and 1.5m behind front of dwelling
Setback Principal Side Ground (min)	QDC
Setback Principal Side Upper (min)	QDC
Setback Secondary Road Frontage (min)	2m
Garage setback Secondary Road Frontage(min)	3.5m
Setback Principal Rear (min)	1.5m (*Sewer lines and manholes may enforce greater setbacks)
Outbuilding (Shed) Width (max)	Lesser of 50% of rear boundary or 9m
Outbuilding (Shed) Depth (max)	9m
Outbuilding (Shed) Rear Setback	0-1.0m
Outbuilding (Shed) Side Setback	Zero if lot 12.5m wide. As per Principal setback if lot >12.5m wide
Floor Height Principal (min)	400mm
Maximum Storeys	As per the Applicable Scheme
Private Open Space (min) (may be covered)	4mx4m
Parking (min)	Two (2), one of which must be covered

*Note: Clearances to sewer lines and manholes are required in accordance with council policy.

This plan is conceptual and for discussion purposes only. All areas, dimensions and land uses are preliminary, subject to investigation, survey, engineering, and Local Authority and Agency approvals.

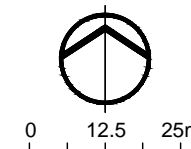
PROPOSED RECONFIGURATION

Lots 179-185, 190-191, 198-205, 208-217, 332-334, and 904
Cancelling Lot 900 on SP264422

Parish of Coonambelah
County of Elphinstone
City of Townsville

CORNER SIGHT LINES

Comply with sight lines requirement of the Queensland Development code on road corners. This is typically a 9m x 9m exclusion zone based on boundaries. For clipped corners, footpaths wider than 4.2m and lots with park frontages typically this is a 18m x 18m exclusion zone based on edge of traffic lane. Rear access lanes are exempted from this requirement.

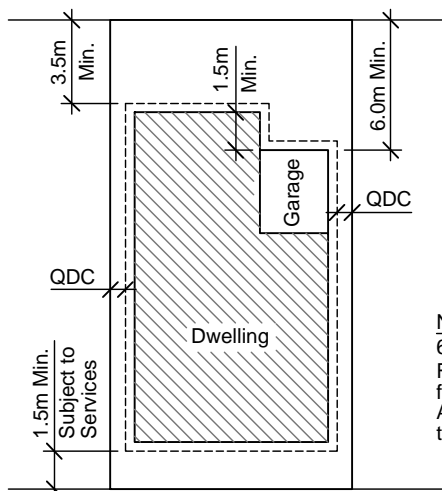
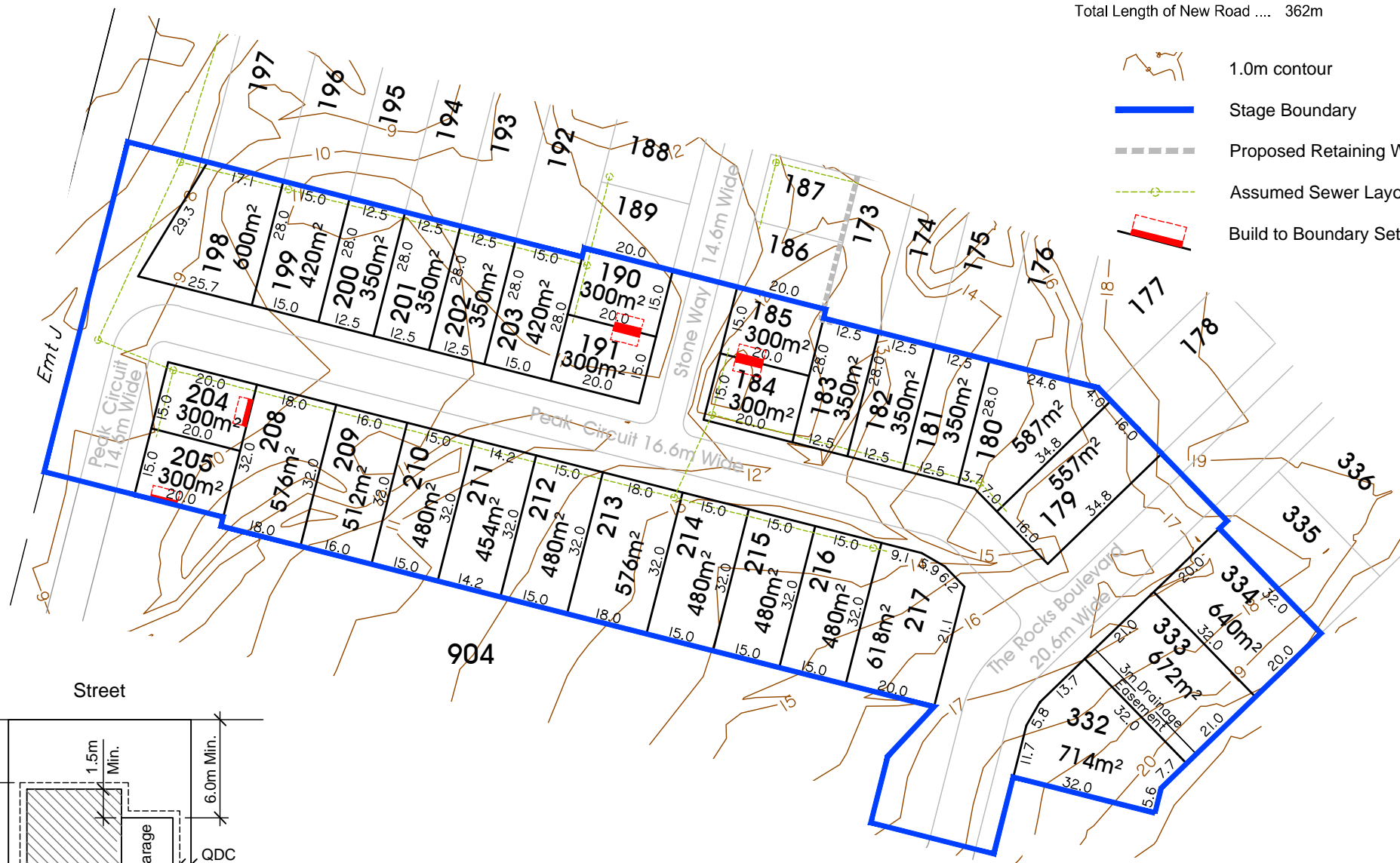


COSGROVE

STAGE 203

Total Stage Area 2.09 ha
Number of Lots 30
Average Lot Area 455m²
Total Length of New Road 362m

- 1.0m contour
- Stage Boundary
- Proposed Retaining Wall
- Assumed Sewer Layout
- Build to Boundary Setback



Note
60% Maximum Site Coverage
For front and secondary front setback to garage, measure from the front boundary to the garage opening (wall). All other setbacks are measured from the boundary to the outermost projection (including carports).

Typical Setback Requirements
Not to Scale



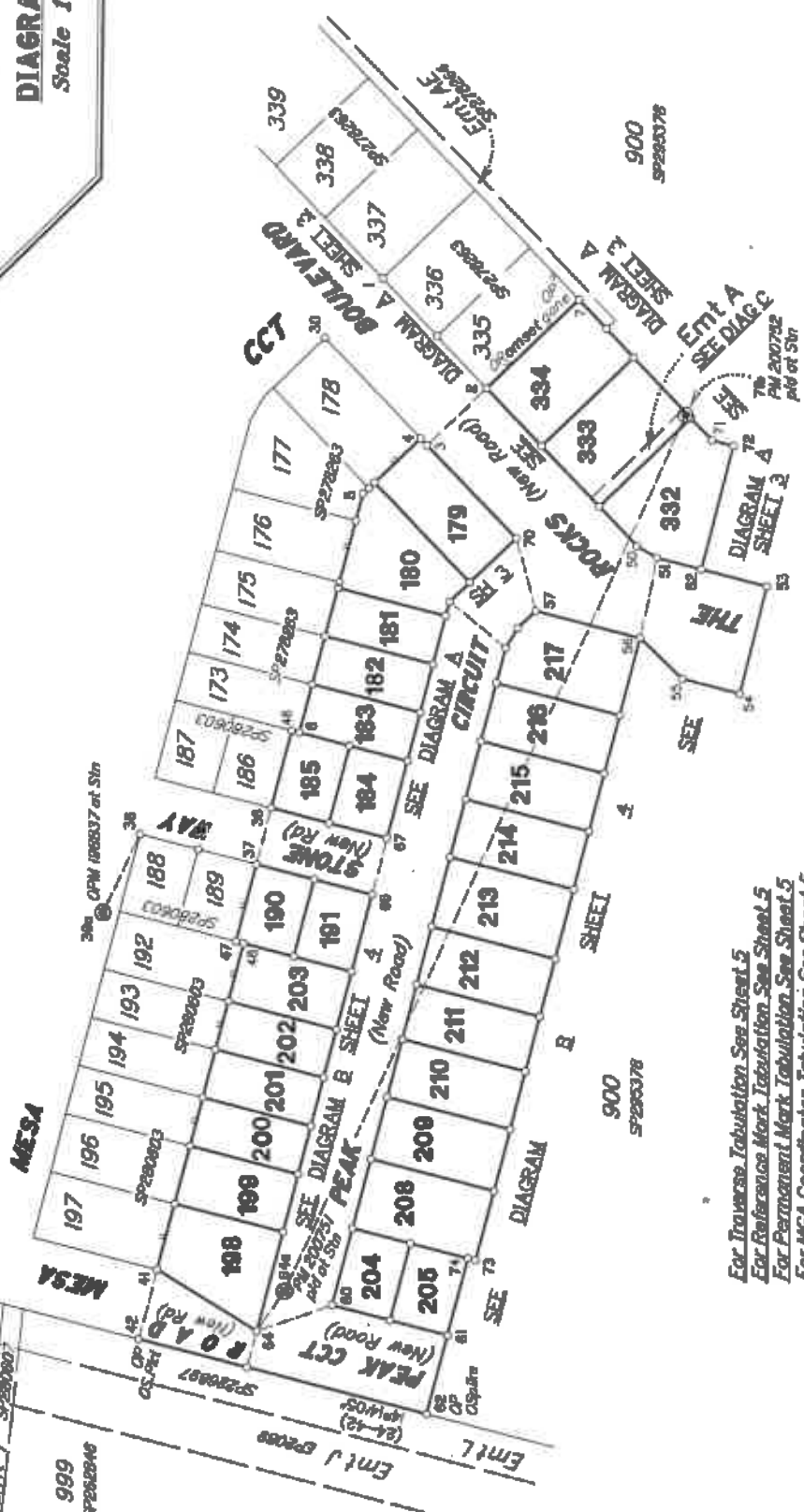
P 1300 267 878
W www.braziermotti.com.au

Date: 10th October, 2014
Scale: 1:1250 @ A3
Drawn: AJL
Job No: 27001/122-01
Plan No: 27001/093 F



Area of New Road

PEAK CIRCUIT	4139 m ²
THE ROCKS BOULEVARD	2270 m ²
STONE WAY ROAD	438 m ²
ROAD PEAK	984 m ²
Total Area	7231 m²



For Traverse Tabulation See Sheet 5
For Reference Mark Tabulation See Sheet 5
For Permanent Mark Tabulation See Sheet 5
For MGA Coordinates Tabulation See Sheet 5
Req placed at all new corners, unless otherwise stated.

BRAZIER MOTTI PTY LTD (ACN 086 411 040) hereby certify that the land comprised in this plan was surveyed by the corporation, by Stephen JCSA, Cadastral Surveyor, for whose work the corporation accepts responsibility, and that the plan is accurate, that the said survey was performed in accordance with the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the said survey was completed on 10th August, 2017.



Plan of Lots 179-185, 190, 191, 198-205, 208-217, 332-334 and Easement A in Lot 333
Cancelling Lot 910 on SP295378

LOCAL GOVERNMENT: COUNCIL LOCALITY: COSGROVE

Merkles: MGA (Zone 55) vide CORS Survey Records: No

Scale: 1:1250
Format: STANDARD

187.5m
150mm Scale copyright reserved.

SP295379

27001/142 STJ

**WARNING : Folded or Mutilated Plans will not be accepted.
Plans may be rolled.
Information may not be placed in the outer margins.**

(Dedding No.)

s. Lodged by

(Include address, phone number, reference, and Lodger Code)

1. Certificate of Registered Owners or Lessees.

1/We PARKSIDE DEVELOPMENT PTY LTD
A.C.N. 009 802 233

(Names in full)

* as Registered Owners of this land agree to this plan and dedicate the Public Use Land as shown hereon in accordance with Section 58 of the Land Title Act 1994.

as Lessees of this land agree to this plan.

Signature of *Registered Owners #Lessees

* Rule out whichever is inapplicable

2. Planning Body Approval.

*
hereby approves this plan in accordance with the :
%

Dated this day of

* Insert the name of the Planning Body. % Insert applicable approving legislation.
Insert designation of authority or delegation

3. Plans with Community Management Statement :

CMS Number :
Name :

4. References :

Dept File :
Local Govt :
Surveyor : 27001-127-01 STJ
27001-142A 08/17

Existing		Created		
Title Reference	Description	New Lots	Road	Secondary Interests
.	Lot 910 on SP295378	79-185, 190, 191, 198-204 208-217 & 332-334	New Rd	Emt A

179-185, 190, 191, 198-204, 208-217 & 332-334	Lot 910 on SP295378
Lots	Orig

7. Orig Grant Allocation :

a. Passed & Endorsed :

By: BRAZIER MOTTI PTY LTD
Date: 29-8-17
Signed: P. MOTT
Designation: Liaison Officer

9. Building Format Plans only.

I certify that:
* As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or roads.
* Part of the building shown on this plan encroaches onto adjoining lots and road

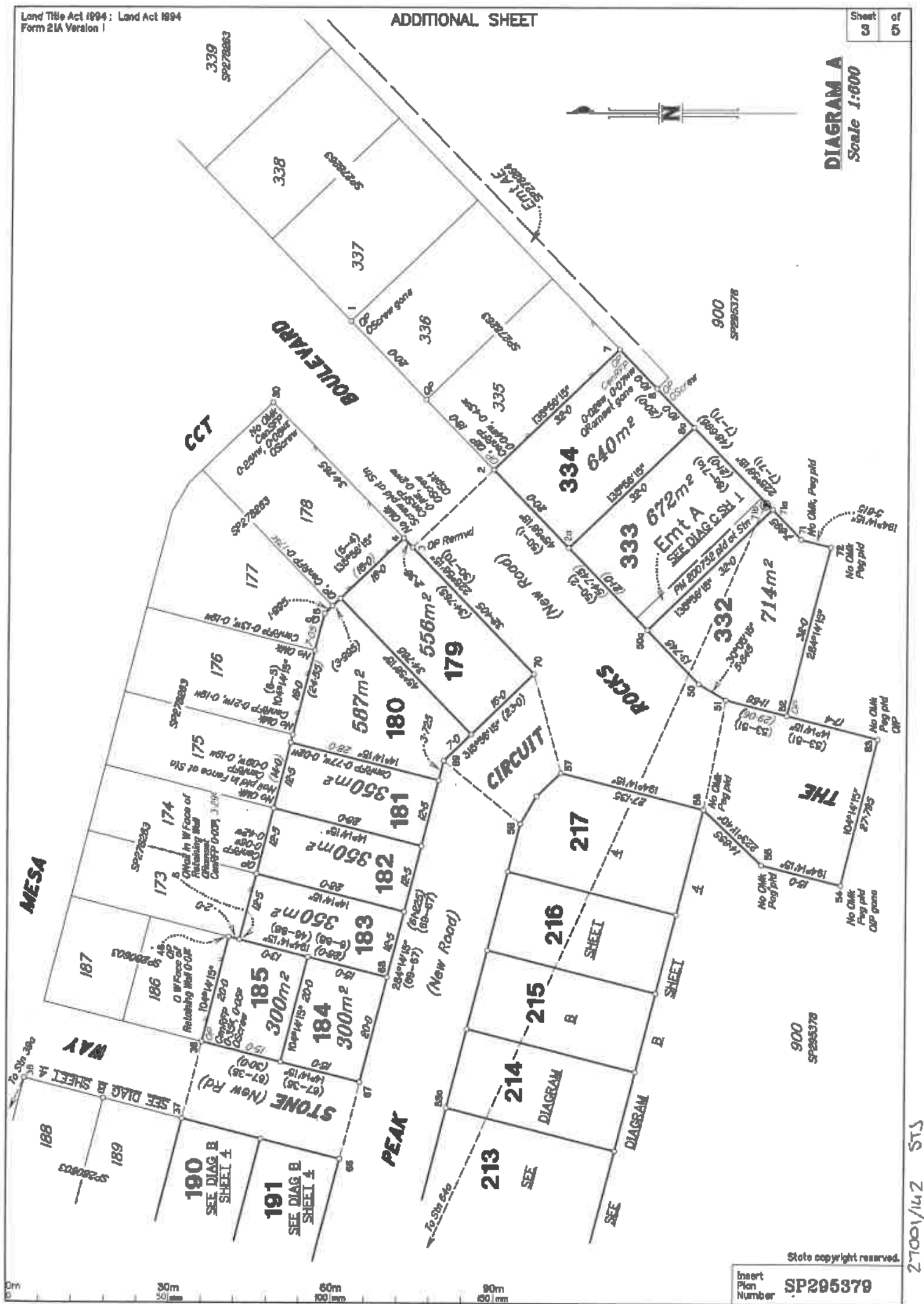
Conditional Surveyor/Director* Date
* Delete words not required

10. Lodgement Fees :

Survey Deposit	\$
Lodgement	\$
..... New Titles	\$
Photocopy	\$
Postage	\$
TOTAL	\$

11. Insert Plan Number **SP295379**

27001/142 STJ



27001/142 ST3

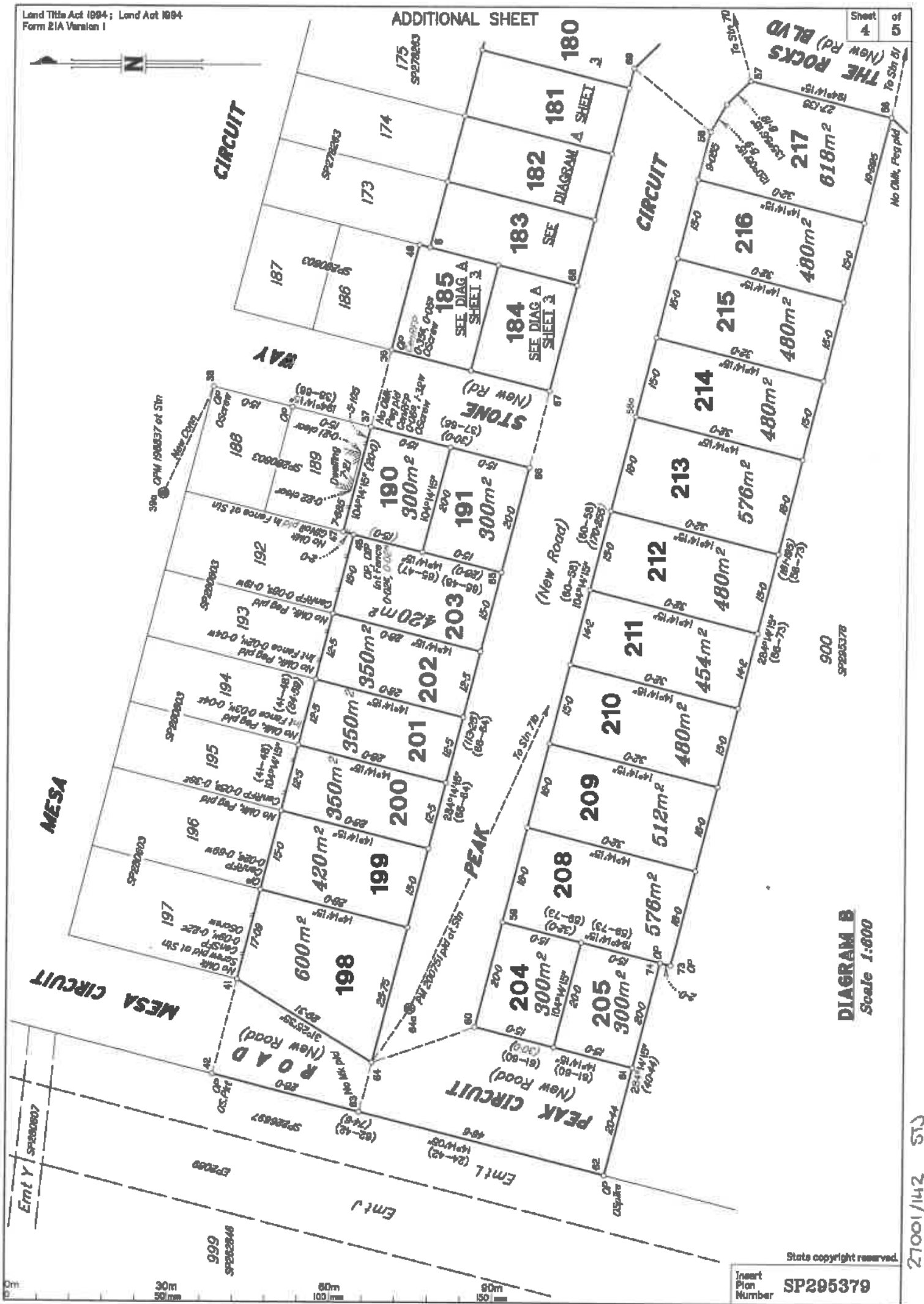


DIAGRAM B
Scale 1:600

Insert
Plan
Number
SP295379

State copyright reserved.

21001/142 STJ

REFERENCE MARKS

STN	TO	ORIGIN	BEARING	DIST
1	Screw in Sewer Pit Rd		171°51'	2-01
1	OScrew in Kb gona	2a/SP278263	16°03'	8-685
2	OP	2/SP278263	389°32'	1-885
4	OS.Pkt	5/SP285378	298°27'	2-88
4	OScrew in Kb	4/SP278263	138°49'	8-385
6	ORamset in Top Retaining Wall	6/SP278262	295°29'	0-935
7	ORamset in Top Blk Link Retaining Wall	1/SP278262	232°44'30"	9-8
8	OScrew in Conc Channel Base	51/SP278264	104°11'	1-995
30	OScrew in Kb	30/SP278263	104°38'	6-13
36	OScrew in Kb	36/SP280603	317°18'	5-18
37	OScrew in Kb	37/SP280603	70°42'	5-18
38	OScrew in Kb	38/SP280603	41°25'	4-515
41	OScrew in Sewer M/H Lid Base	41/SP280603	109°30'40"	15-955
42	OS.Pkt (Deep)	42/SP280602	29°28'40"	40-795
43	OP	43/SP280602	104°15'	1-12
48	Screw in Sewer M/H for		157°18'	2-375
50a	Screw in Conc		108°11'	3-055
51	Screw in Kb		327°55'	5-32
53	OP	53/SP285378	180°54'25"	8-49
54	OP gona	54/SP285378	288°58'30"	11-01
56	Screw in Kb		88°55'	9-94
57	Screw in Kb		118°20'20"	12-055
58	Screw in Kb		57°04'	5-155
58a	Screw in Kb		317°03'	8-01
60	Screw in Kb		331°50'	4-555
61	Screw in Kb		297°14'	4-77
62	OSpike	62/SP285378	318°08'13"	18-17
62	Screw in Sewer M/H Surround		178°39'40"	30-06
62	S.Pkt		189°13'00"	22-13
68	Screw in Kb		131°18'	4-4
67	Screw in Kb		258°38'	4-505
69	Screw in Kb		217°13'	5-45
71a	Screw in Conc		64°21'	1-62
72	S.Pkt		187°22'40"	43-07

M.G.A. COORDINATES GDA-94

STATION	EASTING	NORTHING	ZONE	P.L.	LINEAGE	METHOD	REMARKS
PM200751	469 071-828	7 889 401-848	55	0-010	Derived	Auspos	PM
PM200752	469 891-809	7 889 303-004	55	0-010	Derived	Auspos	PM

PERMANENT MARKS

PM	ORIGIN	BEARING	DIST	NO	TYPE
38a-OPM	38a/SP280603	at Station		189537	Mini Mk in SW M/H Surround
64a-PM		at Station		200751	Mini Mk in SW M/H Surround
71b-PM		at Station		200752	Mini Mk

TRAVERSES ETC

LINE	BEARING	DISTANCE
2-3	315°36'19"	20-8
36-37	284°14'19"	14-6
38-39a	294°50'30"	21-89
41-42	284°14'19"	15-055
51-56	281°17'20"	20-825
57-70	74°28'20"	18-9
58-69	38°20'45"	18-33
60-64	340°36'05"	19-04
63-64	104°14'15"	9-385
64-64a	183°32'20"	12-13
64a-71a	114°08'45"	241-341
66-67	104°14'18"	14-8
71a-71b	32°31'	1-613

New Conn

MERIDIAN TABLE

LINE	PLAN BEARING	MGA ZONE 55 BEARING	MGA ZONE 85 DISTANCE
PM200751-PM200752	114°08'47"	114°08'47"	241-451

Survey Report

Meridian: MGA Zone 55 Wide Auspos

Survey Information Used: SP278262, SP278263, SP278264, SP280602, SP280603, SP285378

A combined scale factor of 0.99959996 has been adopted on this plan.

Reinstatement methodology:

All bearings and distances between surveyed marks were found to be dead unless otherwise stated.

The Western boundary and the Western end of the Northern boundary have been reinstated from the original marks and pegs found from various plans, most recently SP280603.

The Eastern end of the Northern boundary has been reinstated from the original marks and pegs found from various surveys, most recently SP278263 and SP285378.

The Eastern boundary and the Southern boundary have been reinstated from original marks and pegs from SP285378.

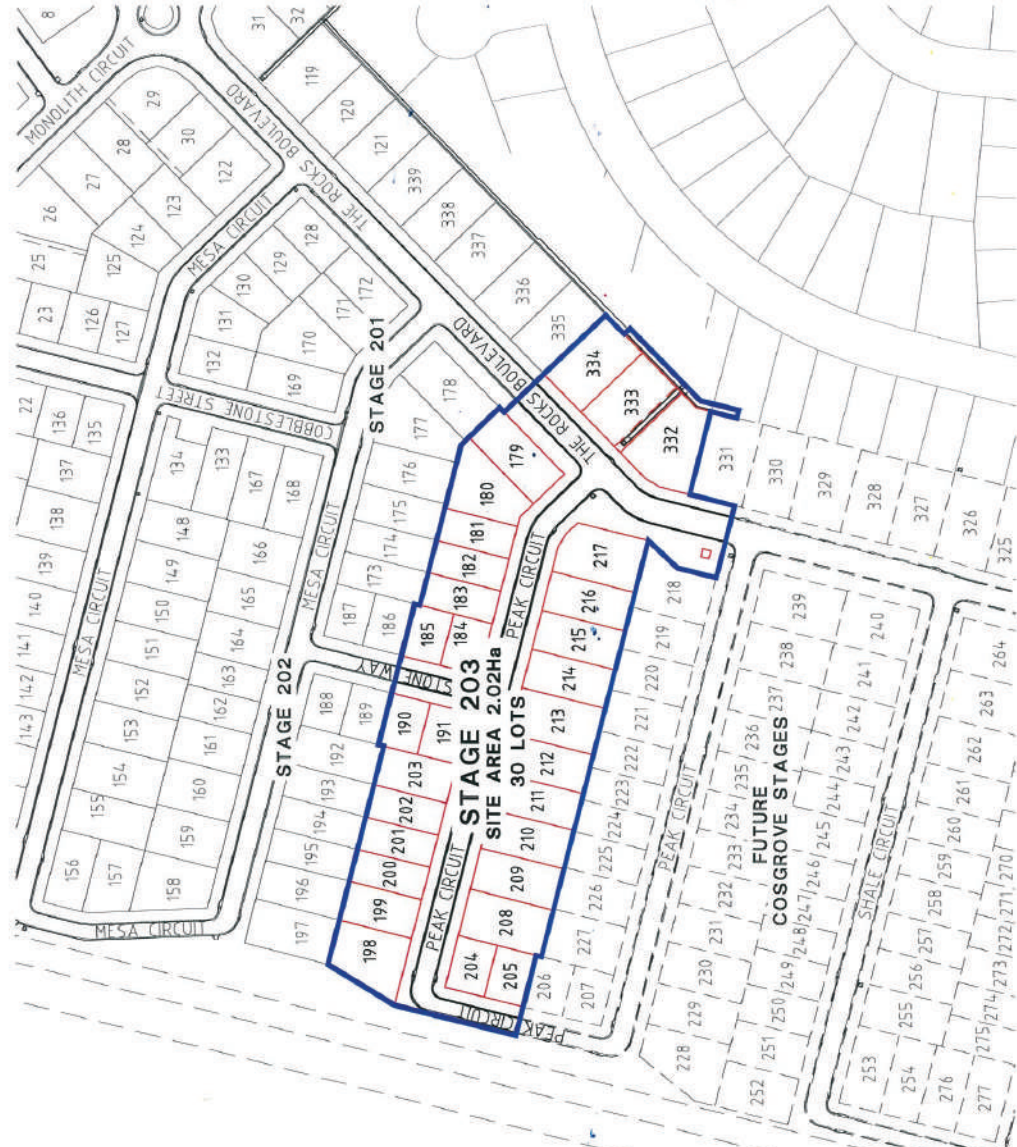
NS 241/10017



LOCALITY PLAN
N15

DRAWING SCHEDULE

DRAWING NO.	NAME	AS CONSTRUCTED SET DRAWINGS
2711/751	LOCALITY PLAN, SITE PLAN & DRAWING SCHEDULE	
2711/752	EARTHWORKS LAYOUT PLAN	
2711/753	ROADWORKS & STORMWATER DRAINAGE PLAN	
2711/754	THE ROCKS BOULEVARD LONGITUDINAL & TYPICAL CROSS SECTIONS	
2711/755	PEAK CIRCUIT LONGITUDINAL SECTION	
2711/756	PEAK CIRCUIT TYPICAL CROSS SECTIONS	
2711/757	STONE WAY LONGITUDINAL & TYPICAL CROSS SECTIONS	
2711/758	ROADWORKS DETAILS PLAN	
2711/759	Q2 STORMWATER LONGITUDINAL SECTION	
2711/760	WATER RETICULATION PLAN	
2711/761	SEWERAGE RETICULATION PLAN	
2711/762	SEWERAGE LONGITUDINAL SECTIONS	
2711/763	MISCELLANEOUS DETAILS PLAN	



SITE PLAN
SCALE 1:1000



Surveyor in Association



brazier moti

surveys | town planning | project management | mapping and GIS
Brazier Moti Pty Ltd (ACN 088 411 041)



MEDI CONSTRUCTIONS PTY LTD DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

DIRECTOR
DATE

PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

APPROVED
DATE

NO.	DATE	REVISIONS	Level	Drawn (AND DERIVED)	Checked	Coordinate	Coordinate	Coordinate	Coordinate	Coordinate
1	21/06/17	AS-CONSTRUCTED ISSUE								

CLIENT: PARKSIDE DEVELOPMENT PTY LTD
Project: COSGROVE - STAGE 203
COSGROVE DRIVE, COSGROVE
LOCALITY PLAN, SITE PLAN & DRAWING SCHEDULE
Perth & Coorin
Local Authority: Shire of City of Derby

brazier moti
1300 267 878
1000 267 878
www.braziermoti.com.au
Perth WA
2700/151 A
brazier moti



EARTHWORKS LEGEND

- CERTIFIED FINISHED ALLOTMENT LEVEL
- DENOTES EXISTING ALLOTMENT LEVEL
- TOP OF BATTER
- BOTTOM OF BATTER
- DIRECTION OF KERB & CHANNEL FLOW
- LINK BLOCK RETAINING WALL, REFER TO DRAWING 27007/18 FOR DETAILS
- EXISTING LINK BLOCK RETAINING WALL

EARTHWORKS NOTES

1. ALL EARTHWORKS OPERATIONS UNDERTAKEN IN ACCORDANCE WITH THE PROJECT SPECIFICATION.
2. FINISHED ALLOTMENT LEVELS SHOWN.
3. FINISHED ALLOTMENT GRADE 1121.

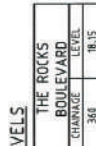
TYPICAL BATTER TO EXISTING



TYPICAL REAR BATTER ON LOTS



TYPICAL SIDE BATTER ON LOTS



Q100 LEVELS

CHANGING LEVEL	CHANGING LEVEL
20	16.47
26.265	15.99
37.330	15.07
40	14.15
41.420	13.45
44.176	12.76
47.162	12.27
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2107.141	11.5



ROADWORKS LEGEND

- LAYBACK KERB AND CHANNEL (TYPE L1)
- BARBER KERB AND CHANNEL (TYPE B1)
- DOUBLE STREET NAME PLATE
- DIRECTION OF KERB & CHANNEL FLOW
- SUBSOIL DRAIN & CLEANOUT POINT
- 31mm THICK ASPHALT
- REFER PAVEMENT DESIGN FOR DETAILS
- LINK BLOCK RETAINING WALL, REFER TO DRAWING 2701/183 FOR DETAILS
- EXISTING LINK BLOCK RETAINING WALL

ROADWORKS NOTES

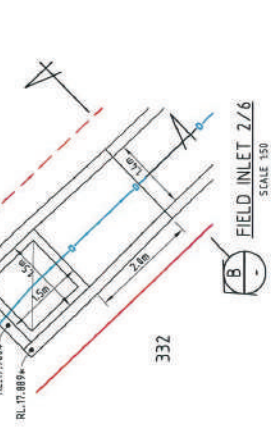
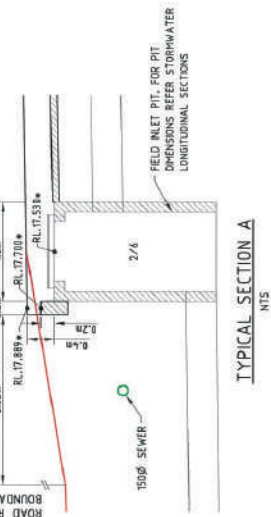
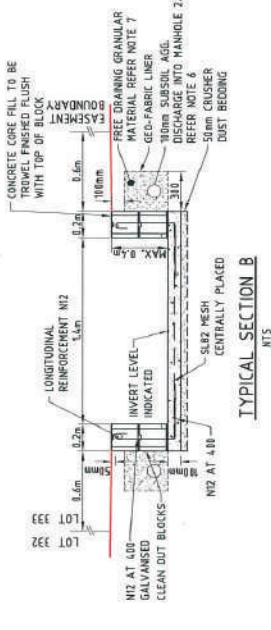
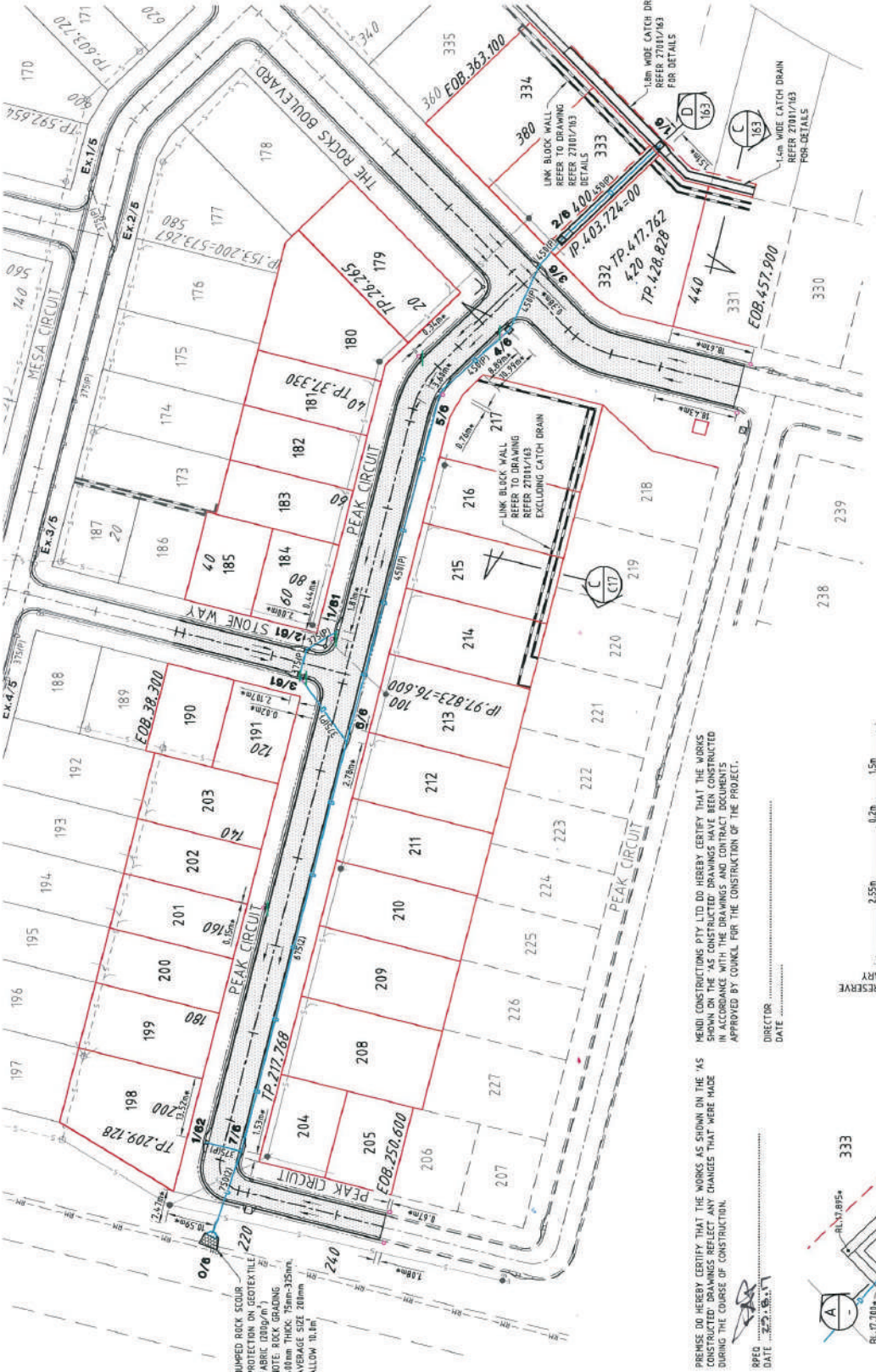
1. ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
2. FOR ROAD GRADING, LEVELS AND TYPICAL SECTIONS, REFER ROAD LONGITUDINAL/CROSS SECTION AND ROADWORKS DETAILS DRAWINGS.
3. FOR SUBSOIL DRAIN DETAILS, REFER TYPICAL SUBSOIL DRAIN CLEANOUT POINT DETAIL AND PAVEMENT & KERBING DETAIL.
4. ALL SUBSOIL DRAINS GRADED AT MINIMUM 0.5% FROM HIGH POINT TO OUTLET, UNLESS NOTED OTHERWISE.

STORMWATER LEGEND

- STORMWATER DRAINAGE LINE
- STORMWATER MANHOLE (MANHOLE NO./LINE NO.)
- KERB INLET PIT (PIT NO./LINE NO.)
- EXISTING STORMWATER DRAINAGE LINE
- EXISTING STORMWATER MANHOLE (MANHOLE NO./LINE NO.)
- EXISTING KERB INLET PIT (PIT NO./LINE NO.)
- PROPOSED SEWAGE RETICULATION
- EXISTING SEWAGE RETICULATION
- EXISTING SEWAGE RISING MAIN

STORMWATER NOTES

1. ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
2. FOR STORMWATER LEVELS, PIPE LENGTHS, PIPE CLASS AND STRUCTURE TYPES, REFER STORMWATER LONGITUDINAL DRAWINGS.
3. ALL PIPE AND BOX CULVERT CUTS MADE USING A MASONRY SAW, BACKFILLED WITH CRUSHER DUST TO SUBGRADE LEVEL.
4. TESTING REQUIREMENTS FOR COMPACTATION AND COMPLIANCE REFER TO RELEVANT STANDARDS.
5. REFER DETAILS FOR TYPICAL SUBSIDIARY DRAINAGE TO STORMWATER MANHOLES, KERB INLET TRANSITION & RRI.
6. Ø100 SUBSOIL AGG. DRAIN, SURROUND WITH 100 NOMINAL Ø20 BLUE METAL SCREENED WRAP IN GEOTEXTILE FILTER FABRIC.
7. BACK FILL WITH Ø20 WASHED, 31% WIDE COMPACTED FREE DRAINING GRANULAR FILL UP TO 300 BELOW TOP OF WALL, GEO-FABRIC SEPARATION BETWEEN IN-SITU MATERIAL AND DRAINAGE MATERIAL.



PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

DIRECTOR
DATE

NO.	DATE	REVISIONS	DESIGNED AND CHECKED
1	20.11.20	AS CONSTRUCTED	CONSTRUCTION

CONSTRUCTION PREPARED BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]
 JOB NO: 27001-153-A
 DRAWN BY: [Name]

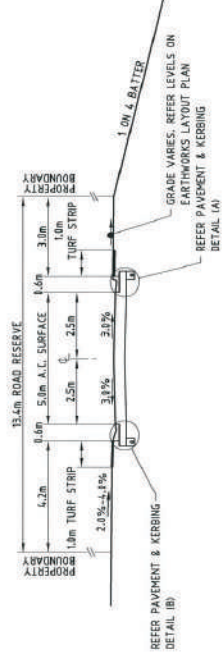
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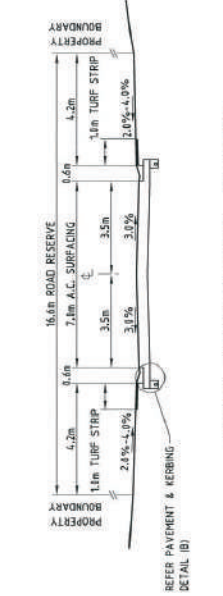
PARKSIDE DEVELOPMENT PTY LTD

Project: COSGROVE - STAGE 203
 COSGROVE DRIVE, COSGROVE
 ROADWORKS & STORMWATER DRAINAGE PLAN

Scale: AS SHOWN
 Date: 27/01/15 A
 City of Goswami



TYPICAL SECTION CH.219.718 - CH.250.600



TYPICAL SECTION CH.8.450 - CH.208.178

PEAK CIRCUIT TYPICAL CROSS SECTIONS

SCALE 1:100

HENDI CONSTRUCTIONS PTY. LTD. DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE AS CONSTRUCTED DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

DIRECTOR
DATE

PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE AS CONSTRUCTED DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

RFED
DATE



No.	Date	Issue	Description	Check
A.	20.08.17	AS-CONTRACTED	ISSUE	

Live Date: 20/08/2017 Issue: AS-CONTRACTED Coordinate System: GDA 1984 Version: 1.0 Map Reference: 1:1000 Job No: 27001-156-A File No: 27001-156-A.dwg Drawn by: J.M.	Approved:
--	-----------

ERM 1300 267 879 1000 South Street South Brisbane QLD 4101 Australia 27001/156 A	Project: COSGROVE - STAGE 203 COSGROVE DRIVE, COSGROVE PEAK CIRCUIT TYPICAL CROSS SECTIONS Date of Submission:
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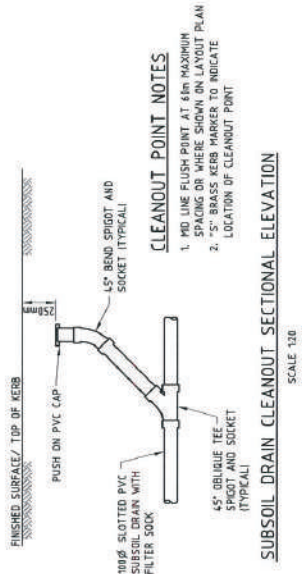
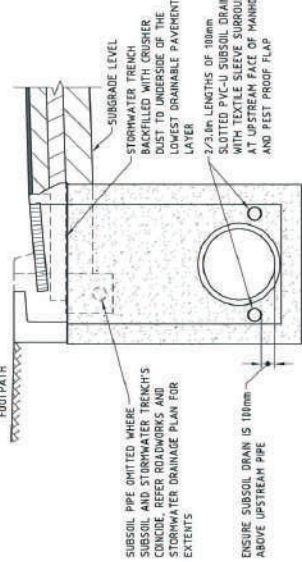
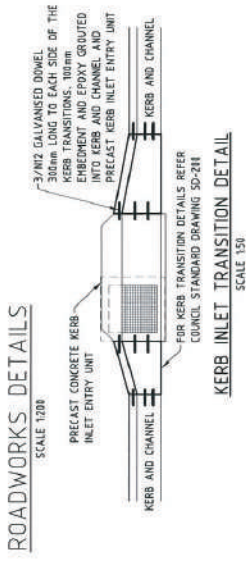
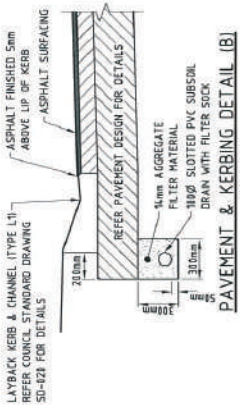
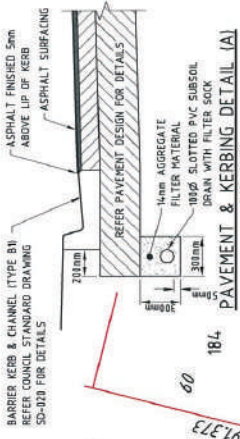
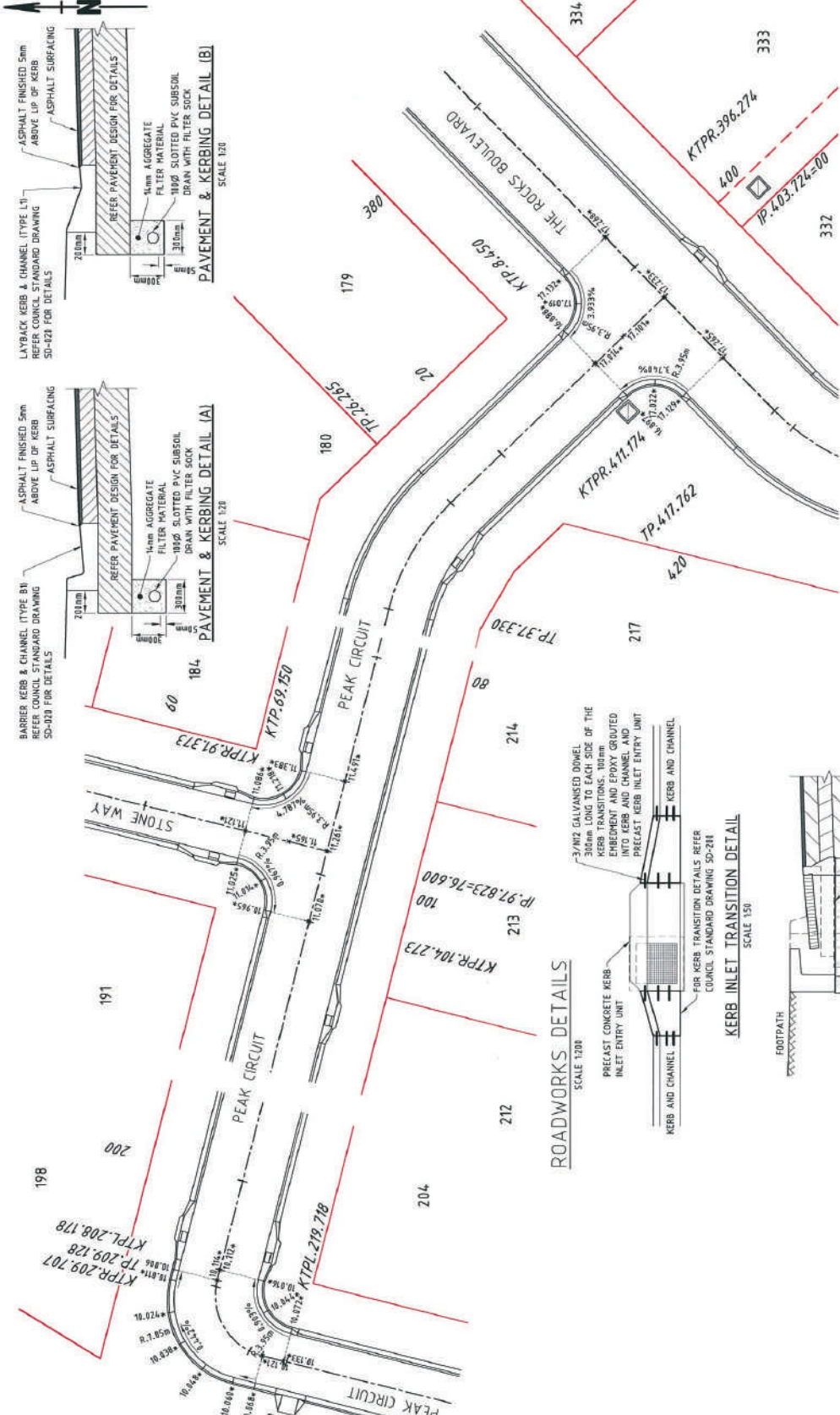
PARKSIDE DEVELOPMENT PTY LTD COSGROVE - STAGE 203 COSGROVE DRIVE, COSGROVE PEAK CIRCUIT TYPICAL CROSS SECTIONS Date of Submission:	Drawn by: J.M. Approved:
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MENDI CONSTRUCTIONS PTY LTD DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE AS CONSTRUCTED DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE AS CONSTRUCTED DRAWINGS AND APPROVED BY COUNCIL FOR THE COURSE OF CONSTRUCTION OF THE PROJECT.

DIRECTOR
DATE

PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE AS CONSTRUCTED DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

RFD
DATE



- CLEANOUT POINT NOTES**
1. 100mm LINE FLUSH-DRY AT 60mm MAXIMUM OF CLEANOUT POINT
 2. 75mm BRASS KERB MARKER TO INDICATE LOCATION OF CLEANOUT POINT

- ROADWORKS DETAILS LEGEND**
- LTP LAYBACK KERB & CHANNEL (TYPE L1)
 - LBP BARRIER KERB & CHANNEL (TYPE B1)
- ROADWORKS DETAILS NOTES**
1. ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
 2. ALL ROADWORK LEVEL INFORMATION IS TO LIP UNLESS NOTED OTHERWISE.

Working with PTY LTD (AS) THE AS CONSTRUCTED DRAWINGS. MENDI CONSTRUCTIONS PTY LTD DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE AS CONSTRUCTED DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE AS CONSTRUCTED DRAWINGS AND APPROVED BY COUNCIL FOR THE COURSE OF CONSTRUCTION OF THE PROJECT.



NO.	DATE	REVISION	BY	CHKD
1	20/08/17	AS-CONSTRUCTED ISUE		

<p>Drawn: M.A.M. Checked: M.A.M. Approved: M.A.M.</p>	<p>Client: PARKSIDE DEVELOPMENT PTY LTD Project: COSGROVE - STAGE 203 COSGROVE DRIVE, COSGROVE ROADWORKS DETAILS PLAN</p>	<p>Scale: AS SHOWN Drawing No: 27001/58 A</p>
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SEWER LEGEND

- SEWER MAIN AND MANHOLE (MH)
- SEWER MAIN AND MANHOLE (MH) MAINTENANCE SHAFT (MS)
- EXISTING SEWER MAIN AND MANHOLE
- FUTURE SEWER MAIN AND MANHOLE
- PROPOSED STORMWATER DRAINAGE
- EXISTING STORMWATER DRAINAGE
- EXISTING SEWER RISING MAIN
- MANHOLE TYPE, TOP OF MANHOLE MANHOLE NUMBER

HOUSE CONNECTION MAY DIMENSIONS AS PER RELEVANT COUNCIL STANDARD DRAWING UNO.I
 CERTIFIED DISTANCE FROM DOWNSTREAM MANHOLE
 CERTIFIED INVERT LEVEL OF HOUSE CONNECTION POINT
 CERTIFIED LEVEL OF CAP FOR 'TYPE D' CONNECTION
 HOUSE CONNECTION TYPE
 TYPE A - ACROSS BOUNDARY 'SLOPE DROP'
 TYPE B - ACROSS BOUNDARY 'JUMP UP'
 TYPE C - WITHIN LOT 'DIRECT CONNECTION'
 TYPE D - WITHIN LOT 'JUMP UP'
 TYPE E - MANHOLE 'DIRECT CONNECTION'
 TYPE F - MANHOLE 'DIRECT CONNECTION'
 TYPE G - MAINTENANCE SHAFT CONNECTION
 TYPE EX - EXISTING HOUSE CONNECTION

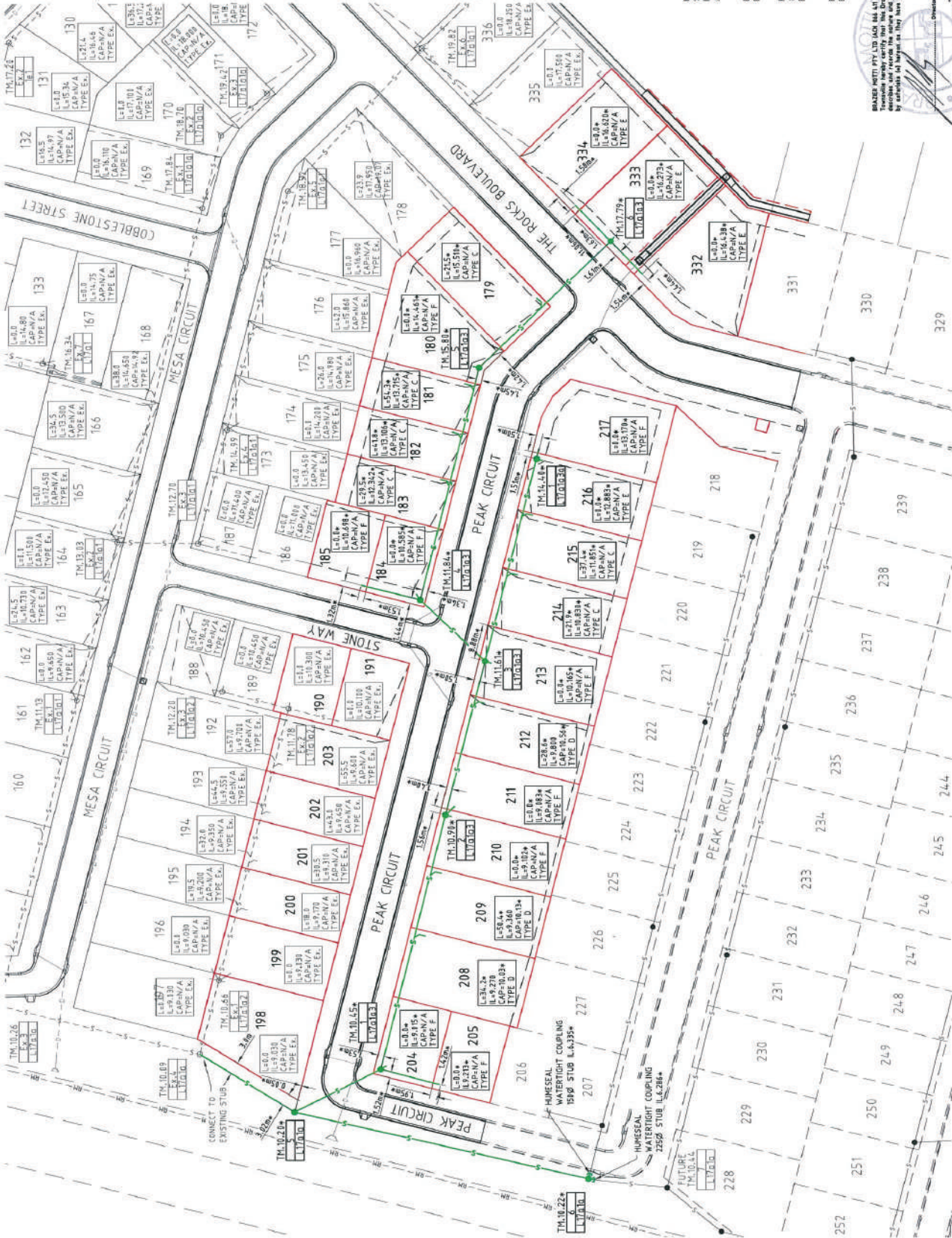
SEWER NOTES

1. ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND PROJECT SPECIFICATION
 2. ALL SEWERAGE MAINS LOCATED ON 1.5m x 1.0m ALIGNMENT OFFSET FROM THE PROPERTY BOUNDARIES, UNLESS NOTED OTHERWISE.
 3. ALL SEWERAGE MAINS DRUG, UNLESS NOTED OTHERWISE.
 4. ALL 150mm AND 225mm SEWERAGE MAINS (PVC DWV 500).
 5. ALL ON-LOT HOUSE DRAINS (PVC DWV 500).
 6. ALL TRENCHES UNDER ROAD PAVEMENT BACKFILLED WITH CRUSHER DUST TO SUBGRADE LEVEL. REFER PROJECT SPECIFICATION FOR COMPACTION AND COMPLIANCE TESTING REQUIREMENTS.
 7. CONNECTIONS/ALTERATIONS TO EXISTING SEWERAGE INFRASTRUCTURE TO BE CARRIED OUT BY COUNCIL AT THE CONTRACTORS EXPENSE.
 8. ALL MANHOLE INTERNAL DRAIN 'CORERS' ARE NOT TO BE LOCATED WITHIN 150mm OF 'PRECAST' WALL JOINTS. IF CLASH OCCURS SUPERINTENDENT TO PROVIDE FURTHER INSTRUCTIONS PRIOR TO MANHOLE BEND CORER.
- MEMO CONSTRUCTIONS PTY.LTD DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

DIRECTOR: _____
 DATE: _____

PERMITS DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

REF: _____
 DATE: _____



PARKSIDE DEVELOPMENT PTY LTD

COSGROVE - STAGE 203
 COSGROVE DRIVE, COSGROVE
 SEWERAGE RETICULATION PLAN

Issue: 01/2017 (REVISED)
 Issue Date: 01/2017
 Issue By: [Signature]
 Issue For: [Signature]
 Issue Description: [Signature]

Project: COSGROVE - STAGE 203
 COSGROVE DRIVE, COSGROVE
 SEWERAGE RETICULATION PLAN

Drawn: [Signature]
 Checked: [Signature]
 Date: 23/08/17

Scale: 1:500
 Date: 23/08/17

DESIGN CODE - ALL ALLOTMENTS

TYPE	HOUSE, FRONT LOADED
LOT ACCESS	FRONT
LOT DEPTH (MIN)	25m (20m WHERE 15m WIDTH PROPOSED)
LOT WIDTH (MIN)	12.5m
SITE COVERAGE	MAY EXCEED 50% IN RESPONSE TO CODE REQUIREMENTS, BUT NO MORE THAN 60% SITE COVERAGE.
SETBACK FRONT GROUND (MIN) AND UPPER (MIN)	3.5m
SETBACK FRONT GARAGE	4m AND 1.5m BEHIND FRONT OF DWELLING
SETBACK PRINCIPAL SIDE GROUND (MIN)	ODC
SETBACK PRINCIPAL SIDE UPPER (MIN)	ODC
SETBACK SECONDARY ROAD FRONTAGE (MIN)	2m
SETBACK PRINCIPAL REAR (MIN)	1.5m (SEWER LINES AND MANHOLES MAY ENFORCE GREATER SETBACKS)
OUTBUILDING (SHEO) WIDTH (MAX)	LESSER OF 50% OF REAR BOUNDARY OR 9m
OUTBUILDING (SHEO) DEPTH (MAX)	9m
OUTBUILDING (SHEO) REAR SETBACK	0-1.0m
OUTBUILDING (SHEO) SIDE SETBACK	ZERO IF LOT 12.5m WIDE, AS PER PRINCIPAL SETBACK IF LOT >12.5m WIDE
FLOOR HEIGHT PRINCIPAL (MIN)	480mm
MAXIMUM STOREYS	AS PER THE APPLICABLE SCHEME
PRIVATE OPEN SPACE (MIN) (MAY BE COVERED)	4mx4m
PARKING (MIN)	TWO (2), ONE OF WHICH MUST BE COVERED

*NOTE: CLEARANCES TO SEWER LINES AND MANHOLES ARE REQUIRED IN ACCORDANCE WITH COUNCIL POLICY.

LEGEND

- ALLOWABLE DRIVEWAY ACCESS
- BUILT TO BOUNDARY GARAGE AS PER ODC
- SEWER MAIN & MANHOLE
- WATER MAIN, FIRE HYDRANT & SLUICE VALVE
- STORMWATER & INLET PIT
- SUBSOIL DRAIN & CLEANOUT POINT
- EXISTING SEWER MAIN & MANHOLE
- EXISTING WATER MAIN
- EXISTING STORMWATER
- BUILDING SETBACK, REFER NOTE 3
- LINK BLOCK RETAINING WALL
- EXISTING LINK BLOCK RETAINING WALL

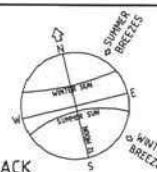
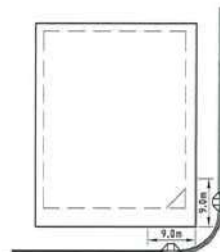
DRIVEWAY ACCESS ENVELOPE

- FOR DRIVEWAY ACCESS ENVELOPE ALLOW 0.5m MINIMUM CLEARANCE TO ALL COUNCIL INFRASTRUCTURE, EXCEPT STORMWATER PITS WHICH REQUIRE 0.6m MINIMUM CLEARANCE AND SEWERAGE HOUSE CONNECTIONS WHICH REQUIRE 1.2m MINIMUM CLEARANCE.
- ALL DRIVEWAYS REQUIRE A PERMIT FROM COUNCIL PRIOR TO CONSTRUCTION.



HOUSE CONNECTION DETAIL

* 2.0m CLEARANCE FROM CENTRE OF CONNECTION OR MANHOLE TO THE NEAREST POINT OF THE STRUCTURE FOUNDATION



BUILDING SETBACK

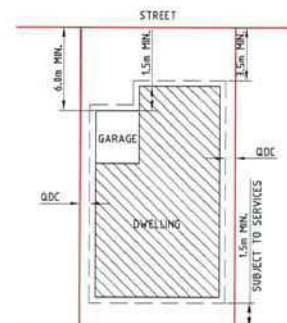
- "SETBACK" MEANS A LINE OR LINES PARALLEL TO ANY BOUNDARY OF A LOT BEYOND WHICH THE BUILDING OR OTHER STRUCTURE SHALL NOT ENCRUCH, AND MEASURED AS THE SHORTEST HORIZONTAL DISTANCE FROM THE OUTERMOST PROJECTION OF THE BUILDING OR OTHER STRUCTURE TO THE VERTICAL PROJECTION OF THE LOT BOUNDARY (TOWNSVILLE CITY PLAN 2805, PAGE 491).
- THE BUILDING ENVELOPES ARE TO COMPLY WITH THE DESIGN CODE SHOWN ON THIS PLAN. GREATER SETBACKS MAY BE REQUIRED TO ACCOMMODATE THE ZONE OF INFLUENCE OF UNDERGROUND SERVICES AS STATED IN COUNCIL'S POLICY ON BUILDING OVER OR ADJACENT TO SEWERS.
- DIMENSIONS SHOWN ARE ODC GROUND DWELLING ONLY AND DO NOT ACCOUNT FOR BATTERS OR RETAINING WALLS. A SITE INSPECTION IS REQUIRED PRIOR TO COMMENCEMENT OF DESIGN. REFER DESIGN CODE FOR UPPER FLOOR AND GARAGE SETBACKS.

ERGON SUBSTATIONS

- HABITABLE ROOMS REQUIRE A CLEARANCE OF 4m TO ERGON SUBSTATION SITES.

CORNER SIGHT LINES

- COMPLY WITH SIGHT LINES REQUIREMENT OF THE QUEENSLAND DEVELOPMENT CODE ON ROAD CORNERS. THIS IS TYPICALLY A 9m x 9m EXCLUSION ZONE BASED ON BOUNDARIES. FOR CLIPPED CORNERS AND LOTS WITH PARK FRONTAGES TYPICALLY THIS IS A 18m x 18m EXCLUSION ZONE BASED ON THE EDGE OF THE TRAFFIC LANE. REAR ACCESS LANES ARE EXEMPTED FROM THIS REQUIREMENT.



TYPICAL SETBACK REQUIREMENTS

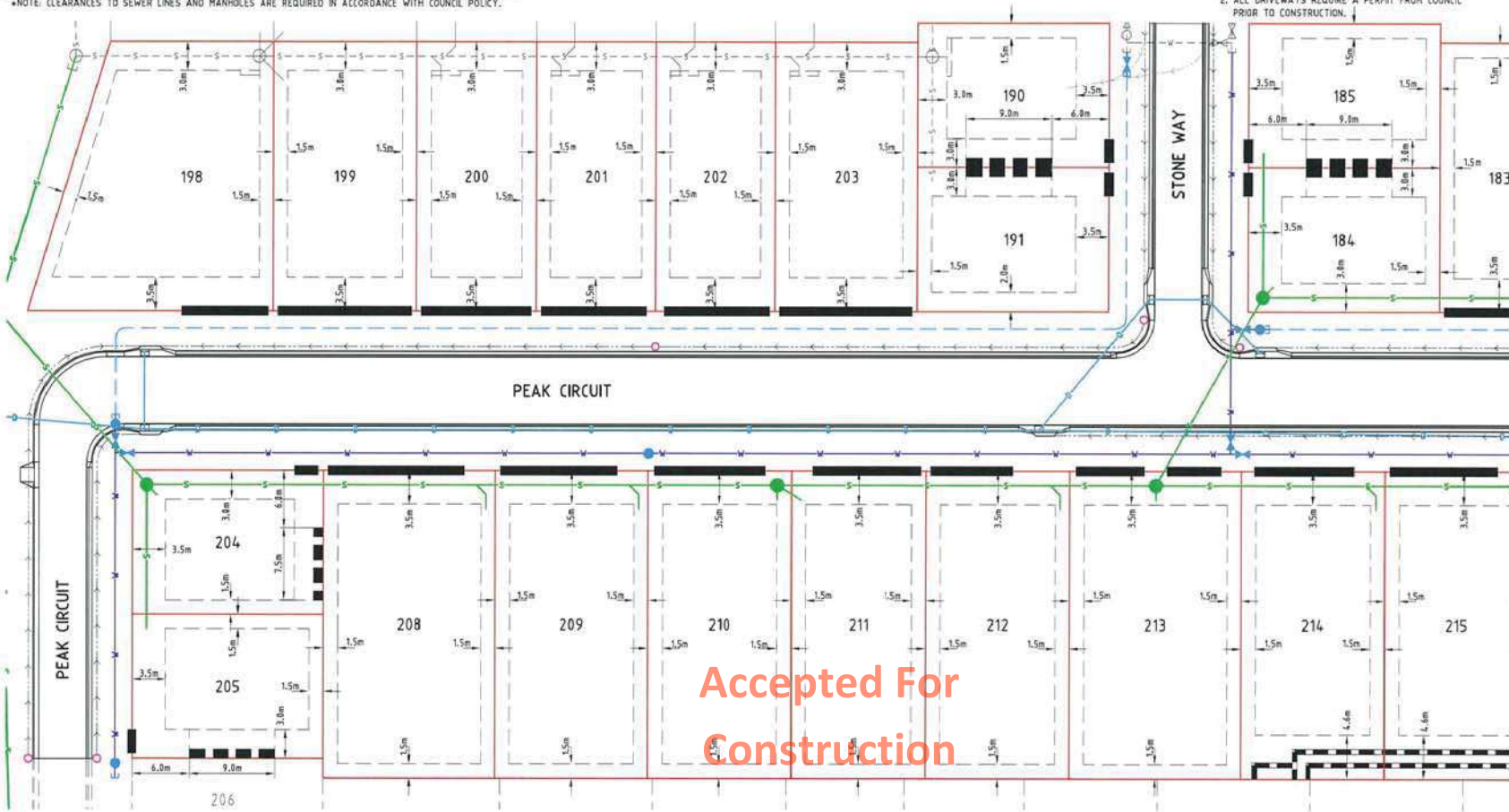
NTS

NOTES:

- 60% MAXIMUM SITE COVERAGE.
- FOR FRONT SETBACK TO GARAGE, MEASURE FROM THE FRONT BOUNDARY TO THE GARAGE OPENING (WALL).
- ALL OTHER SETBACKS ARE MEASURED FROM THE BOUNDARY TO THE OUTERMOST PROJECTION.

LIGHT POLES & TELSTRA PITS HAVE NOT BEEN SHOWN AS APPROVED PLANS HAVE NOT BEEN RECEIVED TO DATE

SCALE 1:500 @ A3



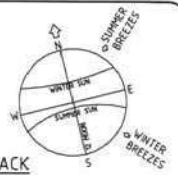
Accepted For Construction

<p>CONSTRUCTION ISSUE</p> <p>A 07/07/15 ISSUED FOR CONSTRUCTION</p> <p>1 05/05/15 ISSUED FOR OPERATIONAL WORKS APPROVAL</p>	<p>JAS-ANZ</p> <p>ISO 9001</p>	<p>REAL PROPERTY DESCRIPTION:</p> <p>LOT 900 ON SP 267461</p>	<p>DALGETY PLACE</p> <p>84 DENHAM STREET</p> <p>PO BOX 1110</p> <p>TOWNSVILLE QLD 4810</p> <p>Phone: (07) 4772 0666</p> <p>Fax: (07) 4772 0666</p> <p>Email: main@udpgroup.com.au</p> <p>Web: www.udpgroup.com.au</p>	<p>PARKSIDE DEVELOPMENT PTY LTD</p> <p>COSGROVE - STAGE 203</p> <p>COSGROVE DRIVE, COSGROVE</p> <p>BUILDING ENVELOPE & DRIVEWAY ACCESS PLAN - SHEET 1 OF 2</p>
		<p>DESIGNED: Z. STROGUSZ</p> <p>CHECKED: G. BROSNAN</p> <p>PROJECT MANAGER: P. PETERSEN</p>		

DESIGN CODE - ALL ALLOTMENTS

TYPE	HOUSE, FRONT LOADED
LOT ACCESS	FRONT
LOT DEPTH (MIN)	25m (20m WHERE 15m WIDTH PROPOSED)
LOT WIDTH (MIN)	12.5m
SITE COVERAGE	MAY EXCEED 50% IN RESPONSE TO CODE REQUIREMENTS, BUT NO MORE THAN 65% SITE COVERAGE.
SETBACK FRONT GROUND (MIN) AND UPPER (MIN)	3.5m
SETBACK FRONT GARAGE	4m AND 1.5m BEHIND FRONT OF DWELLING
SETBACK PRINCIPAL SIDE GROUND (MIN)	ODC
SETBACK PRINCIPAL SIDE UPPER (MIN)	ODC
SETBACK SECONDARY ROAD FRONTAGE (MIN)	2m
SETBACK PRINCIPAL REAR (MIN)	1.5m (SEWER LINES AND MANHOLES MAY ENFORCE GREATER SETBACKS)
OUTBUILDING (SHED) WIDTH (MAX)	LESSER OF 50% OF REAR BOUNDARY OR 9m
OUTBUILDING (SHED) DEPTH (MAX)	9m
OUTBUILDING (SHED) REAR SETBACK	8-10m
OUTBUILDING (SHED) SIDE SETBACK	ZERO IF LOT 12.5m WIDE. AS PER PRINCIPAL SETBACK IF LOT >12.5m WIDE
FLOOR HEIGHT PRINCIPAL (MIN)	480mm
MAXIMUM STOREYS	AS PER THE APPLICABLE SCHEME
PRIVATE OPEN SPACE (MIN) (MAY BE COVERED)	4m x 4m
PARKING (MIN)	TWO (2), ONE OF WHICH MUST BE COVERED

*NOTE: CLEARANCES TO SEWER LINES AND MANHOLES ARE REQUIRED IN ACCORDANCE WITH COUNCIL POLICY.



BUILDING SETBACK

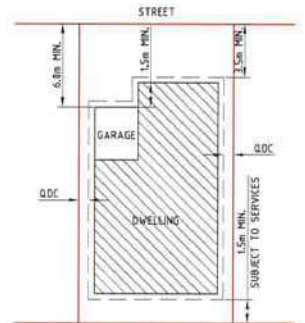
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- THE BUILDING ENVELOPES ARE TO COMPLY WITH THE DESIGN CODE SHOWN ON THIS PLAN. GREATER SETBACKS MAY BE REQUIRED TO ACCOMMODATE THE ZONE OF INFLUENCE OF UNDERGROUND SERVICES AS STATED IN COUNCIL'S POLICY ON BUILDING OVER OR ADJACENT TO SEWERS.
- DIMENSIONS SHOWN ARE ODC GROUND DWELLING ONLY AND DO NOT ACCOUNT FOR BATTERS OR RETAINING WALLS. A SITE INSPECTION IS REQUIRED PRIOR TO COMMENCEMENT OF DESIGN. REFER DESIGN CODE FOR UPPER FLOOR AND GARAGE SETBACKS.

ERGON SUBSTATIONS

- HABITABLE ROOMS REQUIRE A CLEARANCE OF 4m TO ERGON SUBSTATION SITES.

CORNER SIGHT LINES

- COMPLY WITH SIGHT LINES REQUIREMENT OF THE QUEENSLAND DEVELOPMENT CODE ON ROAD CORNERS. THIS IS TYPICALLY A 9m x 9m EXCLUSION ZONE BASED ON BOUNDARIES. FOR CLIPPED CORNERS AND LOTS WITH PARK FRONTAGES TYPICALLY THIS IS A 18m x 18m EXCLUSION ZONE BASED ON THE EDGE OF THE TRAFFIC LANE. REAR ACCESS LANES ARE EXEMPTED FROM THIS REQUIREMENT.



TYPICAL SETBACK REQUIREMENTS

NTS

NOTES:

- 65% MAXIMUM SITE COVERAGE.
- FOR FRONT SETBACK TO GARAGE, MEASURE FROM THE FRONT BOUNDARY TO THE GARAGE OPENING (WALL).
- ALL OTHER SETBACKS ARE MEASURED FROM THE BOUNDARY TO THE OUTERMOST PROJECTION.

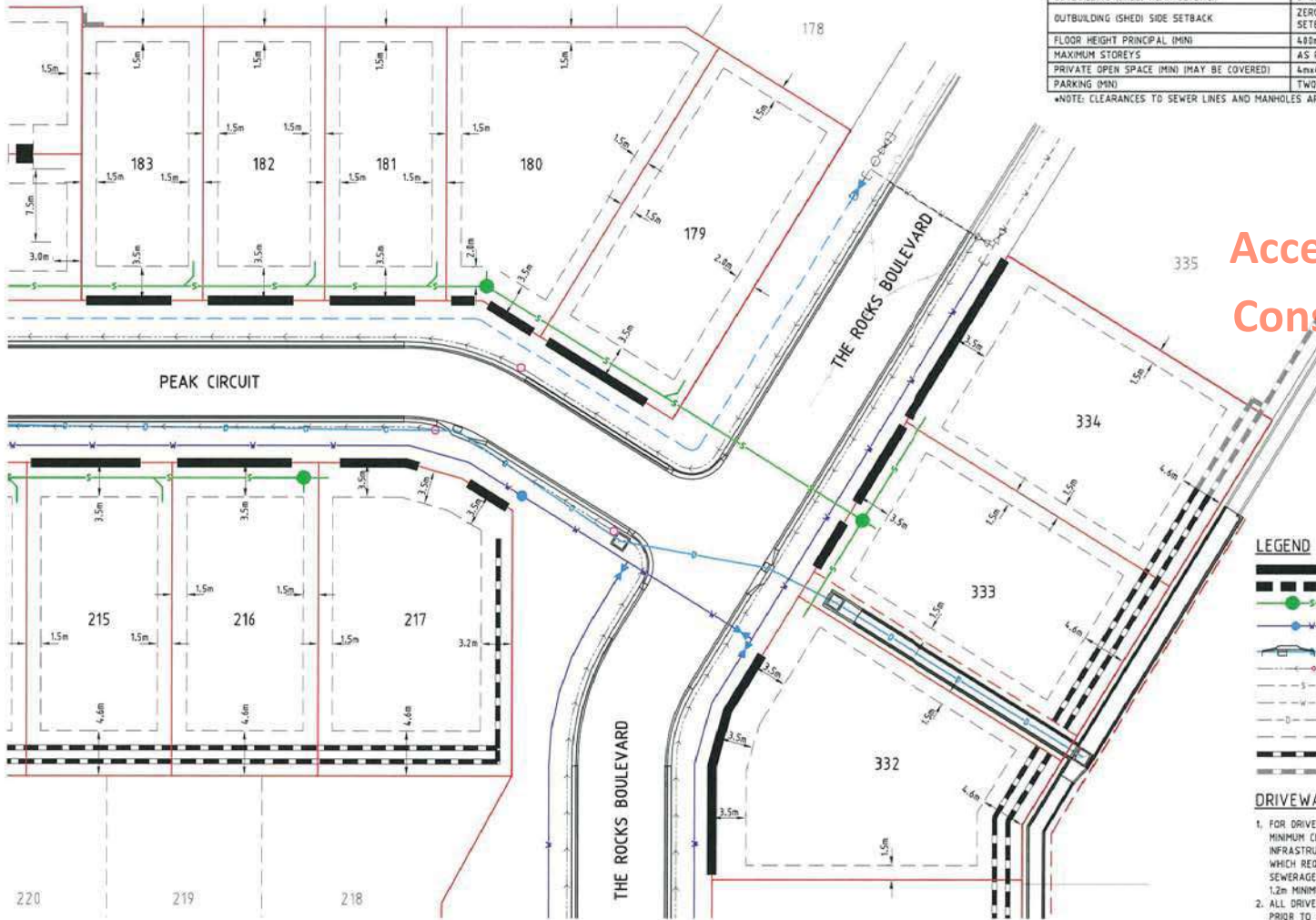
LIGHT POLES & TELSTRA PITS HAVE NOT BEEN SHOWN AS APPROVED PLANS HAVE NOT BEEN RECEIVED TO DATE

SCALE 1:500 @ A3



HOUSE CONNECTION DETAIL

* 2.0m CLEARANCE FROM CENTRE OF CONNECTION OR MANHOLE TO THE NEAREST POINT OF THE STRUCTURE FOUNDATION



Accepted For Construction

LEGEND

- ALLOWABLE DRIVEWAY ACCESS
- BUILT TO BOUNDARY GARAGE AS PER ODC
- SEWER MAIN & MANHOLE
- WATER MAIN, FIRE HYDRANT & SLUICE VALVE
- STORMWATER & INLET PIT
- SUBSOIL DRAIN & CLEANOUT POINT
- EXISTING SEWER MAIN & MANHOLE
- EXISTING WATER MAIN
- EXISTING STORMWATER
- BUILDING SETBACK, REFER NOTE 3
- LINK BLOCK RETAINING WALL
- EXISTING LINK BLOCK RETAINING WALL

DRIVEWAY ACCESS ENVELOPE

- FOR DRIVEWAY ACCESS ENVELOPE ALLOW 0.5m MINIMUM CLEARANCE TO ALL COUNCIL INFRASTRUCTURE, EXCEPT STORMWATER PITS WHICH REQUIRE 0.6m MINIMUM CLEARANCE AND SEWERAGE HOUSE CONNECTIONS WHICH REQUIRE 1.2m MINIMUM CLEARANCE.
- ALL DRIVEWAYS REQUIRE A PERMIT FROM COUNCIL PRIOR TO CONSTRUCTION.

CONSTRUCTION ISSUE

REV	DATE	REVISIONS
A	07/07/15	ISSUED FOR CONSTRUCTION
1	05/05/15	ISSUED FOR OPERATIONAL WORKS APPROVAL



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REAL PROPERTY DESCRIPTION:

LOT 903 DN SP 267461

DRAWN: Z.STROGUSZ
 DESIGNED: G.BROSINAN
 CHECKED: P.VIERO
 PROJECT MANAGER: P.PETERSEN

DATUM: AHD (DERIVED)

PSN 127952
 RL: 9.266
 E: 49522.193
 N: 91644.889

PROJECT DIRECTOR: D.GIBSON RPEQ 13218



DALGETY PLACE
 84 DENHAM STREET
 PO BOX 1110
 TOWNSVILLE QLD 4810

Phone: (07) 4772 0666
 Fax: (07) 4772 0566
 Email: main@udpgroup.com.au
 Web: www.udpgroup.com.au

PARKSIDE DEVELOPMENT PTY LTD

COSGROVE - STAGE 203
 COSGROVE DRIVE, COSGROVE
 BUILDING ENVELOPE & DRIVEWAY ACCESS PLAN - SHEET 2 OF 2

DRAWING SIZE	SCALE	DRAWING NO.	REV
A3	1:500	PAR-0217-CR-DESIGN	A