

NOTES:

- There are no existing or proposed
 - drainage features
 - retaining walls
 - stormwater detention
 - community purposes land
- Easements as shown
- The final intended use of all allotments is for residential except if otherwise marked purposes in accordance with Cosgrove Plan of Development
- There are no buildings or structures over the land relevant to this stage
- Access into each allotment shall be via the road frontage. Specific locations to be determined at time of detailed engineering design and preparation of access envelopes.

DESIGN CODE - ALL ALLOTMENTS

Type	House, Front Loaded
Lot Access	Front
Lot Depth (Min)	25m (20m where 15m width proposed)
Lot Width (Min)	12.5
Site Coverage	May exceed 50% in response to Code Requirements, but no more than 60% Site Coverage.
Setback Front Ground (min) and upper (min)	3.5m
Setback Front Garage	6m and 1.5m behind front of dwelling
Setback Principal Side Ground (min)	QDC
Setback Principal Side Upper (min)	QDC
Setback Secondary Road Frontage (min)	2m
Garage setback Secondary Road Frontage(min)	3.5m
Setback Principal Rear (min)	1.5m (*Sewer lines and manholes may enforce greater setbacks)
Outbuilding (Shed) Width (max)	Lesser of 50% of rear boundary or 9m
Outbuilding (Shed) Depth (max)	9m
Outbuilding (Shed) Rear Setback	0-1.0m
Outbuilding (Shed) Side Setback	Zero if lot 12.5m wide. As per Principal setback if lot >12.5m wide
Floor Height Principal (min)	400mm
Maximum Storeys	As per the Applicable Scheme
Private Open Space (min) (may be covered)	4mx4m
Parking (min)	Two (2), one of which must be covered

*Note: Clearances to sewer lines and manholes are required in accordance with council policy.

This plan is conceptual and for discussion purposes only. All areas, dimensions and land uses are preliminary, subject to investigation, survey, engineering, and Local Authority and Agency approvals.

PROPOSED RECONFIGURATION

Lots 157-165, 187-197 and 904
Cancelling Lot 900 on SP264422

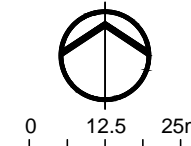
Parish of Coonambelah
County of Elphinstone
City of Townsville

CORNER SIGHT LINES

Comply with sight lines requirement of the Queensland Development code on road corners. This is typically a 9m x 9m exclusion zone based on boundaries.

For clipped corners, footpaths wider than 4.2m and lots with park frontages typically this is a 18m x 18m exclusion zone based on edge of traffic lane.

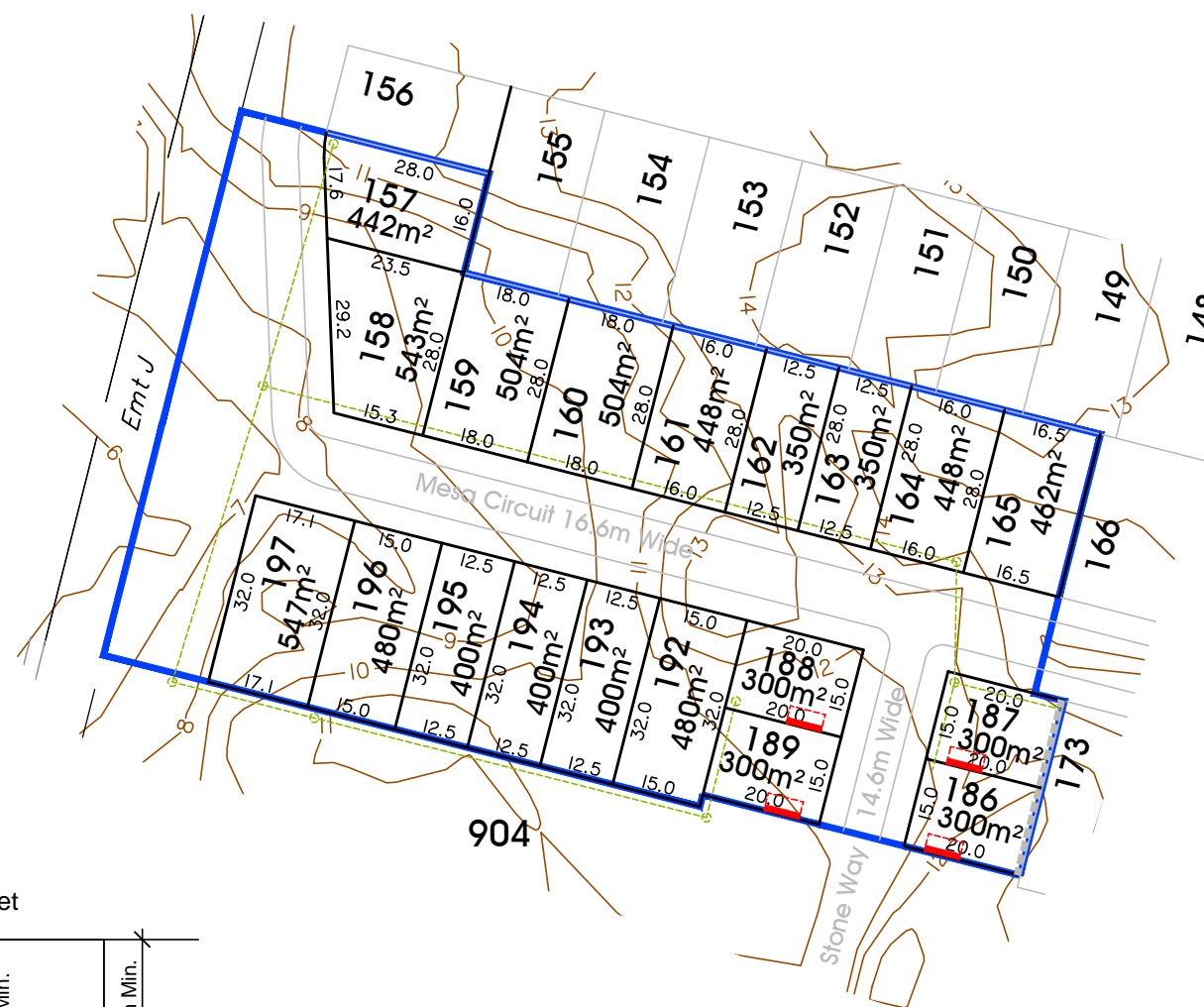
Rear access lanes are exempted from this requirement.



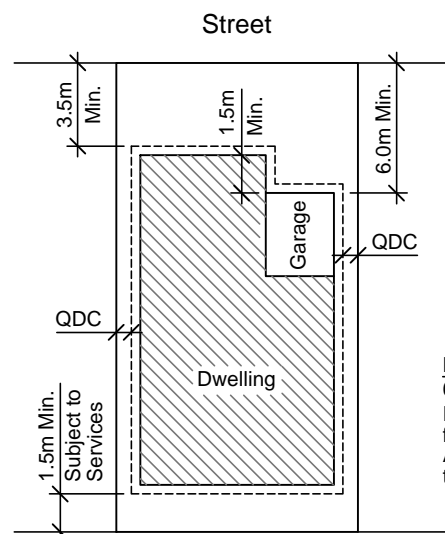
COSGROVE

STAGE 202

Total Stage Area 1.24 ha
Number of Lots 19
Average Lot Area 424m²
Total Length of New Road 222m



- 1.0m contour
- Stage Boundary
- Proposed Retaining Wall
- Assumed Sewer Layout
- Build to Boundary Setback



Note
60% Maximum Site Coverage
For front and secondary front setback to garage, measure from the front boundary to the garage opening (wall). All other setbacks are measured from the boundary to the outermost projection (including carports).

Typical Setback Requirements
Not to Scale



P 1300 267 878
W www.braziermotti.com.au

Date: 10th October, 2014
Scale: 1:1250 @ A3
Drawn: AJL
Job No: 27001/112-01
Plan No: 27001/092 E

SURVEY PLAN

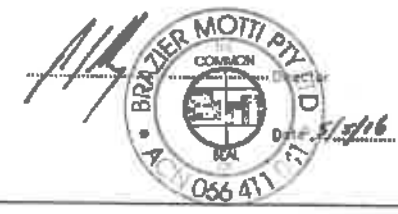
STN	TO	ORIGIN	BEARING	DIST
6	Corner of Top of Retaining Wall	8/SP278062	295°29'	0-035
9	Corner in Rd	9/SP278063	202°40'	4-385
10	Corner in Rd	10/SP2807462	330°05'30"	4-578
11	Corner in Rd	11/SP2807462	278°08'	10-305
12	Corner in Rd	12/SP2807462	232°07'30"	13-161
15a	Corner in Conc	15/SP2806574	303°17'40"	10-785
22	Corner in Rd	22/SP2806433	83°57'50"	5-75
24	Corner in Rd	24/SP2806941	263°07'	0-006
32	Corner in Rd	32/SP278063	76°34'	6-78
33a	Corner in Rd	33a/SP278063	1°07'	4-37
34	Corner in Rd	34/SP278063	81°02'	4-575
35	Corner in Rd	35/SP278063	328°57'	4-58
36	Corner in Rd	36/SP278063	317°18'	5-18
37	Corner in Rd	37/SP278063	70°42'	5-16
38	Corner in Rd	38/SP278063	41°25'	4-515
40	Corner in Prem Ramp	40/SP278063	91°38'	6-84
41	Corner in Saver M/H	41/SP278063	108°50'40"	15-665
42	Corner in Rd	42/SP280602	297°25'40"	40-785
45	Corner in Rd	45/SP280602	169°38'	5-83
48	Corner in Rd	48/SP280602	104°15'	1-12

Area of New Road
MESA CIRCUIT
 (12-11-43-44-45-9-8-35-38-39-40-41-42-12) **4035 m²**
STONE WAY
 (38-35-36-37-38) **438 m²**
Total Area **4473 m²**

LINE	BEARING	DISTANCE
1a-6	287°08'30"	365-445
1a-51a	299°02'15"	580-71
8-9	141°15'	18-6
11-12	284°14'15"	14-6
27-27a	84°07'40"	3-075
35-38	284°14'15"	14-8
38a-38b	284°14'15"	148-815
38-38a	300°53'50"	4-105
40-45	43°28'30"	19-02
45-51a	5°11'30"	186-465



BRAZIER MOTTI PTY LTD (ACN 096 411 040) hereby certify that the land comprised in this plan was surveyed by the corporation, by Fraser Scott WALKER, Cadastral Surveyor, for whom work the corporation accepts responsibility, and that the plan is accurate, that the said survey was performed in accordance with the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the said survey was completed on 10th September, 2018.



Plan of Lots 157-165, 186-189 and 192-197

Cancelling Lot 909 on SP280602
 LOCAL TOWNSVILLE CITY GOVERNMENT: COUNCIL LOCALITY: COSGROVE
 Meriton: MGA (Zone 55) v/c SP280602 Survey Records: No

Scale: **1:800**
 Format: **STANDARD**

SP280603

STATION	EASTING	NORTHING	ZONE	P.U.	LINEAGE	METHOD	REMARKS
PM090165	489 370-259	7 889 414-887	55	0-030	Derived	Traverse	OPM
PM090166	489 281-091	7 889 405-784	55	0-030	Derived	Traverse	OPM
PM090167	489 185-937	7 889 447-020	55	0-030	Derived	Traverse	New PM
PM090168	489 280-463	7 889 287-719	55	0-040	Derived	Ausgleich	OPM
PM090169	489 070-363	7 889 363-778	55	0-040	Derived	Ausgleich	OPM

PM	ORIGIN	BEARING	DIST	NO	TYPE
1a-OPM	1a/SP278062	Station	9/88-18		Mini Mk
27a-OPM	27a/SP2804433	at Station	882849		Mini Mk
38b-OPM	38b/SP278063	at Station	881233		Brass Peg
39a-PM	39a/SP278063	at Station	198517		Mini Mk in SW M/H Surround
51a-OPM	51a/SP278062	at Station	198838		Mini Mk

27001/114 STJ

**WARNING : Folded or Mutilated Plans will not be accepted.
Plans may be rolled.
Information may not be placed in the outer margins.**

(Dealing No.)

3. Lodged by

(Include address, phone number, reference, and Ledger Code)

1. Certificate of Registered Owners or Lessees.

1/We PARKSIDE DEVELOPMENT PTY LTD
A.C.N. 009 802 233

(Names in full)

*as Registered Owners of this land agree to this plan and dedicate the Public Use Land as shown hereon in accordance with Section 50 of the Land Title Act 1994.

*as Lessees of this land agree to this plan.

Signature of *Registered Owners *Lessees

Existing		Created		
Title Reference	Description	New Lots	Road	Secondary Interests
Lot 909 on SP280602		157-165, 186-189 and 192-197	New Rd	

EXISTING ADMINISTRATIVE ADVICE ALLOCATIONS

Administrative Advice	Lots to be Encumbered
712782882	157-165, 186-189 & 192-197
714701976	157-165, 186-189 & 192-197

* Rule out whichever is inapplicable

2. Planning Body Approval.

*
hereby approves this plan in accordance with the:
%

Dated this day of

* Insert the name of the Planning Body.
Insert designation of signatory or delegation

% Insert applicable approving legislation.

3. Plans with Community Management Statement :

CMS Number :
Name :

4. References :

Dept File :
Local Govt :
Surveyor : 27001-117-01 STJ
27001-114A 03/18

This plan to register after SP280602.

a. Building Format Plans only.

I certify that:
* As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or road.
* Part of the building shown on this plan encroaches onto adjoining lots and road

Cartographer/Surveyor/Director * Date

* date to words not required

a. Lodgement Fees :

Survey Deposit \$
Lodgement \$
..... New Titles \$
Photocopy \$
Postage \$
TOTAL \$

ii. Insert Plan Number

SP280603

157-165, 186-189 and 192-197 Lot 909 on SP280602

Lots	Orig

7. Orig Grant Allocation :

a. Passed & Endorsed :

By : BRAZER MOTT PTY LTD
Date : 5/5/18
Signed : [Signature]
Designation : Liaison Officer

Survey Report

- This plan subdivides the "super" Lot 909 created on SP280602.
- All OP's and existing reference marks located, agreed with the dimensions shown on SP264433, SP267462, SP276263 and SP280602 to within survey accuracies.
- The OP's shown from Stn 12 through Stn 11, then southwards and thence eastwards to Stn 50 confirmed the alignments shown as original on SP280602.
- No reinstatement was necessary as all original monuments and references were found from Lot 909. It having been surveyed just prior to this survey.
- MGA Meridian was previously checked on SP280602 by traversing between the OPM,s 198838 & 198839 and corners of Lot 909. Checks were also observed for the line between OPM186155 and PM198837 (38a-38b).

50 mm

100 mm

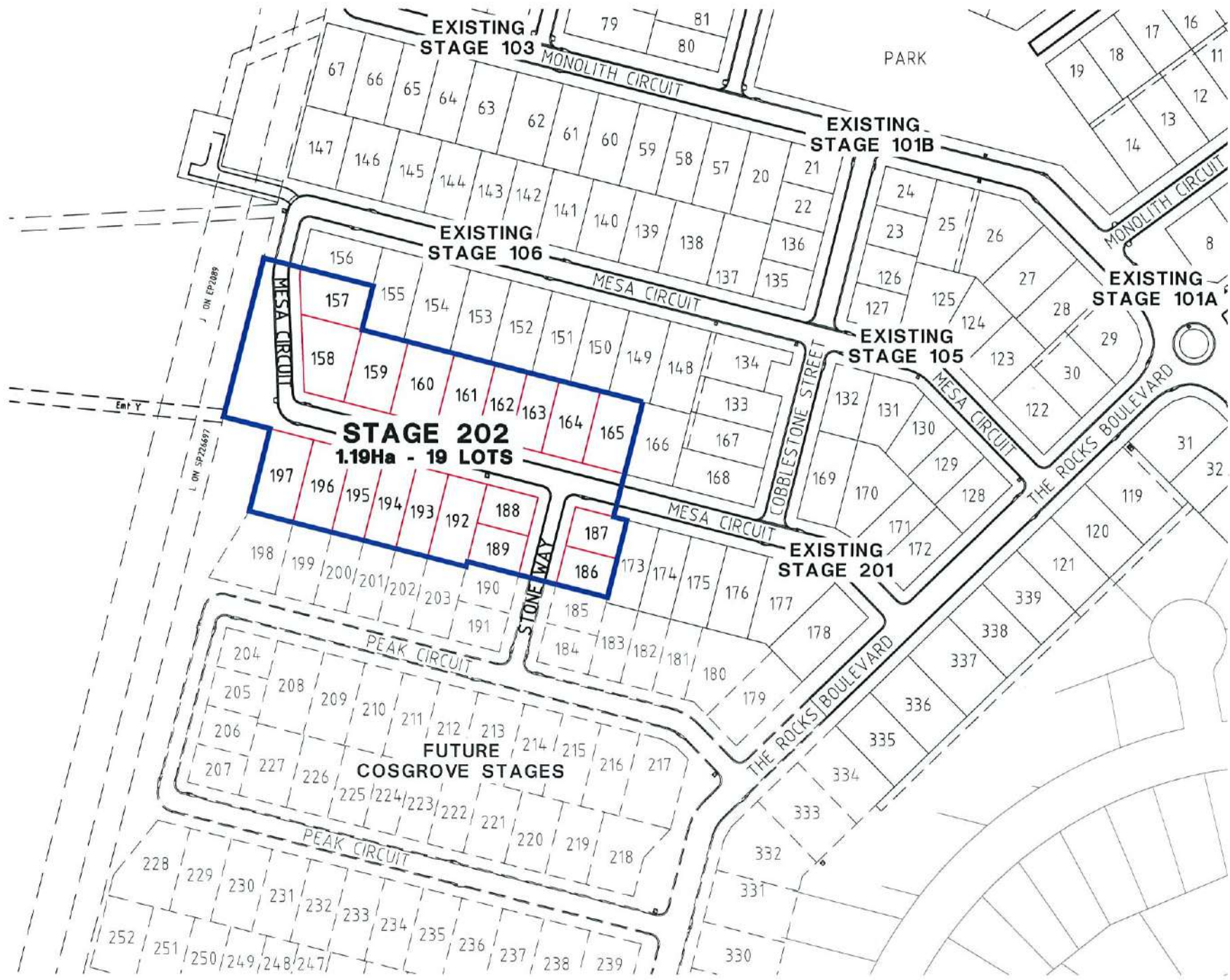
150 mm

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Insert
Plan
Number

SP280603

27001/114 STJ



SITE PLAN
SCALE 1:1000



LOCALITY PLAN
NTS

DRAWING SCHEDULE

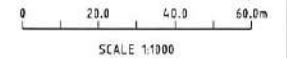
DRAWING NO.	NAME
AS-CONSTRUCTED SET DRAWINGS	
PAR-0216-100	LOCALITY PLAN, SITE PLAN & DRAWING SCHEDULE
PAR-0216-101	EARTHWORKS LAYOUT PLAN
PAR-0216-102	ROADWORKS & STORMWATER DRAINAGE PLAN
PAR-0216-103	MESA CIRCUIT LONGITUDINAL & TYPICAL CROSS SECTIONS
PAR-0216-104	STONE WAY LONGITUDINAL & TYPICAL CROSS SECTIONS
PAR-0216-105	ROADWORKS DETAILS PLAN
PAR-0216-106	Q2 STORMWATER LONGITUDINAL SECTION
PAR-0216-107	WATER RETICULATION PLAN
PAR-0216-108	SEWERAGE RETICULATION PLAN
PAR-0216-109	SEWERAGE LONGITUDINAL SECTIONS
PAR-0216-110	BUILDING ENVELOPE & DRIVEWAY ACCESS PLAN



Surveyors in Association:



surveying | town planning | project management | mapping and GIS
Brazier Motti Pty Ltd (ACN 066 411 041)



AS-CONSTRUCTED ISSUE

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595 Flinders Street, Townsville
Phone: 4772 1144 Fax: 4772 2557
Email: townsville@braziermotti.com.au
Job No: 27001/118-01

REAL PROPERTY DESCRIPTION:
LOTS 119-137 CANCELLING LOT 900 ON SP 252505

DRAWN: M.MOTTI	DATUM: AHD (DERIVED)
DESIGNED:	PSM 127952
CHECKED: <i>G. Campbell</i>	RL 9.066
PROJECT MANAGER: <i>P. Petersen</i>	E: 69522.193
	N: 91444.889
	PROJECT DIRECTOR: <i>D. Gibson</i>
	D.GIBSON RPEQ 13230

DALGETY PLACE
84 DENHAM STREET
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Phone: (07) 4772 0666
Fax: (07) 4772 0566
Email: main@udpgroup.com.au
Web: www.udpgroup.com.au

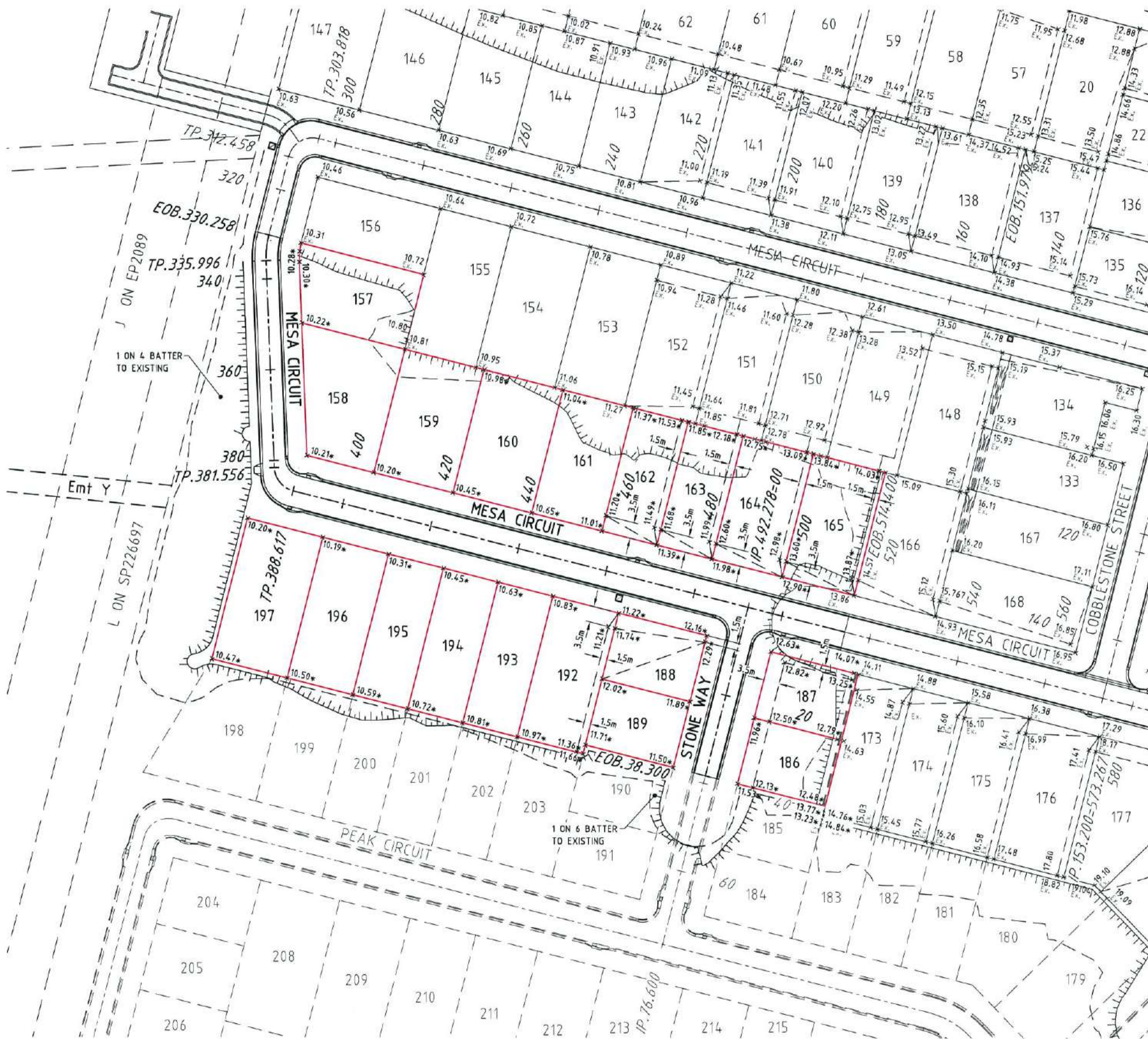
PARKSIDE DEVELOPMENT PTY LTD

COSGROVE - STAGE 202
COSGROVE DRIVE, COSGROVE
LOCALITY PLAN, SITE PLAN & DRAWING SCHEDULE

DRAWING SIZE A1	SCALE 1:1000	DRAWING No. PAR-0216-XR-ASCON	REV A
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REV.	DATE	REVISIONS
A	22/10/15	AS CONSTRUCTED ISSUE

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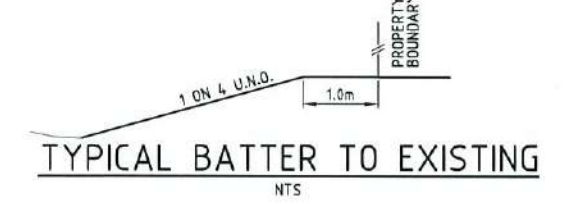
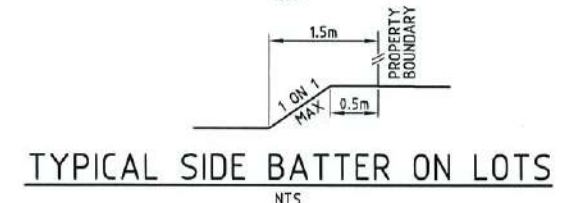


EARTHWORKS LEGEND

- 6.32* CERTIFIED FINISHED ALLOTMENT LEVEL
- 6.32 DENOTES EXISTING ALLOTMENT LEVEL
- TOP OF BATTER
- BOTTOM OF BATTER
- EXISTING RETAINING WALL

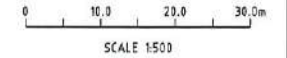
EARTHWORKS NOTES

1. ALL EARTHWORKS OPERATIONS UNDERTAKEN IN ACCORDANCE WITH THE PROJECT SPECIFICATION.
2. ALLOTMENTS GRADED EVENLY BETWEEN LEVELS SHOWN. MINIMUM FINISHED ALLOTMENT GRADE 1200.



Q100 LEVELS

MESA CIRCUIT		STONE WAY	
CHAINAGE	LEVEL	CHAINAGE	LEVEL
330.258	10.25	8.300	12.20
335.996	10.24	20	11.88
340	10.22	40	11.36
350	10.19		
376.556	10.18		
388.617	10.18		
400	10.18		
420	10.28		
440	10.53		
460	10.91		
480	11.72		
484.978	11.99		
500	12.86		
520	14.03		



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A	22/10/15	AS CONSTRUCTED ISSUE	

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595 Flinders Street, Townsville
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Email: townsville@braziermotti.com.au
Job No: 27001/118-01

REAL PROPERTY DESCRIPTION:
LOTS 119-137 CANCELLING LOT 900 ON SP 252505

DRAWN: M.MOTTI
DESIGNED:
CHECKED: G.CAMPBELL
PROJECT MANAGER: P.PETERSEN

DATUM: AHD (DERIVED)
PSM 127952
RL 9.066
E: 69522.193
N: 91444.889

PROJECT DIRECTOR: D.GIBSON RPEQ 13230

UDP
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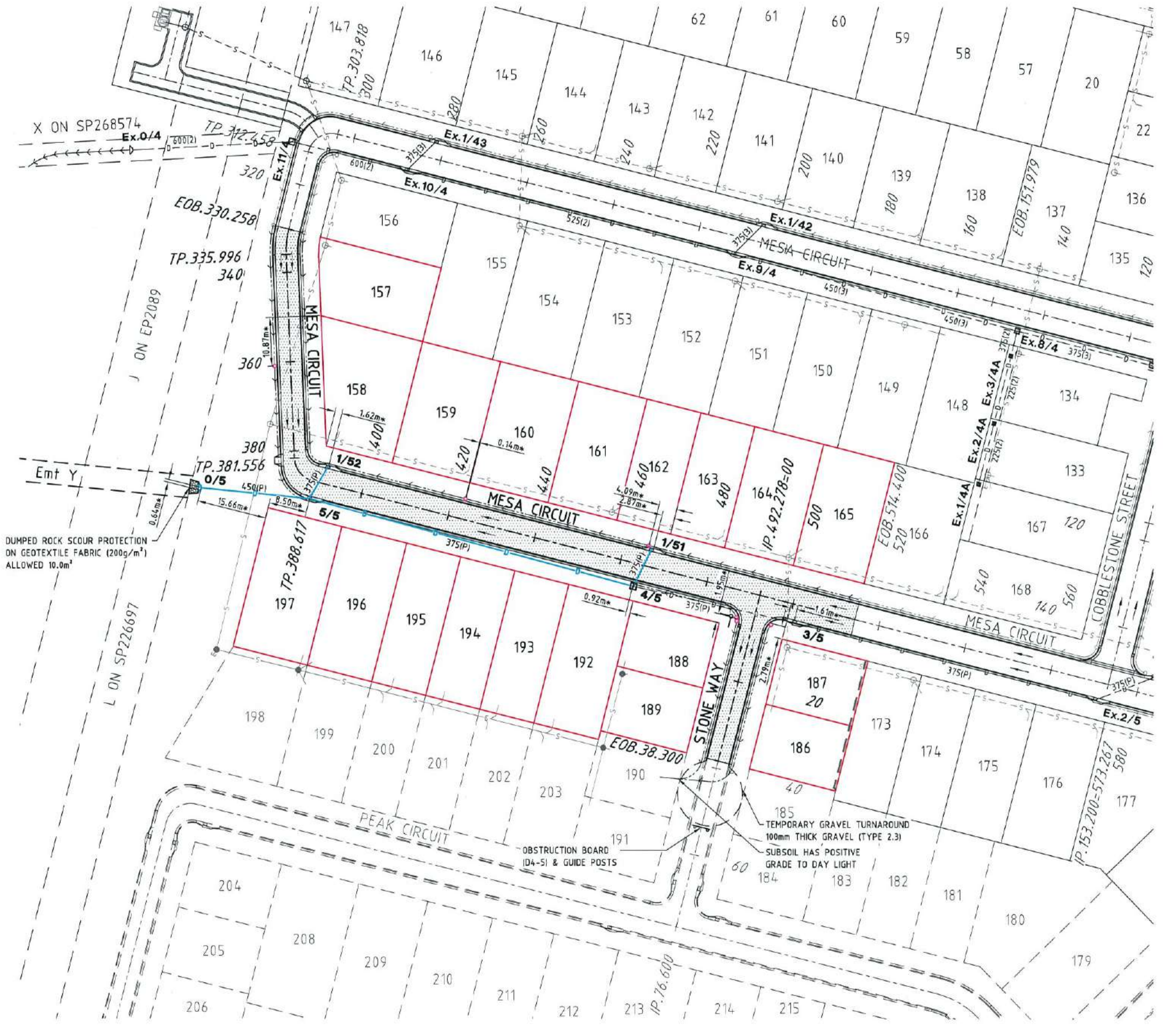
DALGETY PLACE
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PARKSIDE DEVELOPMENT PTY LTD

COSGROVE - STAGE 202
COSGROVE DRIVE, COSGROVE
EARTHWORKS LAYOUT PLAN

DRAWING SIZE	SCALE	1:500	DRAWING No.	PAR-0216-101	REV	A
A1	XREF	PAR-0216-XR-ASCON				



ROADWORKS LEGEND

- LAYBACK KERB AND CHANNEL (TYPE L1)
- BARRIER KERB AND CHANNEL (TYPE B1)
- DOUBLE STREET NAME PLATE
- DIRECTION OF KERB & CHANNEL FLOW
- SUBSOIL DRAIN & CLEANOUT POINT
- 30mm THICK ASPHALT REFER PAVEMENT DESIGN FOR DETAILS
- 1.5m WIDE KERB RAMP, UNLESS NOTED OTHERWISE

ROADWORKS NOTES

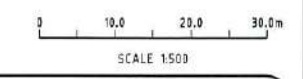
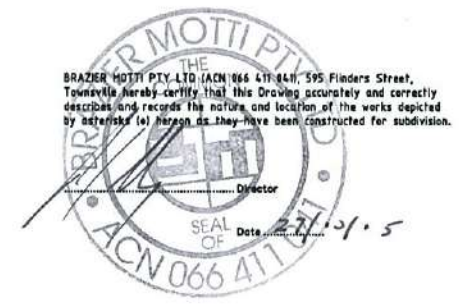
1. ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
2. FOR ROAD GRADING, LEVELS AND TYPICAL SECTIONS, REFER ROAD LONGITUDINAL/CROSS SECTION AND ROADWORKS DETAILS DRAWINGS.
3. FOR SUBSOIL DRAIN DETAILS, REFER DRAWING PAR-0216-105.
4. ALL SUBSOIL DRAINS GRADED AT MINIMUM 0.5% FROM HIGH POINT TO OUTLET, UNLESS NOTED OTHERWISE.
5. SUBSOIL DRAIN REVERSED GRADED AT MINIMUM 0.5% TO ENSURE POSITIVE GRADE.

STORMWATER LEGEND:

- STORMWATER DRAINAGE LINE
- 3/1 STORMWATER MANHOLE (MANHOLE NO./LINE NO.)
- 1/12 KERB INLET PIT (PIT NO./LINE NO.)
- EXISTING STORMWATER DRAINAGE LINE
- EXISTING STORMWATER MANHOLE (MANHOLE NO./LINE NO.)
- EXISTING KERB INLET PIT (PIT NO./LINE NO.)
- SEWERAGE RETICULATION
- EXISTING SEWERAGE RETICULATION

STORMWATER NOTES

1. ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
2. FOR STORMWATER LEVELS, PIPE LENGTHS, PIPE CLASS AND STRUCTURE TYPES, REFER STORMWATER LONGITUDINAL DRAWINGS.
3. ALL PIPE AND BOX CULVERT CUTS MADE USING A MASONRY SAW.
4. ALL TRENCHES UNDER ROAD PAVEMENT BACKFILLED WITH CRUSHER DUST TO SUBGRADE LEVEL.
5. FOR REVEGETATION DETAILS REFER TO PROJECT SPECIFICATION.
6. REFER DETAIL ON DRAWING PAR-0216-105 FOR TYPICAL SUBSURFACE DRAINAGE TO STORMWATER MANHOLES.
7. FOR STORMWATER KERB INLET TRANSITION DETAILS, REFER DRAWING PAR-0216-105.



AS-CONSTRUCTED ISSUE

REV.	DATE	AS CONSTRUCTED ISSUE	REVISIONS
A	22/10/15	AS CONSTRUCTED ISSUE	

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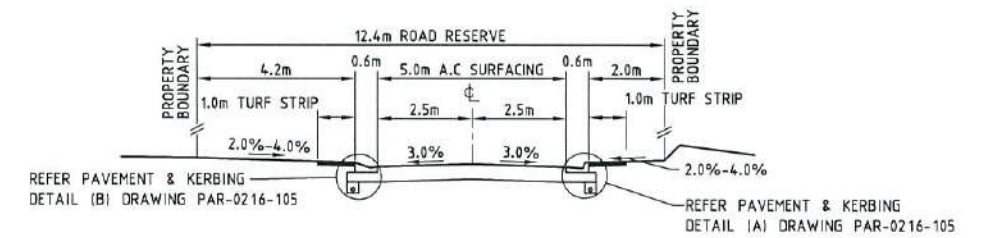
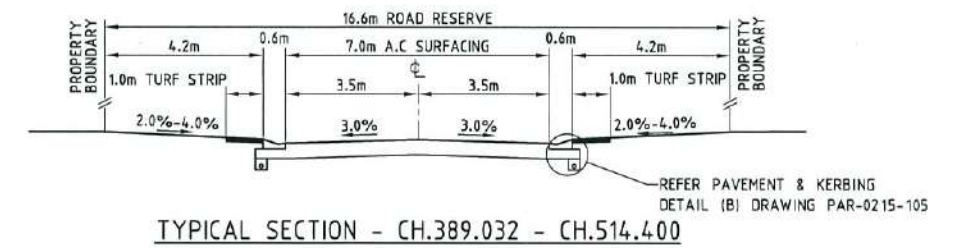
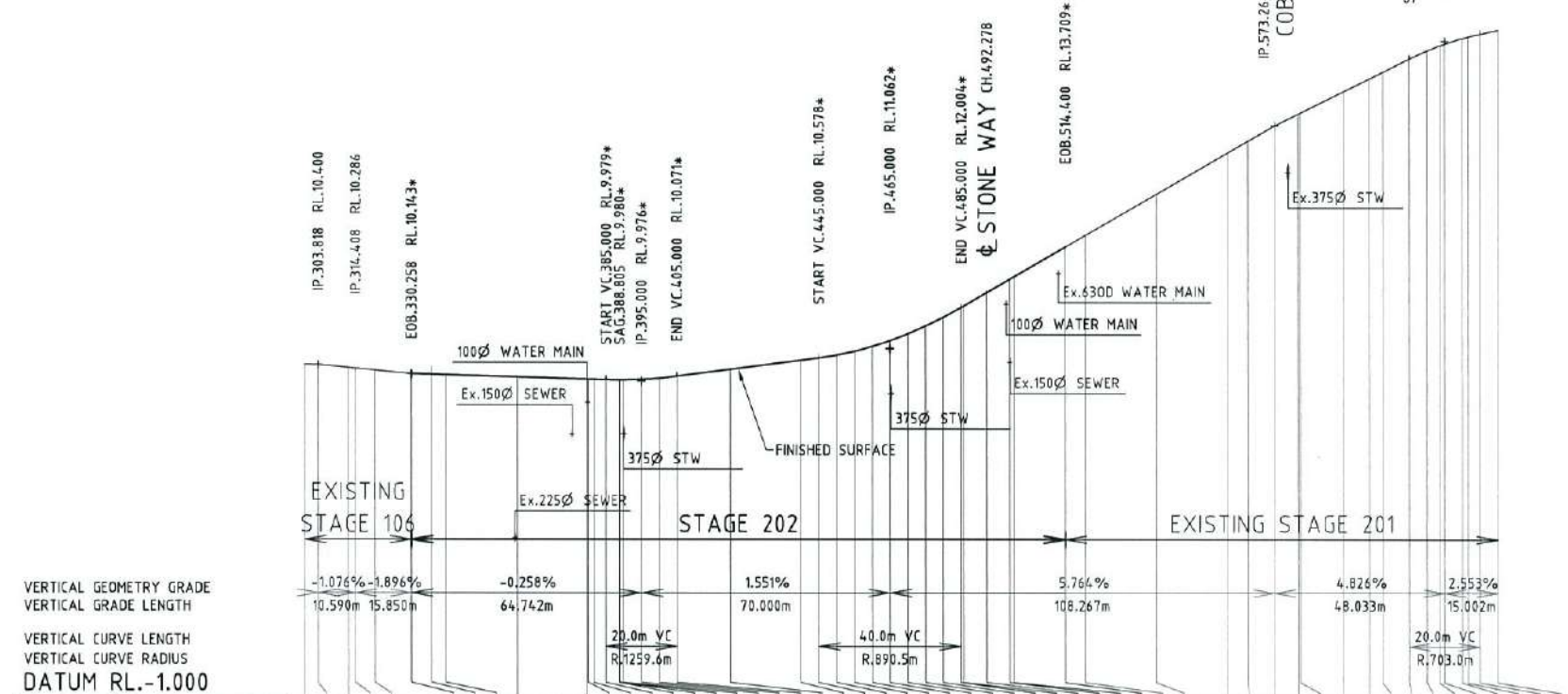
PARKSIDE DEVELOPMENT PTY LTD

COSGROVE - STAGE 202
COSGROVE DRIVE, COSGROVE
ROADWORKS & STORMWATER DRAINAGE PLAN

DRAWING SIZE A1	SCALE XREF	SCALE 1:500	DRAWING No. PAR-0216-XR-ASCON	REV A
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APPROVED PAVEMENT DESIGN
MESA CIRCUIT CH.330.258 - CH.514.400

30mm ASPHALT SURFACING (DG10)
 125mm BASE COURSE (DMR TYPE 2.1)
 125mm SUB BASE COURSE (DMR TYPE 2.3)



MESA CIRCUIT TYPICAL CROSS SECTIONS
 SCALE 1:100

Vertical Curve Length	Vertical Curve Radius	Vertical Curve Start	Vertical Curve End	Vertical Curve IP	Vertical Curve RL	Vertical Curve EOB	Vertical Curve EOB RL
10.590m	15.850m	300.000	307.810	303.818	10.307	314.408	10.286
64.742m	20.0m	330.258	395.000	385.000	9.914	405.000	10.071
70.000m	40.0m	445.000	514.400	485.000	12.004	514.400	13.709
108.267m	20.0m	611.300	631.300	621.300	18.993	631.300	19.699
48.033m	20.0m	631.300	651.300	641.300	19.699	651.300	20.600
15.002m	20.0m	651.300	671.300	661.300	21.600	671.300	23.600

Station	RHS Lip of Kerb Levels	LHS Lip of Kerb Levels	RHS Lip of Kerb Grades (%)	LHS Lip of Kerb Grades (%)	Control Line Finished Level	Control Line Chainage
300	10.307	10.308	0.355	0.370	10.419	300
307.810	10.289	10.290	0.471		10.400	307.810
312.458	10.232	10.233	0.660		10.320	312.458
314.408	10.273	10.274	0.462		10.286	314.408
320	10.173	10.174	0.894		10.235	320
330.258	10.087	10.088	-0.819	-0.994	10.143	330.258
335.296	10.038	10.039	-0.854	-0.593	10.127	335.296
340	10.022	10.023	-0.400	-0.225	10.110	340
360	9.961	9.962	-0.305	-0.320	10.043	360
379.803	9.914	9.915	-0.237	-0.298	9.985	379.803
380	9.913	9.914	-0.508		9.985	380
381.556	9.909	9.910	-0.257		9.982	381.556
385.000	9.853	9.854	-0.532		9.979	385.000
388.617	9.852	9.853	-0.881		9.980	388.617
388.805	9.851	9.852	-0.207		9.980	388.805
389.032	9.850	9.851	-0.207		9.981	389.032
390	9.850	9.851	0.620	0.723	9.981	390
395.000	9.881	9.882	0.580	0.280	9.976	395.000
400	9.910	9.911	1.020	1.000	10.015	400
405.000	10.153	10.154	1.120	1.307	10.071	405.000
420	10.414	10.415	1.305	1.300	10.240	420
440	10.475	10.476	1.300	1.200	10.504	440
445.000	10.559	10.560	1.600	1.740	10.578	445.000
450	10.672	10.673	2.040	2.200	10.665	450
455.000	10.799	10.800	2.760	2.740	10.779	455.000
460	10.971	10.972	3.440	3.120	10.914	460
465.000	11.154	11.155	3.660	3.760	11.062	465.000
470	11.317	11.318	4.260	4.360	11.249	470
480	11.618	11.619	4.880	4.940	11.467	480
485.000	11.890	11.891	5.580	5.340	11.719	485.000
485.828	11.932	11.933	5.676	5.816	12.004	485.828
492.278	12.307	12.308	6.289	5.907	12.412	492.278
498.728	12.680	12.681	6.211	6.211	12.795	498.728
500	12.740	12.741	6.020	5.840	12.869	500
514.400	13.608	13.609	5.768	5.625	13.709	514.400
520	13.923	13.924	5.740	5.780	14.026	520
540	15.073	15.074	5.750	5.780	15.184	540
560	16.224	16.225	5.725	5.780	16.344	560
565.817	16.560	16.561	5.776	5.931	16.681	565.817
573.267	16.979	16.980	5.624	5.638	17.091	573.267
580	17.331	17.332	5.169	5.005	17.428	580
580.717	17.358	17.359	4.324	5.160	17.463	580.717
592.654	17.969	17.970	5.119	4.943	18.082	592.654
600	18.329	18.330	4.901	5.050	18.432	600
603.72	18.489	18.490	4.301	4.758	18.617	603.72
611.300	18.860	18.861	4.849	4.849	18.993	611.300
616.300	19.088	19.089	4.560	4.560	19.213	616.300
620	19.253	19.254	3.649	4.108	19.360	620
621.300	19.280	19.281	4.395	4.077	19.409	621.300
626.300	19.437	19.438	3.140	2.740	19.566	626.300
627.852	19.512	19.513	3.157	4.446	19.604	627.852
631.300	19.486	19.487			19.699	631.300
636.302	19.486	19.487			19.792	636.302

MESA CIRCUIT LONGITUDINAL SECTION
 SCALE 1:100 VERTICAL, SCALE 1:1000 HORIZONTAL

NOTES:

1. FOR LEVEL INFORMATION REFER ROADWORKS DETAILS PLAN.

AS-CONSTRUCTED ISSUE	
REV.	DATE
A	22/10/15
AS CONSTRUCTED ISSUE	

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 Email: townsville@braziermotti.com.au
 Job No: 27001/118-01

REAL PROPERTY DESCRIPTION:
 LOTS 119-137 CANCELLING LOT 900 ON SP 252505

DRAWN: M.MOTTI
DESIGNED:
CHECKED: G.CAMPBELL
PROJECT MANAGER: P.PETERSEN

DATUM: AHD (DERIVED)
 PSM 127952
 RL.9.066
 E: 69522.193
 N: 91444.889

PROJECT DIRECTOR: D.GIBSON RPEQ 13230

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 Excellence Through Partnerships

DALGETY PLACE
 84 DENHAM STREET
 PO BOX 1110
 TOWNSVILLE QLD 4810

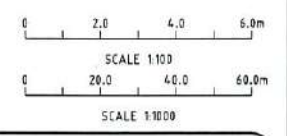
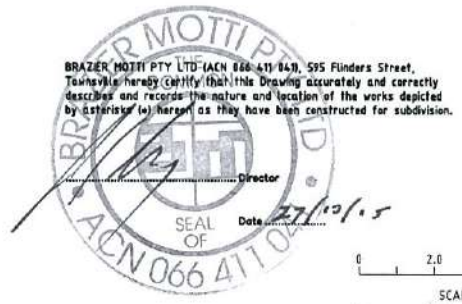
Phone: (07) 4772 0666
 Fax: (07) 4772 0566
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 Web: www.udpgroup.com.au

PARKSIDE DEVELOPMENT PTY LTD
 COSGROVE - STAGE 202
 COSGROVE DRIVE, COSGROVE
 MESA CIRCUIT LONGITUDINAL & TYPICAL CROSS SECTIONS

DRAWING No. **PAR-0216-103**

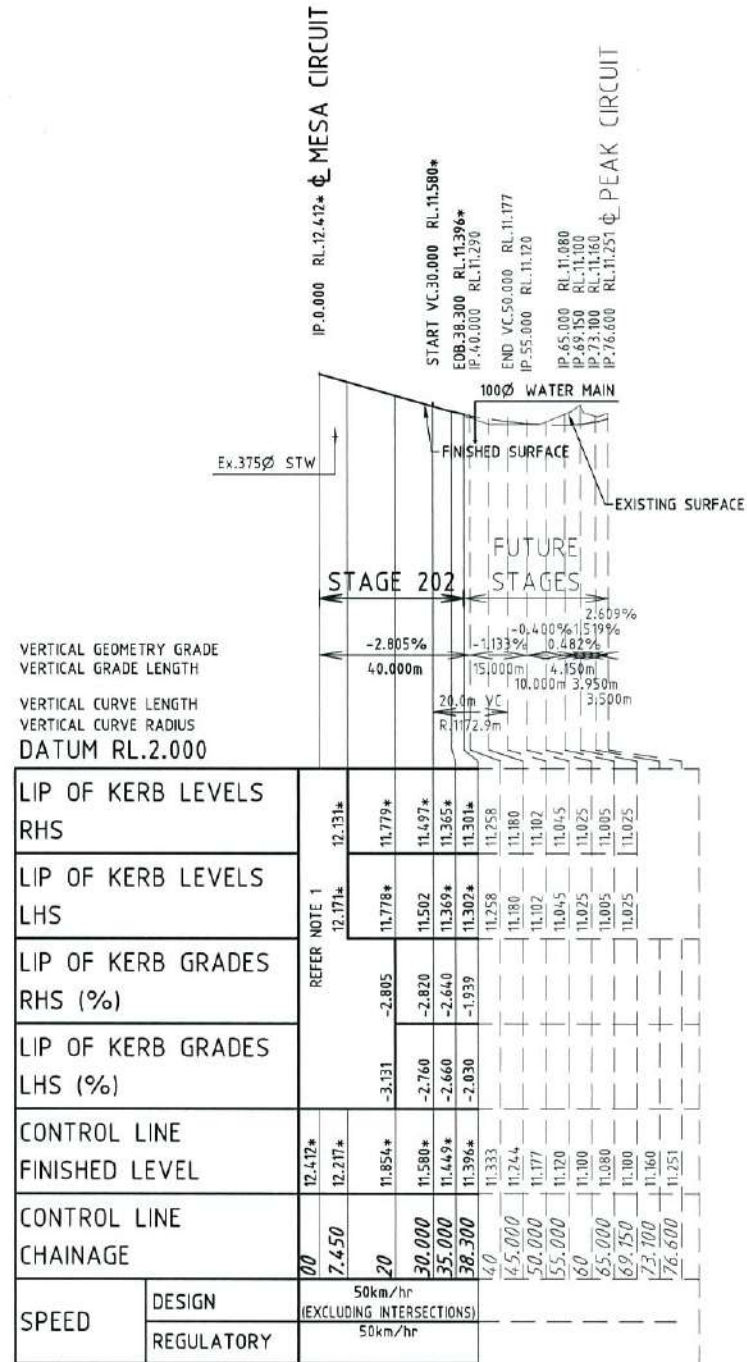
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 SCALE: XREF
 AS SHOWN

REV: **A**

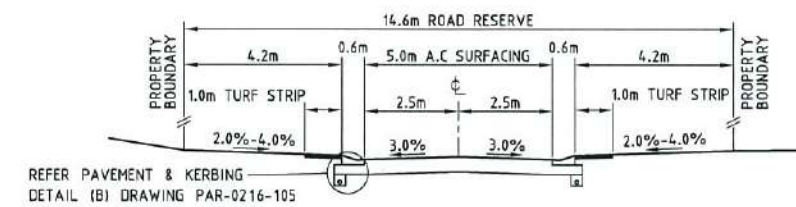


APPROVED PAVEMENT DESIGN
STONE WAY CH.00 - CH.38.300

30mm ASPHALT SURFACING (DG10)
 125mm BASE COURSE (DMR TYPE 2.1)
 125mm SUB BASE COURSE (DMR TYPE 2.3)



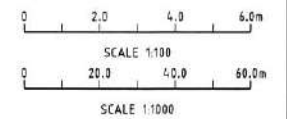
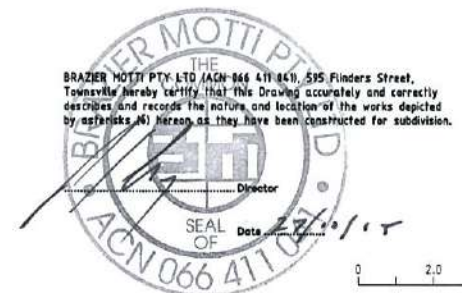
STONE WAY LONGITUDINAL SECTION
 SCALE 1:100 VERTICAL, SCALE 1:1000 HORIZONTAL



STONE WAY TYPICAL CROSS SECTION
 SCALE 1:100

NOTES:

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PROJECT MANAGER: P.PETERSEN

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 RL.9.066
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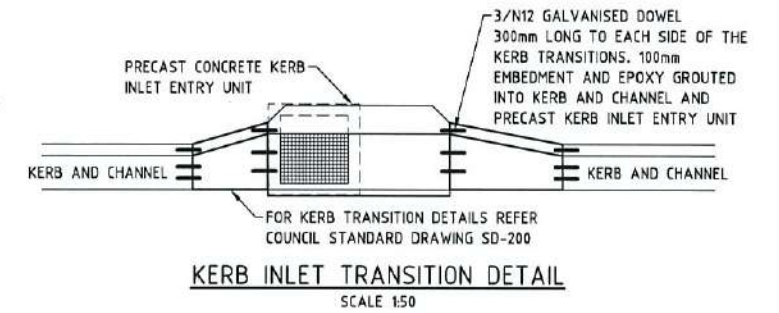
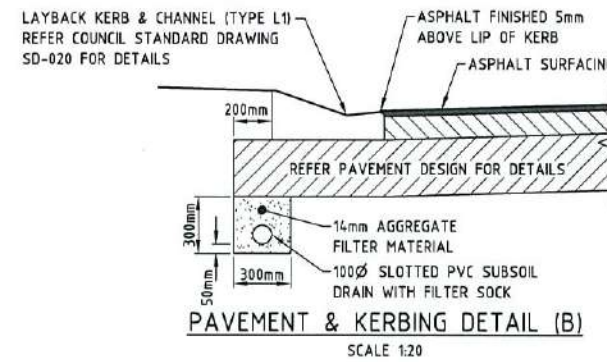
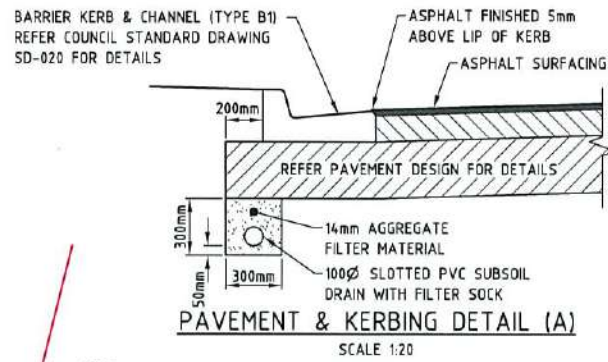
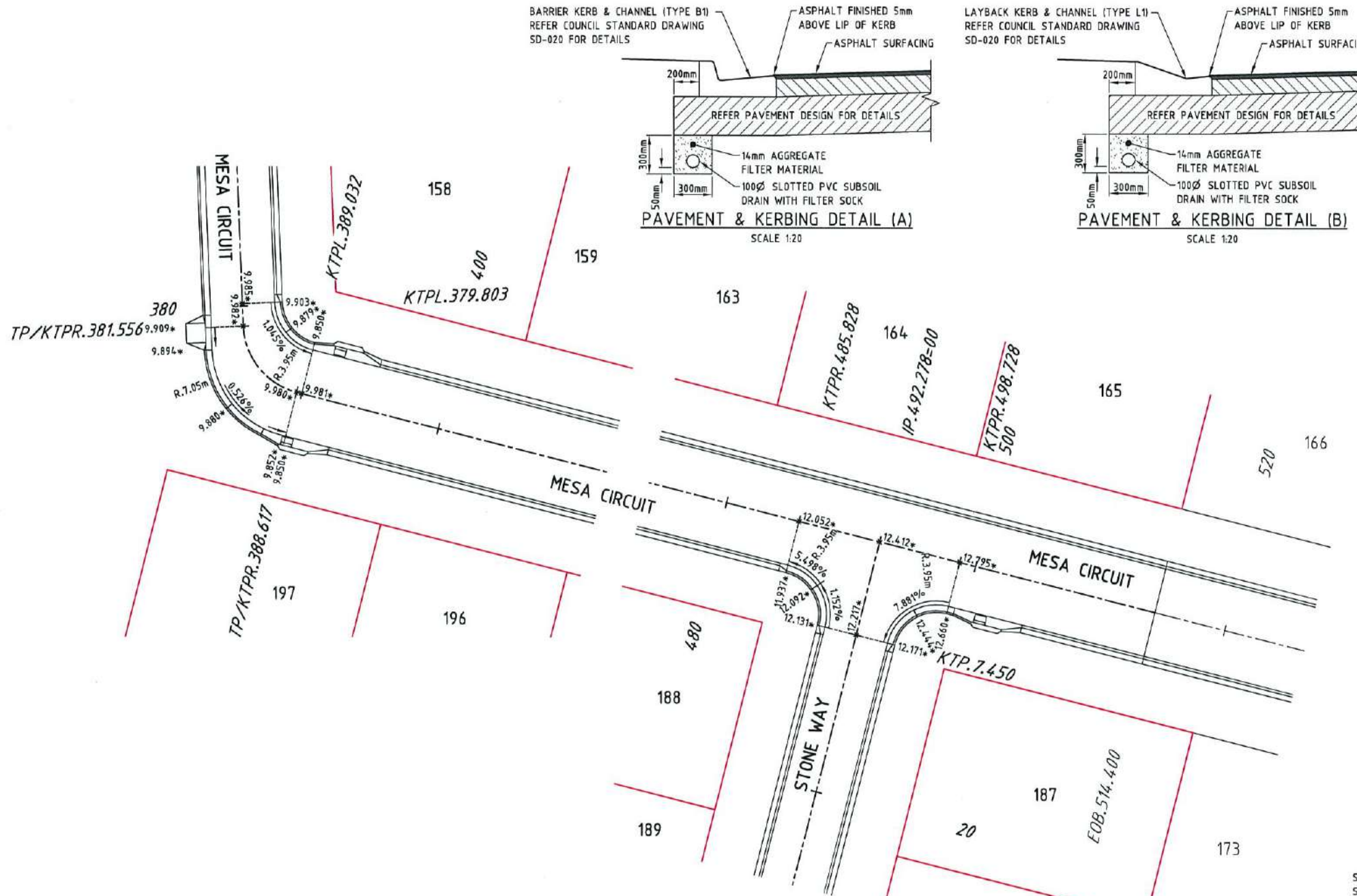
PROJECT DIRECTOR: D.GIBSON RPEQ 13230

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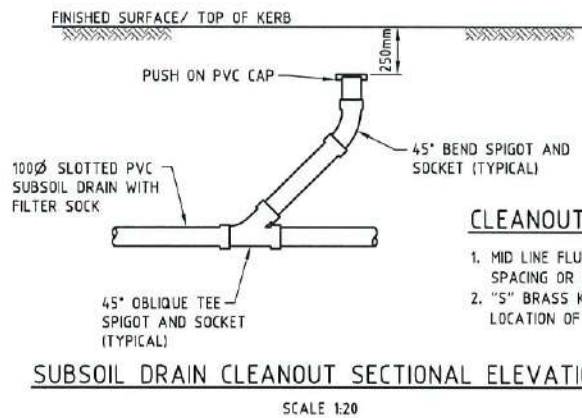
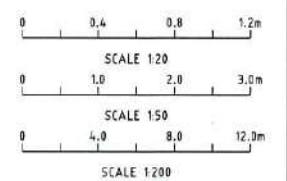
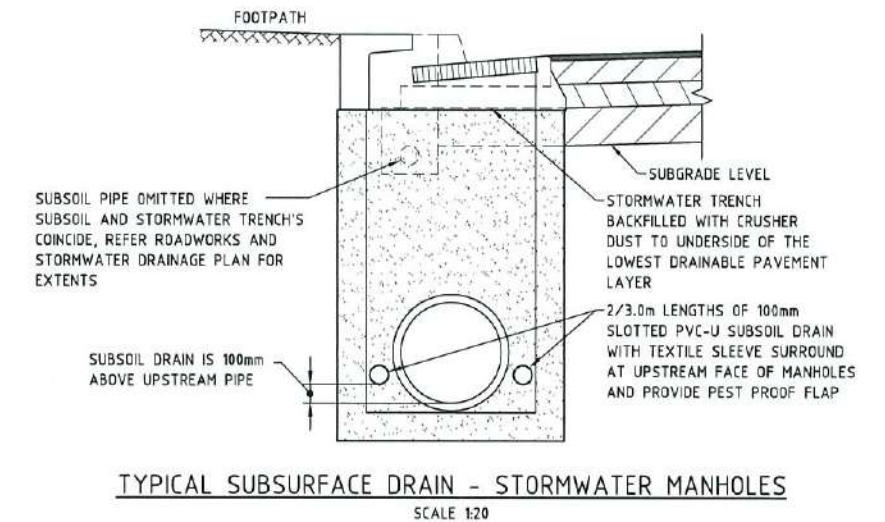
PARKSIDE DEVELOPMENT PTY LTD			
COSGROVE - STAGE 202 COSGROVE DRIVE, COSGROVE STONE WAY LONGITUDINAL & TYPICAL CROSS SECTIONS			
DRAWING SIZE	SCALE	AS SHOWN	DRAWING No.
A1	XREF	-	PAR-0216-104
			REV
			A



ROADWORKS DETAILS
SCALE 1:200



- ROADWORKS DETAILS NOTES**
- ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
 - ALL RADII, AND LEVEL INFORMATION IS TO LIP OF KERB UNLESS NOTED OTHERWISE.



- CLEANOUT POINT NOTES**
- MID LINE FLUSH POINT AT 60m MAXIMUM SPACING OR WHERE SHOWN ON LAYOUT PLAN
 - "S" BRASS KERB MARKER TO INDICATE LOCATION OF CLEANOUT POINT

BRAZIER MOTTI
DIRECTOR
Date: 22/10/15
ACN 066 411 181

AS-CONSTRUCTED ISSUE	
REV.	DATE
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Job No: 27001/118-01

REAL PROPERTY DESCRIPTION:
LOTS 119-137 CANCELLING LOT 900 ON SP 252505

DATE: AHD (DERIVED)
PSM 127952
RL 9.066
E: 69522.193
N: 91444.889

PROJECT DIRECTOR:
D.GIBSON RPEQ 13230

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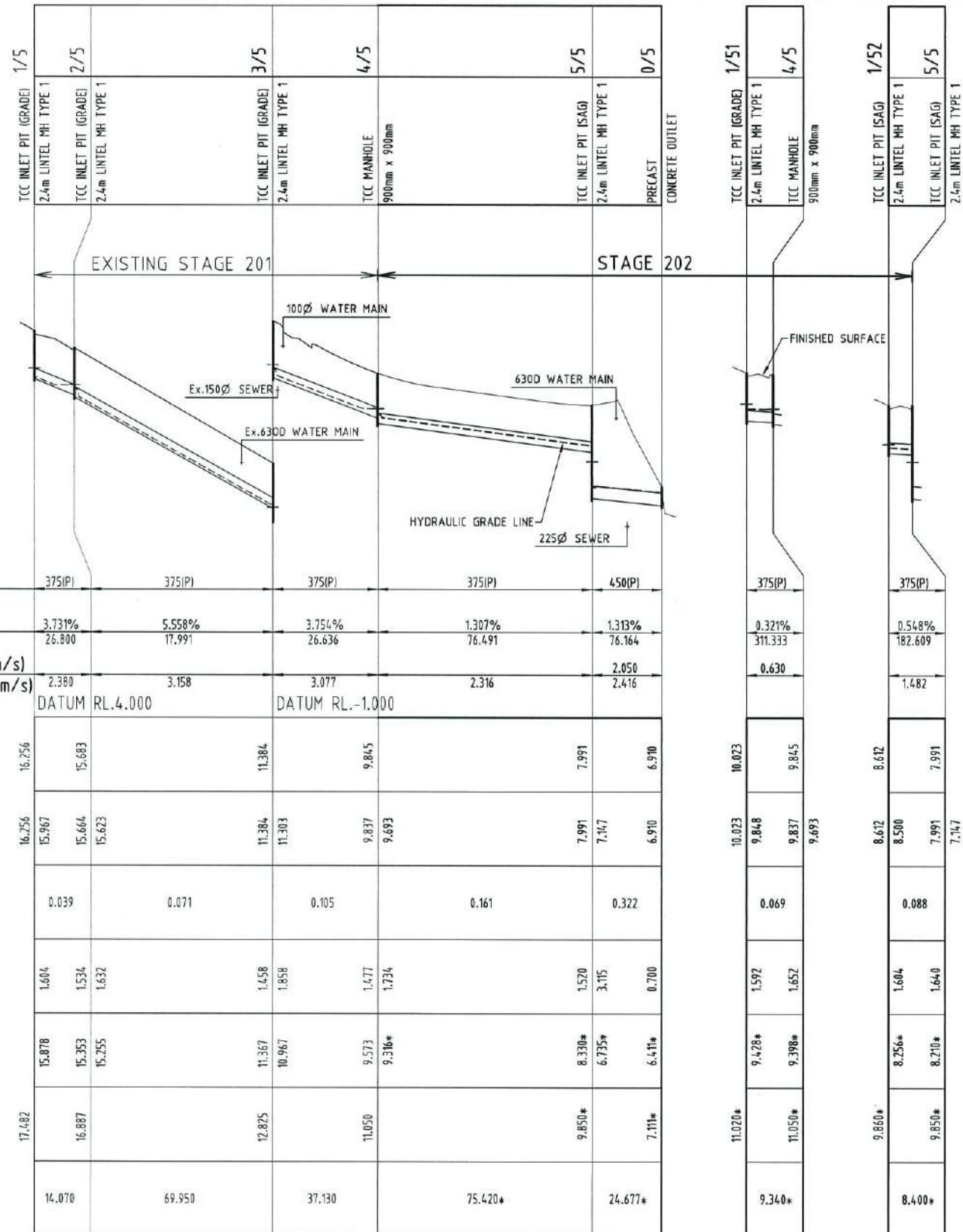
PARKSIDE DEVELOPMENT PTY LTD			
COSGROVE - STAGE 202 COSGROVE DRIVE, COSGROVE ROADWORKS DETAILS PLAN			
DRAWING SIZE	SCALE	AS SHOWN	DRAWING No.
A1	XREF	PAR-0216-XR-ASCON	PAR-0216-105
REV			A

STORMWATER NOTES

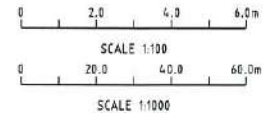
1. ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
2. STRUCTURE LENGTH IS TO CENTRE OF MANHOLE OR CENTRE OF STANDARD KERB INLET CHAMBER.
3. FOR STORMWATER ALIGNMENT, REFER TO STORMWATER LAYOUT DRAWING.
4. ALL POLYPROPYLENE DRAINAGE PIPES RUBBER RING, UNLESS NOTED OTHERWISE. FOR MANHOLE CONNECTION DETAILS REFER PAR-0215-105.
5. ALL UPVC DRAINAGE PIPES RUBBER RING JOINTED CONFORMING TO AS1254.
6. ALL POLYPROPYLENE DRAINAGE PIPES IN ACCORDANCE WITH AS5065.
7. REFER DETAIL ON DRAWING PAR-0216-105 FOR TYPICAL SUBSURFACE DRAINAGE TO STORMWATER MANHOLES.
8. PIPE CLASS: (P) - POLYPROPYLENE

STRUCTURE NAME
STRUCTURE DESCRIPTION

PIPE SIZEmm (Class)	375(P)	375(P)	375(P)	375(P)	450(P)	375(P)	375(P)
PIPE GRADE %	3.731%	5.558%	3.754%	1.307%	1.313%	0.321%	0.548%
PIPE SLOPE 1 in X	26.800	17.991	26.636	76.491	76.164	311.333	182.609
FULL PIPE FLOW VELOCITY (m/s)	2.380	3.158	3.077	2.316	2.050	0.630	1.482
PART FULL FLOW VELOCITY (m/s)	DATUM RL.4.000		DATUM RL.-1.000		2.416		
WATER LEVEL IN STRUCTURE	16.256	15.683	11.384	9.845	7.991	6.910	
HYDRAULIC GRADE LEVEL	16.256	15.967	15.664	15.623	11.384	11.303	9.837
PIPE FLOW (Cumecs)	0.039	0.071	0.105	0.161	0.322	0.069	0.088
DEPTH TO INVERT	1.604	1.534	1.632	1.458	1.858	1.477	1.734
INVERT LEVEL OF DRAIN	15.878	15.353	15.255	11.367	10.967	9.573	9.316*
FINISHED SURFACE LEVEL (TOP OF KERB)	17.482	16.887	12.825	11.050	9.850*	6.735*	6.441*
PIPE LENGTH	14.070	69.950	37.130	75.420*	24.677*		



Q2 STORMWATER LONGITUDINAL SECTIONS
SCALE 1:100 VERTICAL, SCALE 1:1000 HORIZONTAL



AS-CONSTRUCTED ISSUE		
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A	22/10/15	AS CONSTRUCTED ISSUE

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Email: townsville@braziermotti.com.au
Job No: 27001/118-01

REAL PROPERTY DESCRIPTION:
LOTS 119-137 CANCELLING LOT 900 ON SP 252505

DRAWN: M.MOTTI
DESIGNED:
CHECKED: G.CAMPBELL
PROJECT MANAGER: P.PETERSEN

DATUM: AHD (DERIVED)
PSM 127952
RL.9.066
E: 69522.193
N: 91444.889

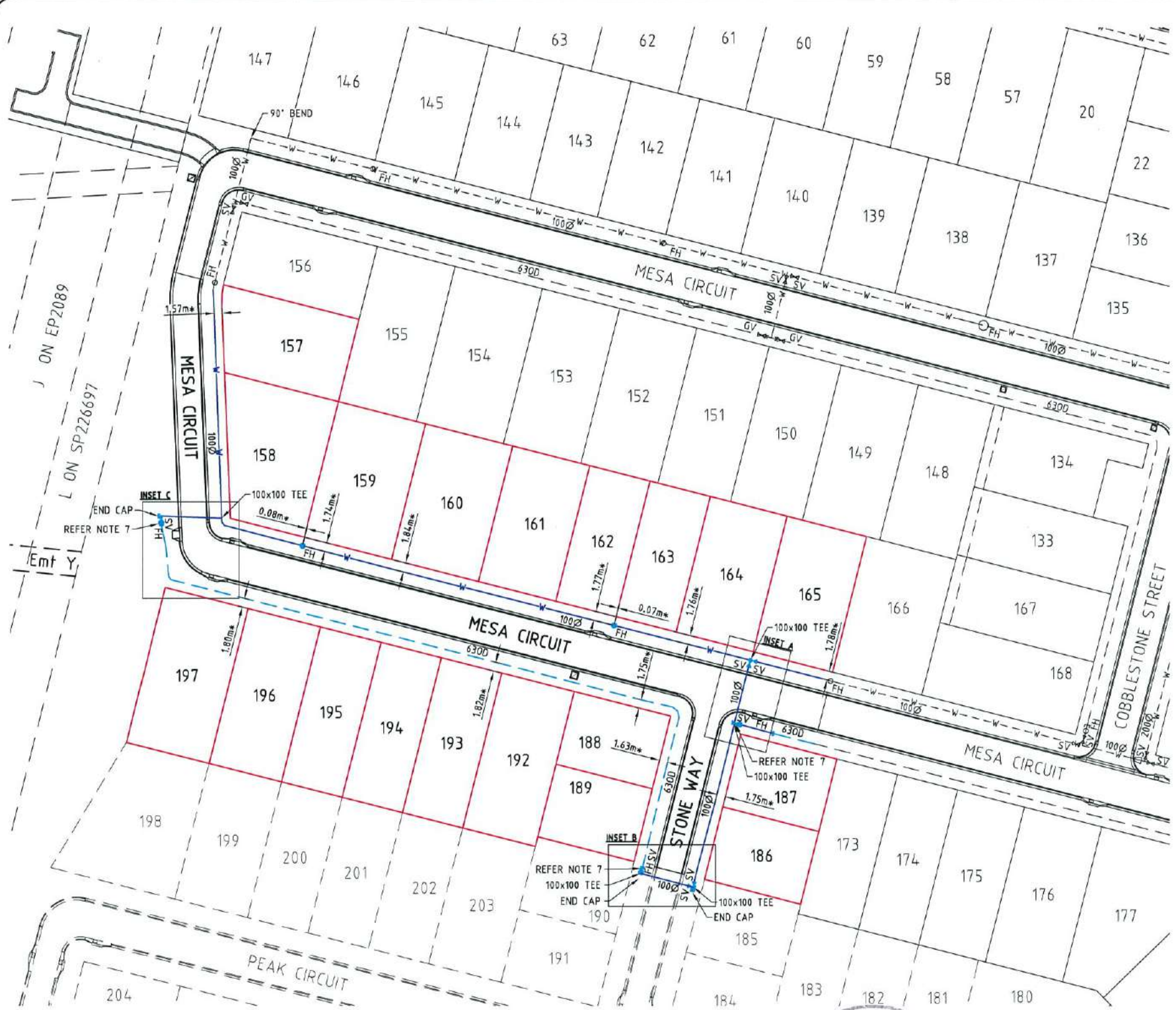
PROJECT DIRECTOR: D.GIBSON RPEQ 13230

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PARKSIDE DEVELOPMENT PTY LTD			
COSGROVE - STAGE 202			
COSGROVE DRIVE, COSGROVE			
Q2 STORMWATER LONGITUDINAL SECTION			
DRAWING SIZE	SCALE	AS SHOWN	DRAWING No.
A1	XREF	-	PAR-0216-106
			REV A

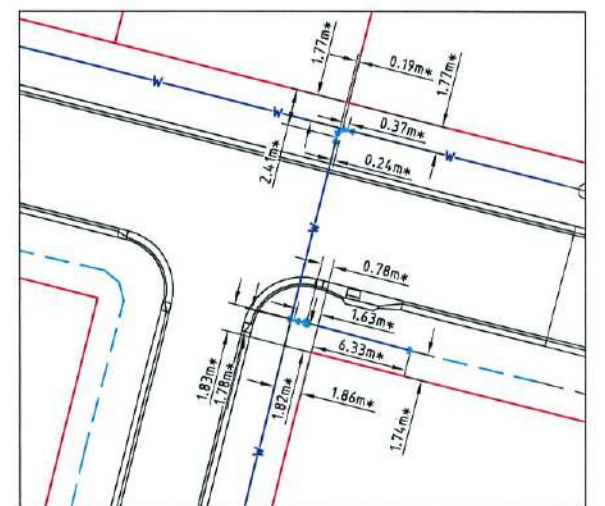


WATER LEGEND

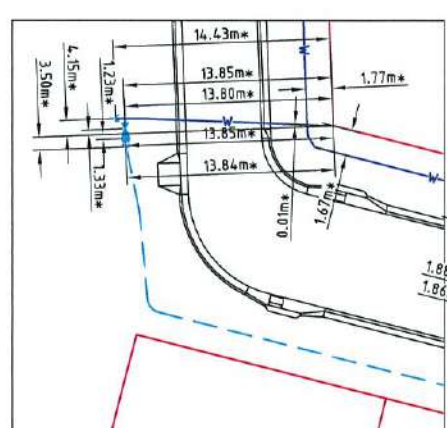
- 100mm WATER MAIN AND DIAMETER
- 630mm POLYETHYLENE WATER MAIN AND DIAMETER
- FIRE HYDRANT, VALVE AND REDUCER
- GATE VALVE
- EXISTING WATER MAIN, VALVE AND HYDRANT

WATER NOTES

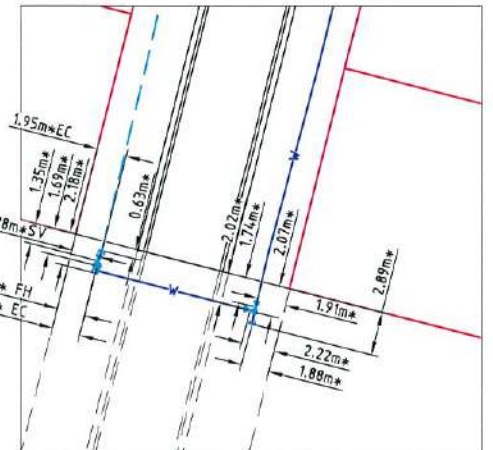
1. ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND PROJECT SPECIFICATION.
2. ALL WATER MAINS ARE LOCATED ON A 1.8m ±0.1m ALIGNMENT OFFSET FROM PROPERTY BOUNDARIES, UNLESS NOTED OTHERWISE.
3. ALL UPVC MAINS ARE CLASS PN16 SERIES 2 COMPATIBLE TO AS 1477 RUBBER RING JOINTED, WITH SOCKETED DICI FITTINGS UNLESS NOTED OTHERWISE.
4. ALL 6300 MAINS POLYETHYLENE CLASS PN16 TO AS 4130.
5. ALL TRENCHES UNDER ROAD PAVEMENT BACKFILLED WITH CRUSHER DUST TO SUBGRADE LEVEL.
6. CONNECTION TO EXISTING WATER MAINS CARRIED OUT BY COUNCIL AT THE CONTRACTORS EXPENSE.
7. REFER TCC STANDARD DRAWING SD-315 FOR PVC TO PE SERVICE MAIN CONNECTION DETAIL.



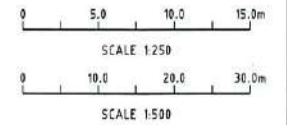
INSET A
SCALE 1:250



INSET C
SCALE 1:250



INSET B
SCALE 1:250



AS-CONSTRUCTED ISSUE

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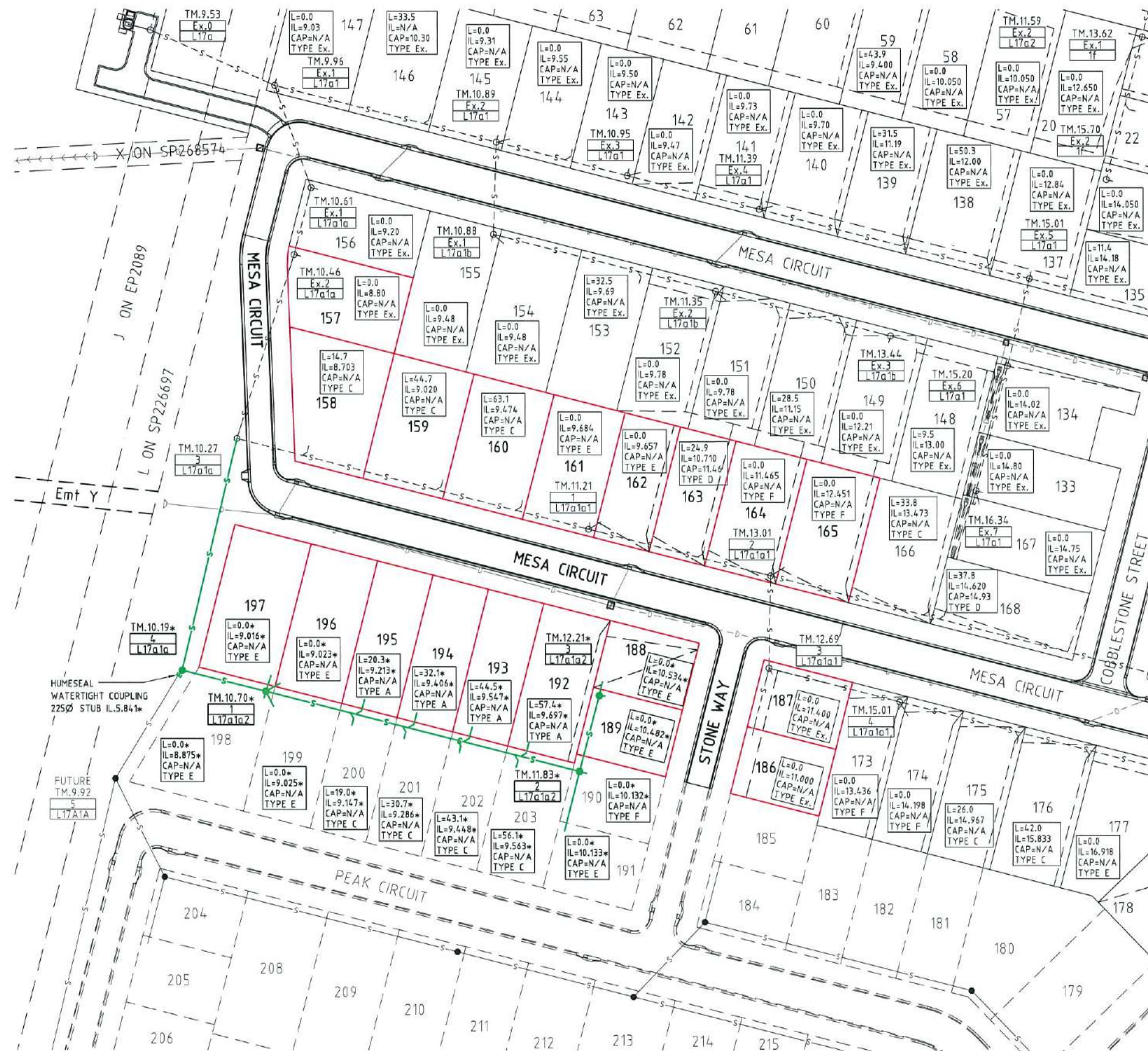
REAL PROPERTY DESCRIPTION:
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DRAWN: M.MOTTI
DESIGNED:
CHECKED: G.CAMPBELL
PROJECT MANAGER: P.PETERSEN
DATUM: AHD (DERIVED)
 PSM 127952
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PARKSIDE DEVELOPMENT PTY LTD
 COSGROVE - STAGE 202
 COSGROVE DRIVE, COSGROVE
 WATER RETICULATION PLAN
 DRAWING No. PAR-0216-107
 SCALE AS SHOWN
 XREF PAR-0216-XR-ASCON
 REV A

REV.	DATE	AS CONSTRUCTED ISSUE	REVISIONS
A	22/10/15	AS CONSTRUCTED ISSUE	

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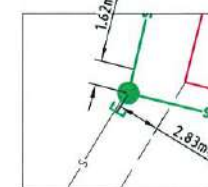


SEWER LEGEND

- STORMWATER DRAINAGE
- EXISTING STORMWATER DRAINAGE
- SEWER MAIN AND MANHOLE
- DN100 SEWER HOUSE DRAIN
- EXISTING SEWER MAIN AND MANHOLE
- FUTURE SEWER MAIN AND MANHOLE
- CERTIFIED TOP OF MANHOLE LEVEL
MANHOLE NUMBER
LINE NUMBER
- HOUSE CONNECTION (X&Y DIMENSIONS AS PER RELEVANT COUNCIL STANDARD DRAWING U.N.O.)
- CERTIFIED DISTANCE FROM DOWNSTREAM MANHOLE
CERTIFIED INVERT LEVEL OF HOUSE CONNECTION POINT
CERTIFIED LEVEL OF CAP FOR 'TYPE D' CONNECTION
HOUSE CONNECTION TYPE
TYPE A - ACROSS BOUNDARY 'SLOPE DROP'
TYPE B - ACROSS BOUNDARY 'JUMP UP'
TYPE C - WITHIN LOT 'DIRECT CONNECTION'
TYPE D - WITHIN LOT 'JUMP UP'
TYPE E - MANHOLE 'DIRECT CONNECTION'
TYPE F - MANHOLE 'INTERNAL DROP'
TYPE Ex. - EXISTING HOUSE CONNECTION

SEWER NOTES

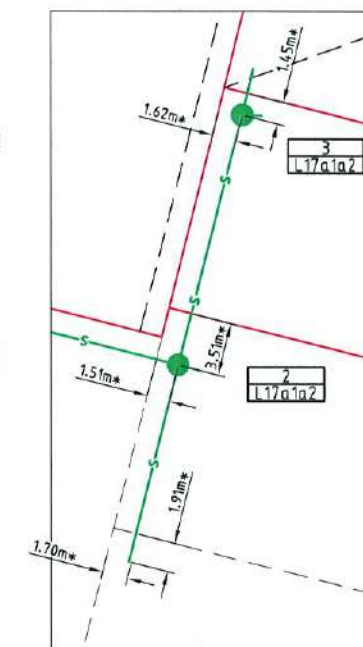
1. ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND PROJECT SPECIFICATION
2. ALL SEWERAGE MAINS LOCATED ON 1.5m ±0.1m ALIGNMENT OFFSET FROM THE PROPERTY BOUNDARIES, UNLESS NOTED OTHERWISE.
3. ALL SEWERAGE MAINS DN150, UNLESS NOTED OTHERWISE.
4. ALL DN150 AND DN225 SEWERAGE MAINS uPVC DWV SNB, UNLESS NOTED OTHERWISE.
5. ALL DN100 HOUSE DRAINS uPVC DWV SN10, UNLESS NOTED OTHERWISE. (MAXIMUM LENGTH 10.0m)
6. ALL TRENCHES UNDER ROAD PAVEMENT BACKFILLED WITH CRUSHER DUST TO SUBGRADE LEVEL.
7. CONNECTION/ALTERATIONS TO EXISTING SEWERAGE INFRASTRUCTURE CARRIED OUT BY COUNCIL AT THE CONTRACTORS EXPENSE.
8. ALL MANHOLE INTERNAL DROP 'CORES' ARE NOT LOCATED WITHIN 50mm OF PRECAST WALL JOINTS.



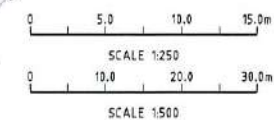
4 L17a1



1 L17a1a2



3 L17a1a2



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RL 9.066
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N: 91444.889
PROJECT DIRECTOR: D.GIBSON RPEQ 13230

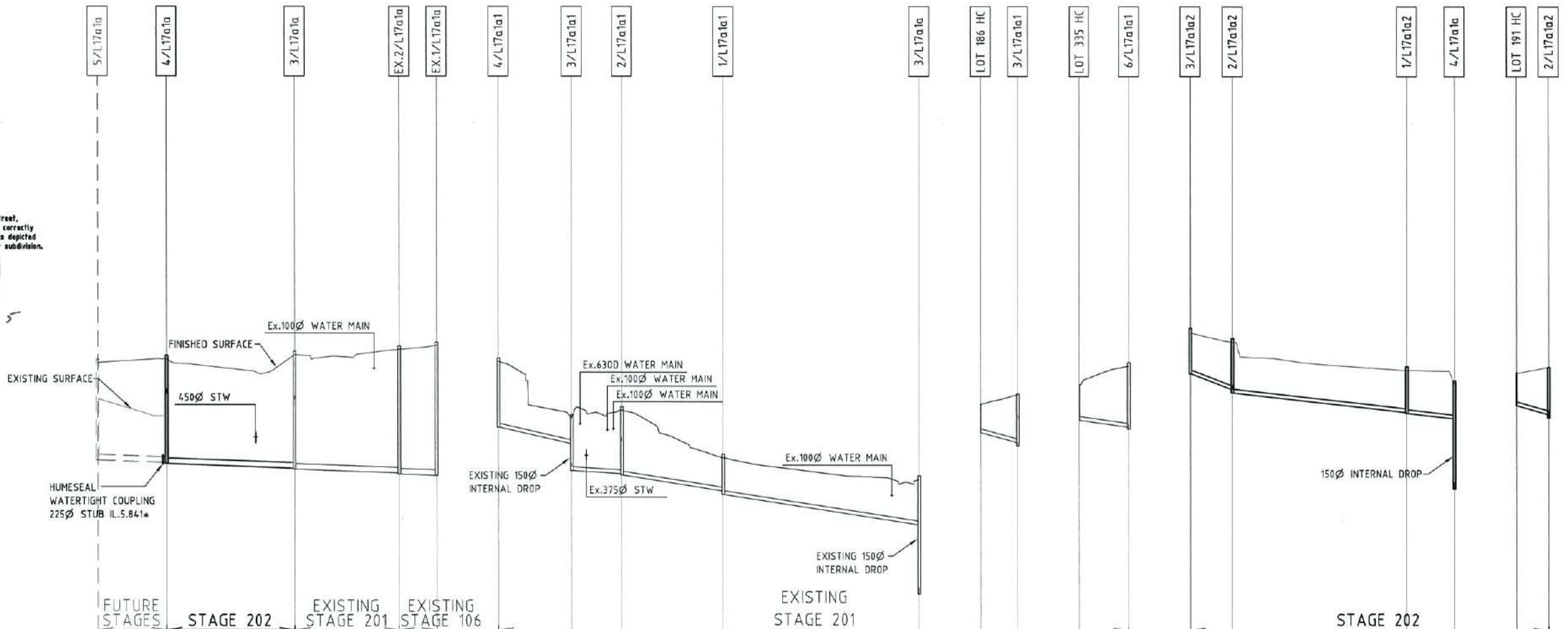
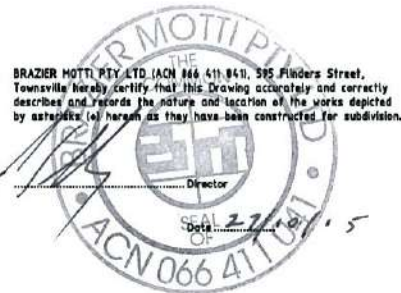
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PARKSIDE DEVELOPMENT PTY LTD
COSGROVE - STAGE 202
COSGROVE DRIVE, COSGROVE
SEWERAGE RETICULATION PLAN

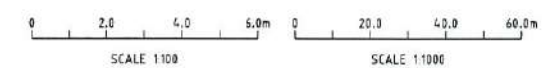
REV.	DATE	AS CONSTRUCTED ISSUE	REVISIONS
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DRAWING SIZE	SCALE	AS SHOWN	DRAWING No.	REV
A1	XREF	PAR-0216-XR-ASCON	PAR-0216-108	A



	L17a1a				L17a1a1				LOT 186 HC		LOT 335 HC		L17a1a2			LOT 191 HC		
DIAMETER	225Ø	225Ø	225Ø	225Ø	150Ø	150Ø	150Ø	150Ø	150Ø	150Ø	150Ø	150Ø	150Ø	150Ø	150Ø	150Ø	150Ø	
GRADE	1 in 277	1 in 293	1 in 303	1 in 273	1 in 42	1 in 163	1 in 67	1 in 60	1 in 38.46	1 in 74.07	1 in 26	1 in 89	1 in 92	1 in 30				
LENGTH (m)	27.739	51.890*	42.110	15.000	29.440	20.260	41.120	79.230	15.000	20.000	17.050*	70.660*	18.900*	13.410*				
DATUM RL.	-8.000				-3.000				-4.000		2.000		-7.000			-6.000		
TOP OF MANHOLE	9.920	10.194*	10.266*	10.490	15.010	12.694	13.010	11.213	12.134	12.554	18.921	18.921	19.820	12.210*	11.826*	10.695*	10.194*	11.826*
FINISHED SURFACE LEVEL	9.765	10.055*	10.110*	10.458	14.873	12.633	12.870	11.070	12.134	12.554	18.921	18.921	19.820	12.049*	11.676*	10.554*	10.055*	11.676*
INVERT LEVEL	5.875	5.841*	5.635*	5.586	13.362	11.497	10.344	9.649	11.000	10.610	17.500	17.500	17.230	10.361*	9.698*	8.822*	8.562*	9.698*
DEPTH TO INVERT OF SEWER	3.890	4.214	4.524	4.870	1.511	2.689	1.136	1.421	1.134	1.944	1.421	1.421	2.443	1.688	1.978	1.787	1.493	1.986

SEWERAGE LONGITUDINAL SECTIONS
SCALE 1:100 VERTICAL, SCALE 1:1000 HORIZONTAL



AS-CONSTRUCTED ISSUE

REV.	DATE	AS CONSTRUCTED ISSUE
A	22/10/15	AS CONSTRUCTED ISSUE

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Phone: 4772 1144 Fax: 4772 2557
Email: townsville@braziermotti.com.au
Job No: 27001/118-01

REAL PROPERTY DESCRIPTION:
LOTS 119-137 CANCELLING LOT 900 ON SP 252505

DATUM: AHD (DERIVED)
PSM 127952
RL 9.066
E: 69522.193
N: 91444.889

PROJECT DIRECTOR: D.GIBSON RPEQ 13230

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PARKSIDE DEVELOPMENT PTY LTD

COSGROVE - STAGE 202
COSGROVE DRIVE, COSGROVE
SEWERAGE LONGITUDINAL SECTIONS

DRAWING SIZE	SCALE	AS SHOWN	DRAWING No.	REV
A1	XREF	-	PAR-0216-109	A

DESIGN CODE - ALL ALLOTMENTS

TYPE	HOUSE, FRONT LOADED
LOT ACCESS	FRONT
LOT DEPTH (MIN)	25m (20m WHERE 15m WIDTH PROPOSED)
LOT WIDTH (MIN)	12.5m
SITE COVERAGE	MAY EXCEED 50% IN RESPONSE TO CODE REQUIREMENTS, BUT NO MORE THAN 60% SITE COVERAGE.
SETBACK FRONT GROUND (MIN) AND UPPER (MIN)	3.5m
SETBACK FRONT GARAGE	6m AND 1.5m BEHIND FRONT OF DWELLING
SETBACK PRINCIPAL GROUND (MIN)	QDC
SETBACK PRINCIPAL SIDE UPPER (MIN)	QDC
SETBACK SECONDARY ROAD FRONTAGE (MIN)	2m
SETBACK PRINCIPAL REAR (MIN)	1.5m (SEWER LINES AND MANHOLES MAY ENFORCE GREATER SETBACKS)*
OUTBUILDING (SHED) WIDTH (MAX)	LESSER OF 50% OF REAR BOUNDARY OR 9m
OUTBUILDING (SHED) DEPTH (MAX)	9m
OUTBUILDING (SHED) REAR SETBACK	0-1.0m
OUTBUILDING (SHED) SIDE SETBACK	ZERO IF LOT 12.5m WIDE. AS PER PRINCIPAL SETBACK IF LOT >12.5m WIDE
FLOOR HEIGHT PRINCIPAL (MIN)	400mm
MAXIMUM STOREYS	AS PER THE APPLICABLE SCHEME
PRIVATE OPEN SPACE (MIN) (MAY BE COVERED)	4mx4m
PARKING (MIN)	TWO (2), ONE OF WHICH MUST BE COVERED

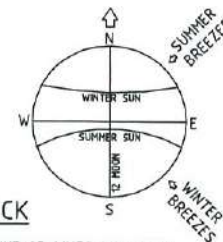
*NOTE: CLEARANCES TO SEWER LINES AND MANHOLES ARE REQUIRED IN ACCORDANCE WITH COUNCIL POLICY.

LEGEND

- ALLOWABLE DRIVEWAY ACCESS
- BUILT TO BOUNDARY GARAGE AS PER QDC
- SEWER MAIN & MANHOLE
- WATER MAIN, FIRE HYDRANT & SLUICE VALVE
- STORMWATER & INLET PIT
- SUBSOIL DRAIN & CLEANOUT POINT
- EXISTING SEWER MAIN & MANHOLE
- EXISTING WATER MAIN
- EXISTING STORMWATER
- BUILDING SETBACK, REFER NOTE 3
- EXISTING RETAINING WALL

DRIVEWAY ACCESS ENVELOPE

- FOR DRIVEWAY ACCESS ENVELOPE ALLOW 0.5m MINIMUM CLEARANCE TO ALL COUNCIL INFRASTRUCTURE, EXCEPT STORMWATER PITS WHICH REQUIRE 0.6m MINIMUM CLEARANCE AND SEWERAGE HOUSE CONNECTIONS WHICH REQUIRE 1.2m MINIMUM CLEARANCE.
- ALL DRIVEWAYS REQUIRE A PERMIT FROM COUNCIL PRIOR TO CONSTRUCTION.



BUILDING SETBACK

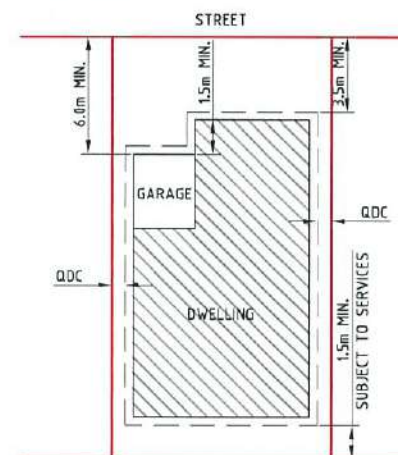
- "SETBACK" MEANS A LINE OR LINES PARALLEL TO ANY BOUNDARY OF A LOT BEYOND WHICH THE BUILDING OR OTHER STRUCTURE SHALL NOT ENCROACH, AND MEASURED AS THE SHORTEST HORIZONTAL DISTANCE FROM THE OUTERMOST PROJECTION OF THE BUILDING OR OTHER STRUCTURE TO THE VERTICAL PROJECTION OF THE LOT BOUNDARY (TOWNSVILLE CITY PLAN 2005, PAGE 491).
- THE BUILDING ENVELOPES ARE TO COMPLY WITH THE DESIGN CODE SHOWN ON THIS PLAN. GREATER SETBACKS MAY BE REQUIRED TO ACCOMMODATE THE ZONE OF INFLUENCE OF UNDERGROUND SERVICES AS STATED IN COUNCIL'S POLICY ON BUILDING OVER OR ADJACENT TO SEWERS.
- DIMENSIONS SHOWN ARE QDC GROUND DWELLING ONLY AND DO NOT ACCOUNT FOR BATTERS OR RETAINING WALLS. A SITE INSPECTION IS REQUIRED PRIOR TO COMMENCEMENT OF DESIGN. REFER DESIGN CODE FOR UPPER FLOOR AND GARAGE SETBACKS.

ERGON SUBSTATIONS

- HABITABLE ROOMS REQUIRE A CLEARANCE OF 4m TO ERGON SUBSTATION SITES.

CORNER SIGHT LINES

- COMPLY WITH SIGHT LINES REQUIREMENT OF THE QUEENSLAND DEVELOPMENT CODE ON ROAD CORNERS. THIS IS TYPICALLY A 9m x 9m EXCLUSION ZONE BASED ON BOUNDARIES. FOR CLIPPED CORNERS AND LOTS WITH PARK FRONTAGES TYPICALLY THIS IS A 18m x 18m EXCLUSION ZONE BASED ON THE EDGE OF THE TRAFFIC LANE. REAR ACCESS LANES ARE EXEMPTED FROM THIS REQUIREMENT.



TYPICAL SETBACK REQUIREMENTS

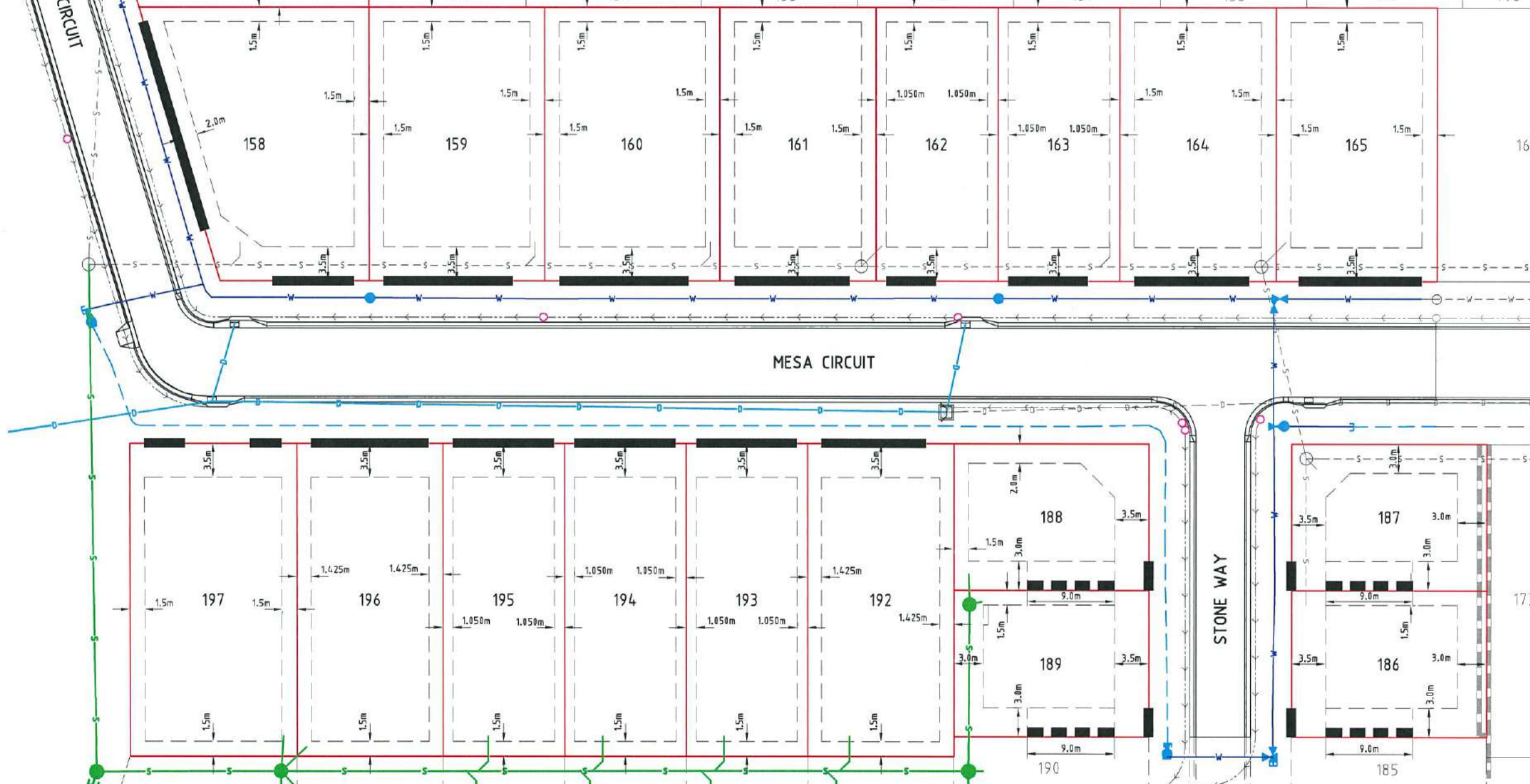
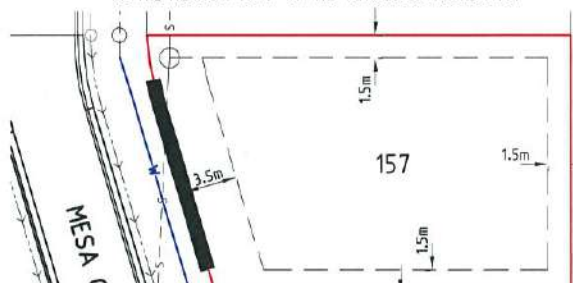
- NTS
- NOTES:
- 60% MAXIMUM SITE COVERAGE.
 - FOR FRONT SETBACK TO GARAGE, MEASURE FROM THE FRONT BOUNDARY TO THE GARAGE OPENING (WALL).
 - ALL OTHER SETBACKS ARE MEASURED FROM THE BOUNDARY TO THE OUTERMOST PROJECTION.

LIGHT POLES & TELSTRA PITS HAVE NOT BEEN SHOWN AND LOCATION SHOULD BE CONFIRMED ON SITE.

SCALE 1:500 @ A3

HOUSE CONNECTION DETAIL

* 2.0m CLEARANCE FROM CENTRE OF CONNECTION OR MANHOLE TO THE NEAREST POINT OF THE STRUCTURE FOUNDATION



AS-CONSTRUCTED ISSUE

REV.	DATE	AS-CONSTRUCTED ISSUE	REVISIONS
A	22/10/15	AS-CONSTRUCTED ISSUE	

U:\JOB DATA\PM\24\ENGINEERING DESIGN\DRAWINGS\AS-CONSTRUCTED\PAR-0216-110.DWG

JAS-ANZ

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REAL PROPERTY DESCRIPTION:
 LOTS 119-137 CANCELLING LOT 908 ON SP 252505

DRAWN: L. BUONO
 DESIGNED: [Signature]
 CHECKED: G. CAMPBELL
 PROJECT MANAGER: P. PETERSEN

DATUM: AHD (DERIVED)
 PSM 127952
 RL 9.066
 E: 69522.193
 N: 91444.889

PROJECT DIRECTOR: D. GIBSON RPEQ 13231

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PARKSIDE DEVELOPMENT PTY LTD

COSGROVE - STAGE 202
 COSGROVE DRIVE, COSGROVE
 BUILDING ENVELOPE & DRIVEWAY ACCESS PLAN

DRAWING SIZE: A3
 SCALE: N/A
 XREF: PAR-0216-XR-ASCON

DRAWING No: PAR-0216-110
 REV: A