

**NOTES:**

- There are no existing or proposed
  - drainage features
  - retaining walls
  - stormwater detention
  - community purposes land
- Easements as shown
- The final intended use of all allotments is for residential except if otherwise marked purposes in accordance with Cosgrove Plan of Development
- There are no buildings or structures over the land relevant to this stage
- Access into each allotment shall be via the road frontage. Specific locations to be determined at time of detailed engineering design and preparation of access envelopes.

**DESIGN CODE - ALL ALLOTMENTS**

Type	House, Front Loaded
Lot Access	Front
Lot Depth (Min)	25m (20m where 15m width proposed)
Lot Width (Min)	12.5
Site Coverage	May exceed 50% in response to Code Requirements, but no more than 60% Site Coverage.
Setback Front Ground (min) and upper (min)	3.5m
Setback Front Garage	6m and 1.5m behind front of dwelling
Setback Principal Side Ground (min)	QDC
Setback Principal Side Upper (min)	QDC
Setback Secondary Road Frontage (min)	QDC
Garage setback Secondary Road Frontage(min)	3.5m
Setback Principal Rear (min)	1.5m (*Sewer lines and manholes may enforce greater setbacks)
Outbuilding (Shed) Width (max)	Lesser of 50% of rear boundary or 9m
Outbuilding (Shed) Depth (max)	9m
Outbuilding (Shed) Rear Setback	0-1.0m
Outbuilding (Shed) Side Setback	Zero if lot >12.5m wide. As per Principal setback if lot >12.5m wide
Floor Height Principal (min)	400mm
Maximum Storeys	As per the Applicable Scheme
Private Open Space (min) (may be covered)	4mx4m
Parking (min)	Two (2), one of which must be covered

\*Note: Clearances to sewer lines and manholes are required in accordance with council policy.

This plan is conceptual and for discussion purposes only. All areas, dimensions and land uses are preliminary, subject to investigation, survey, engineering, and Local Authority and Agency approvals.

**PROPOSED RECONFIGURATION**

Lots 277-283, 285, 287-290, 292-294, 297-304 and 900

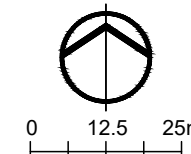
Cancelling Lot 900 on SP306178

Parish of Coonambelah  
County of Elphinstone  
City of Townsville

**CORNER SIGHT LINES**

Comply with sight lines requirement of the Queensland Development code on road corners. This is typically a 9m x 9m exclusion zone based on boundaries.  
For clipped corners, footpaths wider than 4.2m and lots with park frontages typically this is a 18m x 18m exclusion zone based on edge of traffic lane.  
Rear access lanes are exempted from this requirement.

**Townsville City Council**  
Approved Subject to Conditions  
**RAL19/0062.03**  
28/10/2020

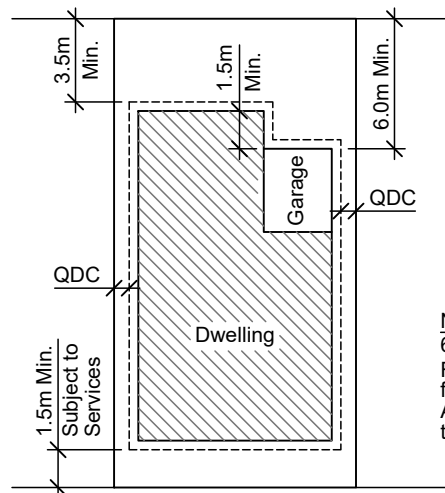
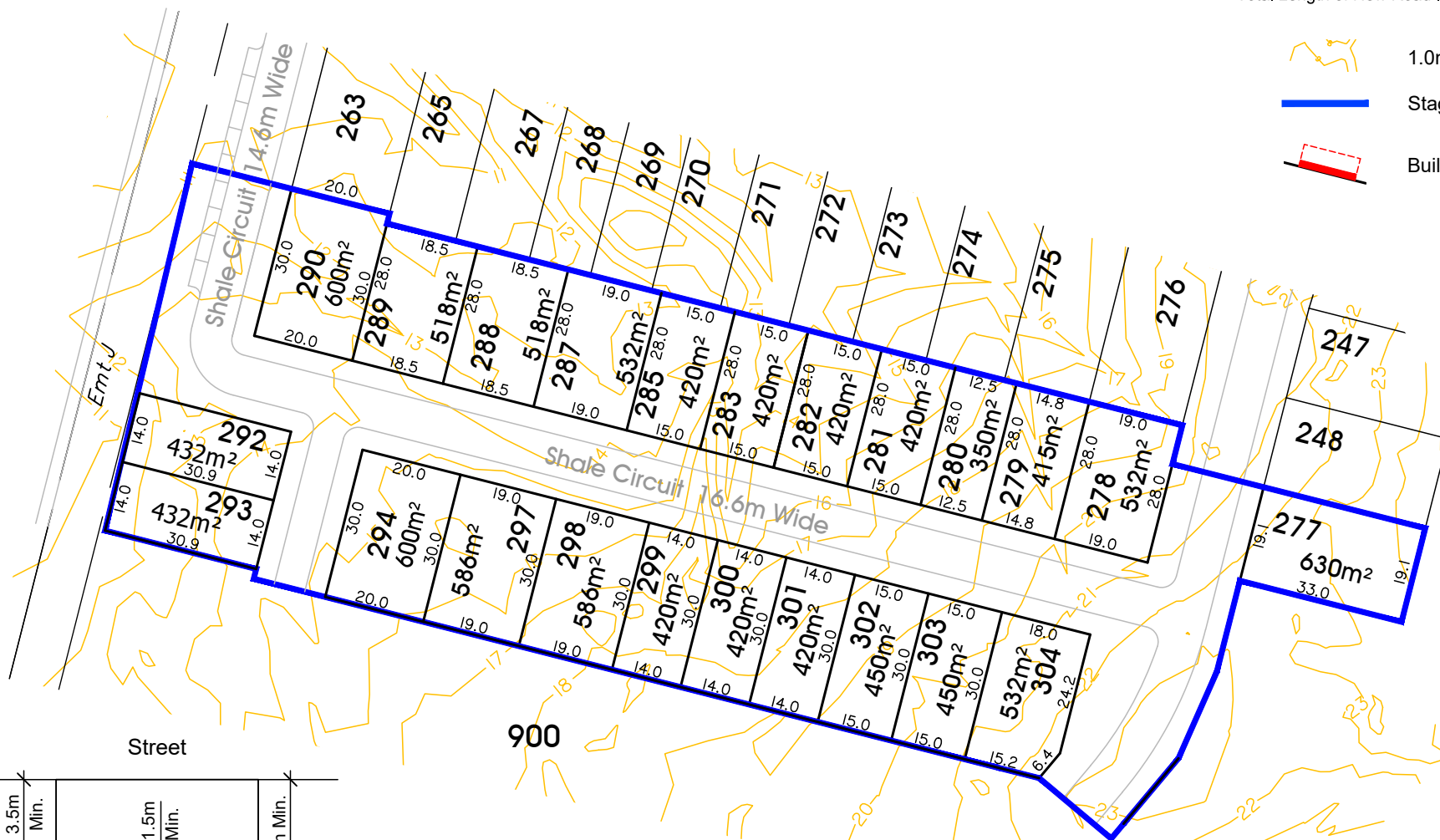


**COSGROVE**

**STAGE 206**

Total Stage Area ..... 1.70ha  
Number of Lots ..... 23  
Average Lot Area ..... 482m<sup>2</sup>  
Total Length of New Road .... 360m

- 1.0m contour
- Stage Boundary
- Build to Boundary Setback



**Typical Setback Requirements**  
Not to Scale

**Note**  
60% Maximum Site Coverage  
For front and secondary front setback to garage, measure from the front boundary to the garage opening (wall).  
All other setbacks are measured from the boundary to the outermost projection (including carports).

**Townsville City Council**  
**Received**  
**28/10/2020**



**P** 1300 267 878  
**W** [www.braziermotti.com.au](http://www.braziermotti.com.au)

Date: 16th October, 2020  
Scale: 1:1250 @ A3  
Drawn: AJL  
Job No: 27001/152-1  
Plan No: 27001/107 K



**Area of New Road**

SHALE CIRCUIT (2-1-21-20-19-18-15-8-6-3-2) ..... **3943 m<sup>2</sup>**

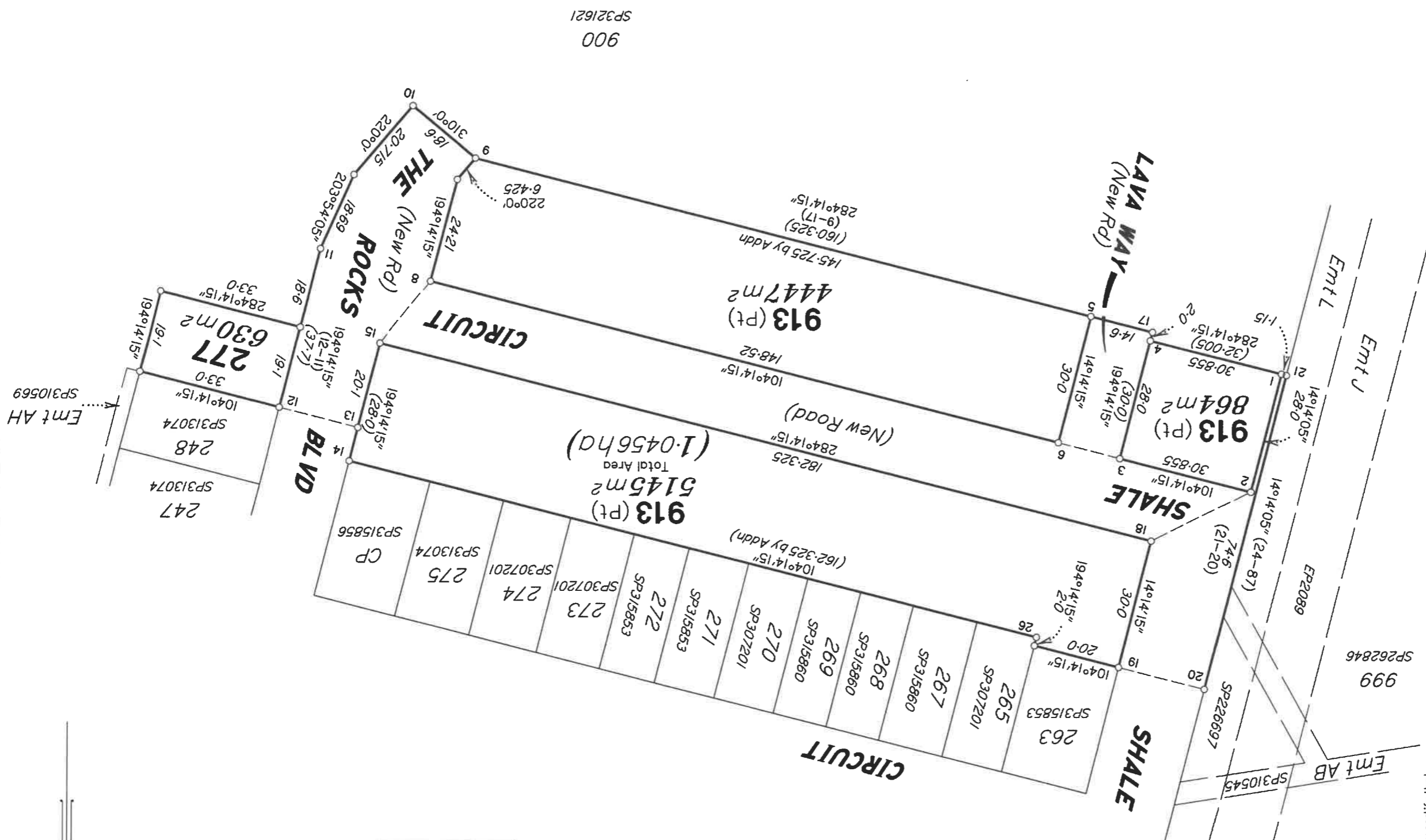
THE ROCKS BOULEVARD (8-15-13-12-11-10-9-8) ..... **1530 m<sup>2</sup>**

LAVA WAY (3-6-5-17-4-3) ..... **438 m<sup>2</sup>**

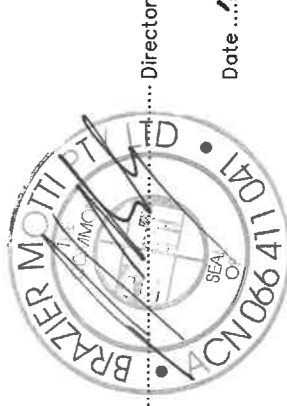
**Total Area** ..... **5911 m<sup>2</sup>**

TRAVERSES ETC

LINE	BEARING	DISTANCE
2-18	63°19'05"	25.345
3-6	104°14'15"	14.6
8-15	38°33'	18.216
12-13	284°14'15"	18.6
19-20	284°14'15"	20.3



BRAZIER MOTTL PTY LTD (ACN 066 411 041) hereby certify that the corporation, by Patrick John MADDEN, Cadastral Surveyor, for whose work the corporation accepts responsibility, has made this plan under Section 16 of the Survey and Mapping Infrastructure Regulation 2014 and pursuant to the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the plan is accurate, and compiled from DP321622 in the Department of Resources.



..... Director

Date .....



**Plan of Lots 277 & 913**

Canceling Lot 913 on SP321621

LOCAL GOVERNMENT: COUNCIL  
TOWNSVILLE CITY  
LOCALITY: COSGROVE

Meridian: MGA (Zone 55) vide DP321622

Survey Records: No

Scale: **1:1000**

Format: **STANDARD**



**SP327687**

SK

27001/243

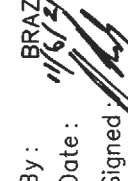
4. Lodged by **Parkside Development Pty Ltd**  
**PO Box 4018, Kirwan 4817**  
**4431 2600**  
**wtapirolas@parkside.biz**  
**Lodger Code - 888**  
(Include address, phone number, email, reference, and Lodger Code)

Existing		Created	
Title Reference	Description	New Lots	Road
51249497	Lot 913 on SP321621	277 & 913	New Rd

Existing		Created	
Title Reference	Description	New Lots	Road
277 & 913	Lot 913 on SP321621	277 & 913	New Rd

2. Orig Grant Allocation :

3. References :  
Dept File :  
Local Govt :  
Surveyor : 27001/157-03 - 27001\_243A.dwg - SLR - 06/2021

5. Passed & Endorsed :  
By : **BRAZIER MOTTI PTY LTD**  
Date : **11/6/21**  
Signed :   
Designation : **Liaison Officer**

6. Building Format Plans only.  
I certify that :  
\* As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or roads.  
\* Part of the building shown on this plan encroaches onto adjoining \* lots and road

Cadastral Surveyor/Director \* Date  
\* delete words not required

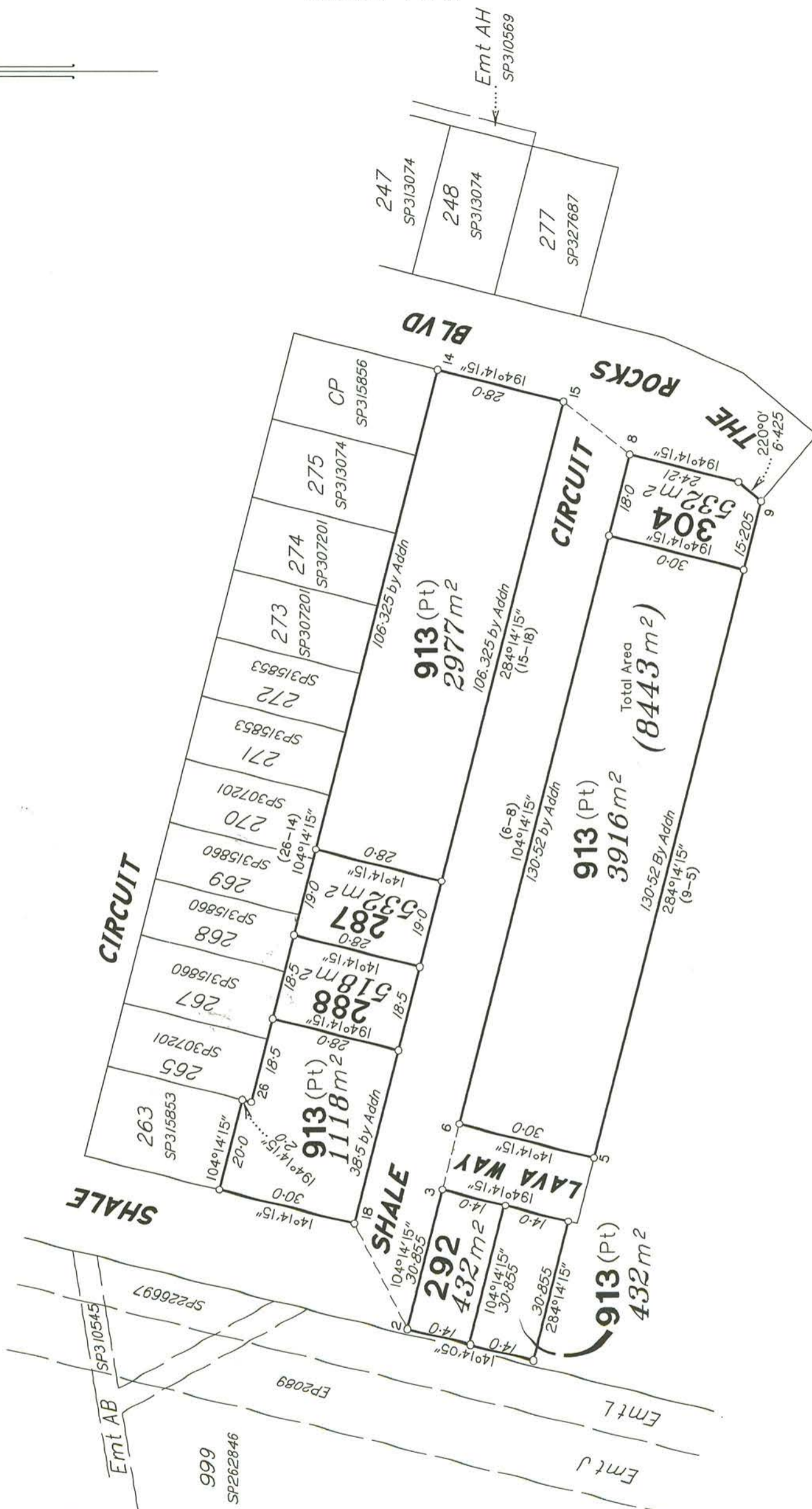
7. Lodgement Fees :  
Survey Deposit \$ .....  
Lodgement \$ .....  
.....New Titles \$ .....  
Photocopy \$ .....  
Postage \$ .....  
TOTAL \$ .....

8. Insert Plan Number  
**SP3227687**

27001/243A



LINE	BEARING	DISTANCE
2-18	63°19'05"	25.345
3-6	104°14'15"	14.6
8-15	38°33'	18.216



900  
SP321621

BRAZIER MOTTI PTY LTD (ACN 066 411 041) hereby certify that the corporation, by Patrick John MADDEN, Cadastral Surveyor, for whose work the corporation accepts responsibility, has made this plan under Section 16 of the Survey and Mapping Infrastructure Regulation 2014 and pursuant to the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the plan is accurate, and compiled from DP321622 in the Department of Resources.



Director

Date 24/7/21

0m 50m 100m 150m  
0 50mm 100mm 150mm State copyright reserved.

**Plan of Lots 287, 288, 292, 304 and 913**

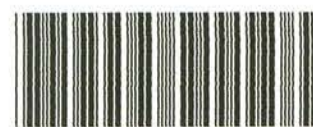
Canceling Lot 913 on SP327687

LOCAL TOWNSVILLE CITY  
GOVERNMENT: COUNCIL LOCALITY: COSGROVE

Meridian: MGA (Zone 55) vide DP321622

Survey Records: No

Scale: 1:1000  
Format: STANDARD



SP330993

27001/251

**WARNING : Folded or Mutilated Plans will not be accepted.**  
Plans may be rolled.  
Information may not be placed in the outer margins.

(Dealing No.)

4. Lodged by

(Include address, phone number, email, reference, and Lodger Code)

I. Existing		Created		
Title Reference	Description	New Lots	Road	Secondary Interests
51260805	Lot 913 on SP327687	287, 288, 292, 304 & 913		

287, 288, 292, 304 & 913	Lot 913 on SP321621
Lots	Orig

2. Orig Grant Allocation :

3. References :

Dept File :  
Local Govt :  
Surveyor : 27001/157-03 - 27001\_251A.dwg - NK - 09/2021

5. Passed & Endorsed :

By : BRAZIER MOTTI PTY LTD  
Date : 24/9/21  
Signed :   
Designation : Liaison Officer

6. Building Format Plans only.

I certify that :  
\* As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or road.  
\* Part of the building shown on this plan encroaches onto adjoining \* lots and road

.....  
Cadastral Surveyor/Director \* Date  
\*delete words not required

7. Lodgement Fees :

Survey Deposit	\$	.....
Lodgement	\$	.....
.....New Titles	\$	.....
Photocopy	\$	.....
Postage	\$	.....
TOTAL	\$	.....

8. Insert Plan Number

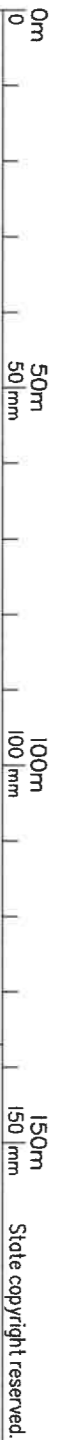
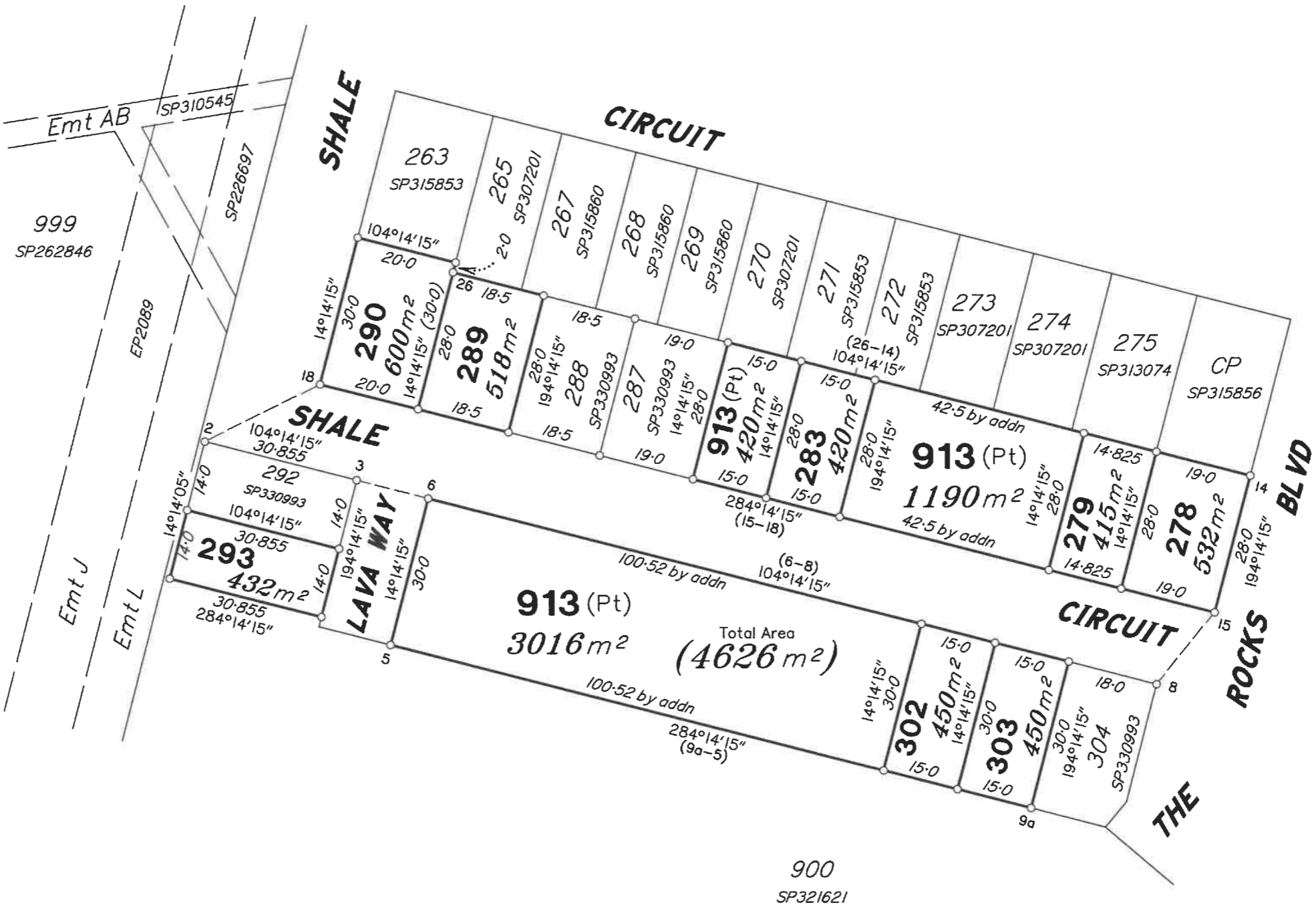
**SP330993**

NK 152/10012



TRAVERSES ETC

LINE	BEARING	DISTANCE
2-18	63°19'05"	25.345
3-6	104°14'15"	14.6
8-15	38°33'	18.216



BRAZIER MOTTI PTY LTD (ACN 066 411 041) hereby certify that the corporation, by Patrick John MADDEN, Cadastral Surveyor, for whose work the corporation accepts responsibility, has made this plan under Section 16 of the Survey and Mapping Infrastructure Regulation 2014 and pursuant to the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the plan is accurate, and compiled from DP321622 in the Department of Resources.



Director  
Date: 2/10/2014

**Plan of Lots 278, 279, 283, 289,  
290, 293, 302, 303 & 913**  
Cancelling Lot 913 on SP330993

LOCAL TOWNSVILLE CITY  
GOVERNMENT: COUNCIL LOCALITY: COSGROVE  
Meridian: MGA (Zone 55) Vide DP321622  
Survey Records: No

Scale: 1:1000  
Format: STANDARD



SP331011

**WARNING : Folded or Mutilated Plans will not be accepted.**  
Plans may be rolled.  
Information may not be placed in the outer margins.

(Dealing No.)

4. Lodged by

(Include address, phone number, email, reference, and Lodger Code)


Existing		Created	
Title Reference	Description	New Lots	Road Secondary Interests
	Lot 913 on SP330993	278, 279, 283, 289, 290, 293, 302, 303 & 913	

278, 279, 283, 289, 290, 293, 302, 303 & 913	Lot 913 on SP321621
Lots	Orig

2. Orig Grant Allocation :

5. Passed & Endorsed :

3. References :  
Dept File :  
Local Govt :  
Surveyor : 27001/157-03 -- 27001\_252A.dwg -- WCHO -- 10/2021

By : BRAZIER MOTTI PTY LTD  
Date : 6/19/21  
Signed :   
Designation : Liaison Officer

**6. Building Format Plans only.**

I certify that :  
\* As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or road;  
\* Part of the building shown on this plan encroaches onto adjoining \* lots and road

Cadastral Surveyor/Director \* Date  
\* delete words not required

**7. Lodgement Fees :**

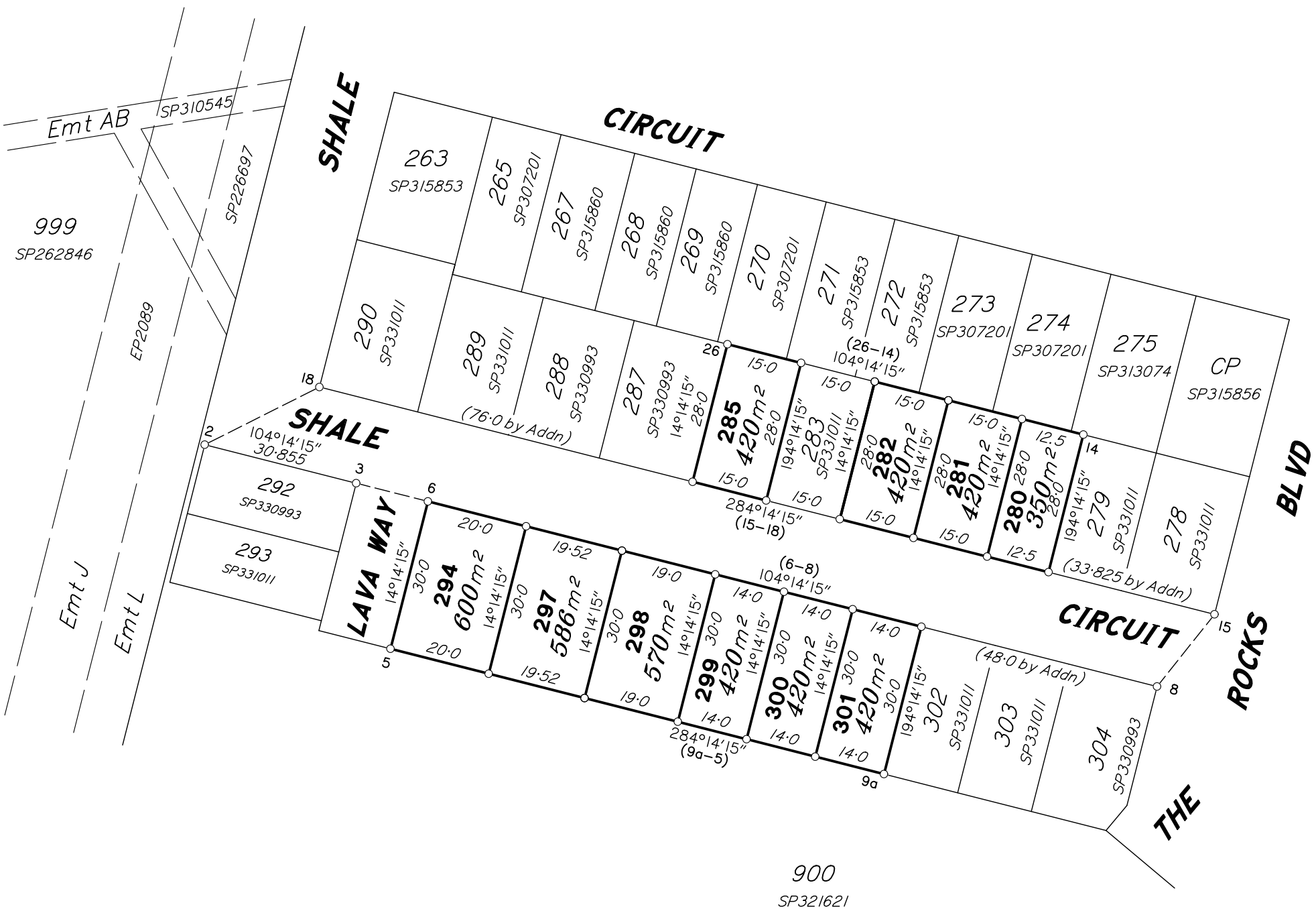
Survey Deposit	\$ .....
Lodgement	\$ .....
..... New Titles	\$ .....
Photocopy	\$ .....
Postage	\$ .....
TOTAL	\$ .....

8. Insert Plan Number **SP331011**



TRAVERSES ETC

LINE	BEARING	DISTANCE
2-18	63°19'05"	25.345
3-6	104°14'15"	14.6
8-15	38°33'	18.216



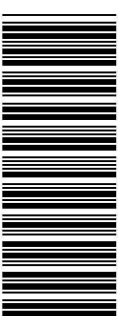
Scale: 1:1000

Format: STANDARD

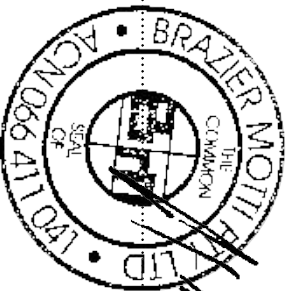
**Plan of Lots 280-282,  
285, 294, and 297-301**  
Cancelling Lot 913 on SP331011

LOCAL TOWNSVILLE CITY  
GOVERNMENT: COUNCIL LOCALITY: COSGROVE

Survey Records: No



SP332244



Date: 13-01-22

Director

BRAZIER MOTT PTY LTD (ACN 066 411 041) hereby certify that the corporation, by Patrick John MADDEN, Cadastral Surveyor, for whose work the corporation accepts responsibility, has made this plan under Section 16 of the Survey and Mapping Infrastructure Regulation 2014 and pursuant to the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the plan is accurate, and compiled from DP321622 and SP331011 in the Department of Resources.



**WARNING : Folded or Mutilated Plans will not be accepted.**  
**Plans may be rolled.**  
**Information may not be placed in the outer margins.**

(Dealing No.)

4. Lodged by

(Include address, phone number, email, reference, and Lodger Code)

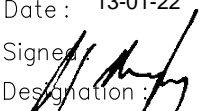
I. Existing		Created		
Title Reference	Description	New Lots	Road	Secondary Interests
51266721	Lot 913 on SP331011	280-282, 285, 294, 297-301	—	—

280-282, 285, 294, 297-301	Lot 913 on SP321621
Lots	Orig

2. Orig Grant Allocation :

3. References :  
 Dept File :  
 Local Govt :  
 Surveyor : 27001/157-03 - 27001\_257A.dwg - SLR - 12/2021 - V0

5. Passed & Endorsed :

By : BRAZIER MOTTI PTY LTD  
 Date : 13-01-22  
 Signature :   
 Designation : Liaison Officer

6. Building Format Plans only.  
 I certify that :  
 \* As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or road;  
 \* Part of the building shown on this plan encroaches onto adjoining \* lots and road  
 .....  
 Cadastral Surveyor/Director\* Date  
 \*delete words not required

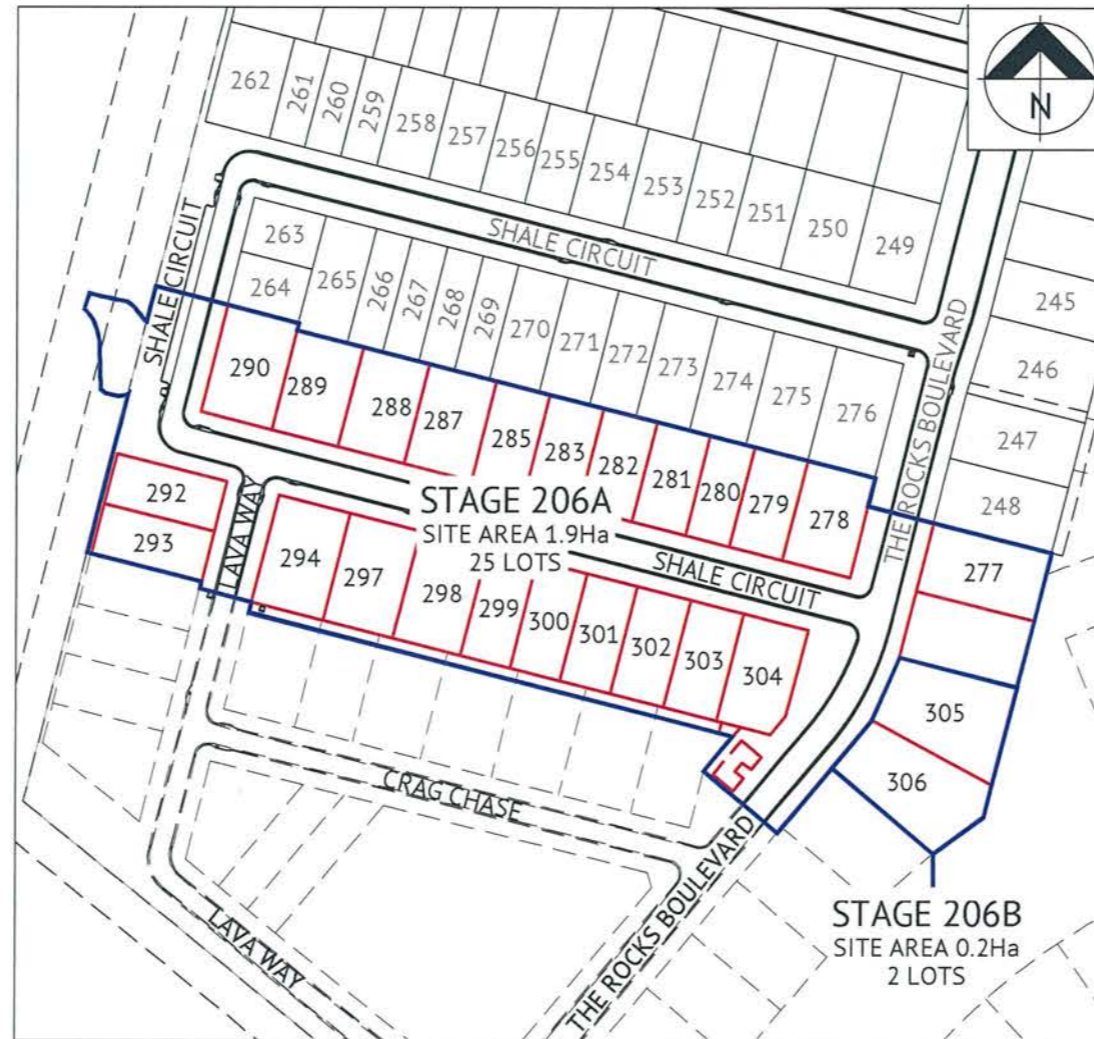
7. Lodgement Fees :  
 Survey Deposit \$ .....  
 Lodgement \$ .....  
 .....New Titles \$ .....  
 Photocopy \$ .....  
 Postage \$ .....  
 TOTAL \$ .....

8. Insert Plan Number **SP332244**

# COSGROVE - STAGE 206

## COSGROVE DRIVE, COSGROVE

### FOR PARKSIDE DEVELOPMENT PTY LTD



LOCALITY PLAN



Sheet List Table	
Sheet Number	Sheet Title
27001/217	COVER SHEET LOCALITY PLAN & DRAWING SCHEDULE
27002/218	EARTHWORKS LAYOUT PLAN
27003/219	ROADWORKS AND STORMWATER DRAINAGE PLAN
27004/220	THE ROCKS BOULEVARD AND LAVA WAY LONGITUDINAL SECTION
27005/221	THE ROCKS BOULEVARD AND LAVA WAY CROSS SECTIONS
27006/222	SHALE CIRCUIT LONGITUDINAL AND CROSS SECTIONS
27007/223	ROADWORKS DETAILS PLAN
27008/224	Q2 STORMWATER LONGITUDINAL SECTION
27009/225	WATER RETICULATION PLAN
27010/226	SEWERAGE RETICULATION PLAN
27011/227	SEWERAGE LONGITUDINAL SECTIONS
27012/228	RETAINING WALL DETAILS

MENDI CONSTRUCTIONS PTY LTD DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

AUTHORISED REPRESENTATIVE 

DATE 19/4/21

PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

RPEQ  13 231

DATE 19.4.21

No.	Date	Details	Check
A	12.04.21	Original Issue	GEO

Level Datum: AHD (DERIVED)  
 B.M. Used: PM204181 RL10.188  
 Coordinate Projection: Plane Rectangular  
 Coordinate Datum: Arbitrary  
 Origin of Coordinates: PM204181 E: 69029.701 N: 90844.196  
 Meridian: MGA94 (Zone 55)  
 Map Reference:  
 Contour Interval: Surveyed by: BM  
 Job No: 27001-158-01 Drawn: MIM  
 File No: 27001\_217A.dwg Approved:

Client:	PARKSIDE DEVELOPMENT PTY LTD
Project:	COSGROVE STAGE 206 COSGROVE DRIVE, COSGROVE LOCALITY PLAN, SITE PLAN & DRAWING SCHEDULE
Local Authority: Townsville City Council	Locality:

Date: 12th April, 2021
Sheet 1 of 1 Sheets
Scale: AS SHOWN A1
Plan No: 27001/217 A

braiermott.com.au  
 SURVEYING  
 TOWNPLANNING  
 PROJECT MANAGEMENT  
 MAPPING & GIS



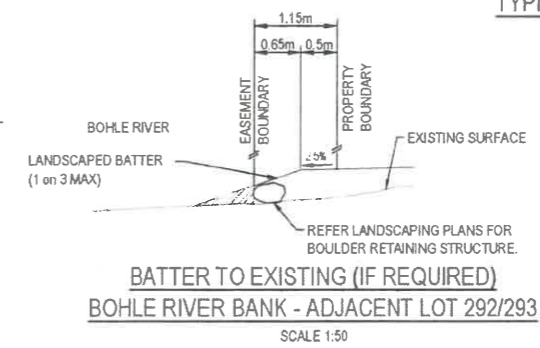
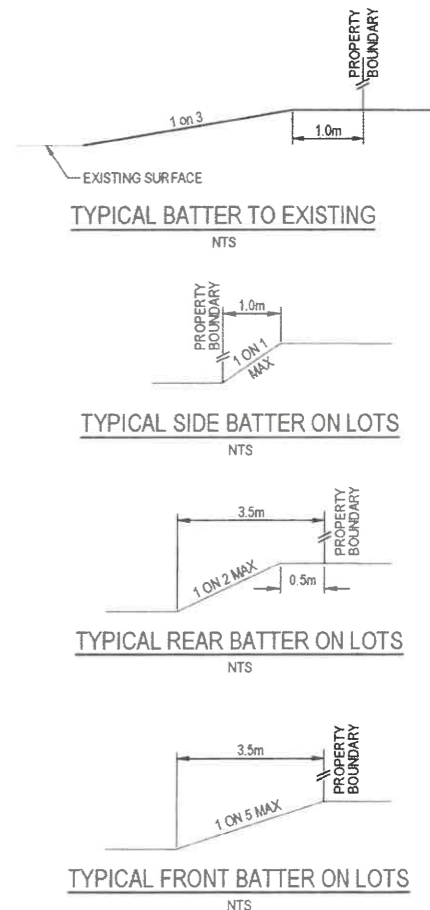


**EARTHWORKS LEGEND**

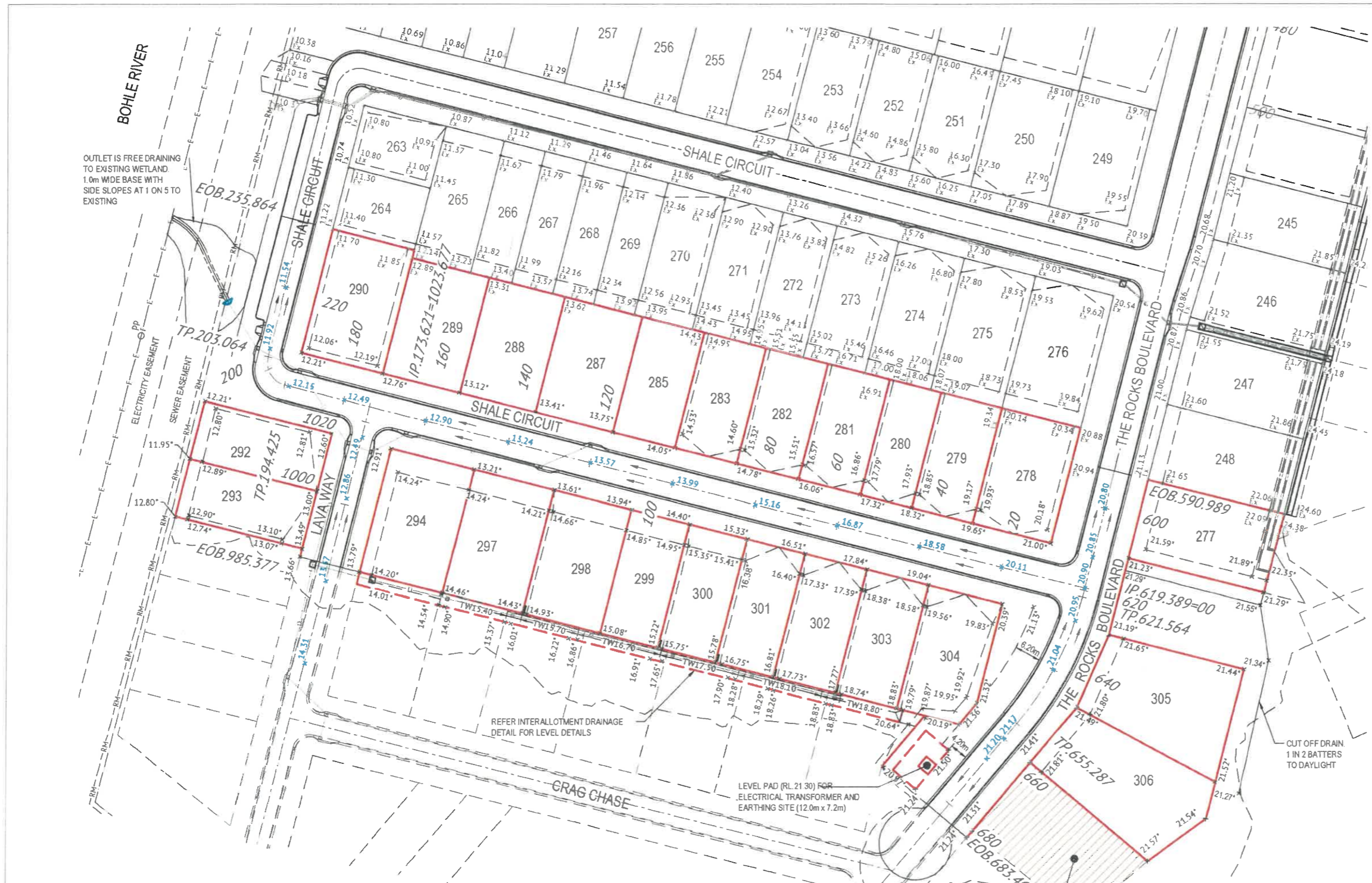
- RM---RM--- EXISTING SEWER RISING MAIN
- E---E--- EXISTING OVERHEAD POWERLINE
- 6.32° CERTIFIED FINISHED ALLOTMENT LEVEL
- 6.41° DENOTES EXISTING ALLOTMENT LEVEL
- 6.30° DENOTES Q100 FLOOD LEVEL
- TOP OF BATTER
- BOTTOM OF BATTER
- DIRECTION OF KERB & CHANNEL FLOW
- RETAINING WALL
- EXCESS CUT AREA

**EARTHWORKS NOTES**

- 1 ALL EARTHWORKS OPERATIONS UNDERTAKEN IN ACCORDANCE WITH THE PROJECT SPECIFICATION.
- 2 ALLOTMENTS GRADED EVENLY BETWEEN LEVELS SHOWN. MINIMUM FINISHED ALLOTMENT GRADE TO BE 1.200.

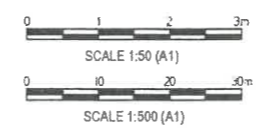


**BATTER TO EXISTING (IF REQUIRED)**  
BOHLE RIVER BANK - ADJACENT LOT 292/293  
SCALE 1:50



**EARTHWORKS LAYOUT PLAN**

SCALE 1:500



MENDI CONSTRUCTIONS PTY LTD DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

AUTHORISED REPRESENTATIVE: *[Signature]*  
DATE: 19/04/21

PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION

RPEO: *[Signature]* 13231  
DATE: 19.04.21

**DEVELOPERS NOTE**  
PLEASE REFER TO DRAWING PAR-0220 C019 REV C FOR DETAILS ON SIDE RETAINING WALLS

BRAZIER MOTTI PTY LTD (ACN 016 411 041), 595 Princes Street, Townsville hereby certify that the Drawings accurately and correctly describe and records the nature and condition of the works depicted by asterisks. They have been prepared for subdivision.

*[Signature]*  
Director  
Date: 13-04-21

No.	Date	Details	Check
A	12.04.21	Original Issue	GEO

Level Datum: AHD (DERIVED)  
B.M. Used: PM204180 RL:101.988  
Coordinate Projection: Plane Rectangular  
Coordinate Datum: Arbitrary  
Origin of Coordinates: PM204180  
Meridian: MGA54 (Zone 55)  
Map Reference:  
Contour Interval:  
Job No: 27001\_15B-03  
File No: 27001\_21BA.dwg

Surveyed by: BM  
Drawn: MIM  
Approved:

Client: **PARKSIDE DEVELOPMENT PTY LTD**  
Project: **COSGROVE STAGE 206  
COSGROVE DRIVE, COSGROVE  
EARTHWORKS LAYOUT PLAN**  
Local Authority: Townsville City Council  
Locality:

Date: 12th April, 2021  
Sheet: 1 of 1 Sheets  
Scale: AS SHOWN  
Plan No: 27001/218 A  
braziermotti.com.au  
*[Logo]*



**STORMWATER LEGEND:**

- S — S — SEWER MAIN
- RM — RM — EXISTING SEWER RISING MAIN
- E — E — EXISTING OVERHEAD POWERLINE
- D — D — STORMWATER DRAINAGE LINE
- 3/1 — STORMWATER MANHOLE (MANHOLE NO./LINE NO.)
- 1/12 — KERB INLET PIT (PIT NO./LINE NO.)
- D — D — EXISTING STORMWATER DRAINAGE LINE
- D — Ex.6/1 — EXISTING STORMWATER MANHOLE (MANHOLE NO./LINE NO.)
- D — Ex.1/13 — EXISTING KERB INLET PIT (PIT NO./LINE NO.)

**STORMWATER NOTES**

1. ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
2. FOR STORMWATER LEVELS, PIPE LENGTHS, PIPE CLASS AND STRUCTURE TYPES, REFER STORMWATER LONGITUDINAL DRAWINGS.
3. ALL PIPE CUTS MADE USING A MASONRY SAW.
4. ALL TRENCHES UNDER ROAD PAVEMENT (INCLUDING FUTURE) BACKFILLED WITH CRUSHER DUST TO SUBGRADE LEVEL.

**ROADWORKS LEGEND**

- LAYBACK KERB AND CHANNEL (TYPE L1)
- BARRIER KERB AND CHANNEL (TYPE B1)
- 600mm WIDE DISH DRAIN (TYPE D2)
- BARRIER KERB (TYPE B3)
- DOUBLE STREET NAME PLATE
- DIRECTION OF KERB & CHANNEL FLOW
- SUBSOIL DRAIN & CLEANOUT POINT
- 30mm THICK ASPHALT
- 125mm THICK N32 CONCRETE SL82 MESH 40mm TOP COVER 100mm SUB BASE COURSE (DMR TYPE 2.3)
- RETAINING WALL

**ROADWORKS NOTES**

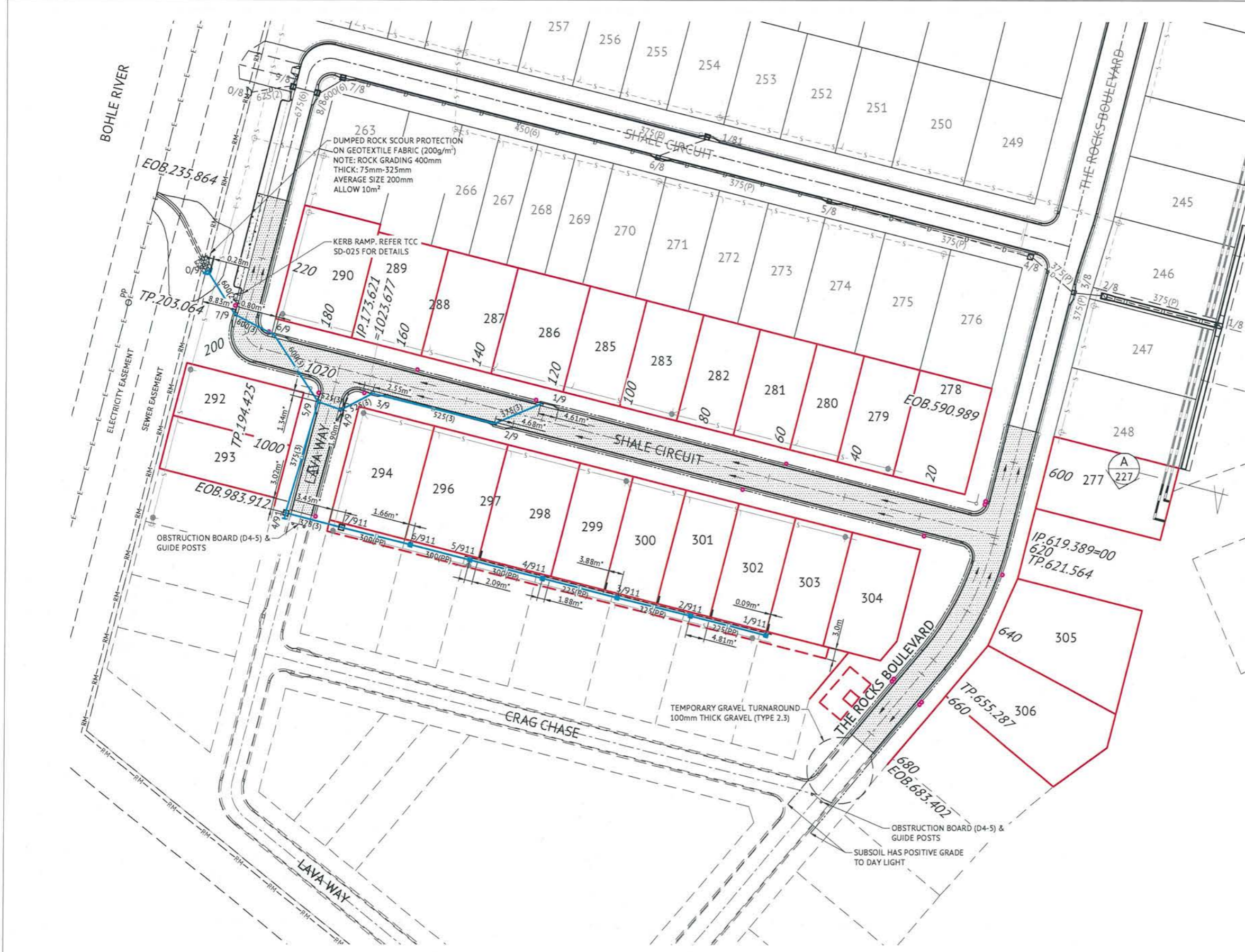
1. ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
2. ALL SUBSOIL DRAINS GRADED AT MINIMUM 0.5% FROM HIGH POINT TO OUTLET, UNLESS NOTED OTHERWISE.

MENDI CONSTRUCTIONS PTY LTD DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

AUTHORISED REPRESENTATIVE: *[Signature]*  
DATE: 19/04/21

PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

RPEQ: *[Signature]* 13231  
DATE: 13.04.21



**ROADWORKS AND STORMWATER DRAINAGE PLAN**

SCALE 1:500



No.	Date	Details	Check
A	12.04.21	Original Issue	GED

Level Datum: AHD (DERIVED)  
B.M. Used: PM204181 RL:101.88  
Coordinate Projection: Plane Rectangular  
Origin of Coordinates: PM204181  
Meridian: MGA94 (Zone 55)  
Map Reference:  
Contour Interval:  
Job No: 27001-158-01  
File No: 27001\_219A.dwg

Surveyed by: BM  
Drawn: MJM  
Approved:

BRAZIER MOTTI PTY LTD (ACN 866 411 041), 595 Widders Street, Townsville hereby certifies that this Drawing accurately and correctly describes and records the nature and location of the works depicted by asterisks in drawings that have been constructed for subdivision.

*[Signature]*  
Drafter  
Date: 13-04-21

Client: **PARKSIDE DEVELOPMENT PTY LTD**  
Project: **COSGROVE STAGE 206  
COSGROVE DRIVE, COSGROVE  
ROADWORKS AND STORMWATER DRAINAGE PLAN**

Date: 12th April, 2021  
Sheet: 1 of 1 Sheets  
Scale: AS SHOWN  
Plan No: 27001/219 A

Local Authority: Townsville City Council  
Localty:

MENDI CONSTRUCTIONS PTY LTD DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

AUTHORISED REPRESENTATIVE: *[Signature]*  
 DATE: 19/04/21

PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

RPEQ: *[Signature]* 13231  
 DATE: 19.04.21

APPROVED PAVEMENT DESIGN  
 THE ROCKS BOULEVARD  
 CH.590.989 - CH.703.387

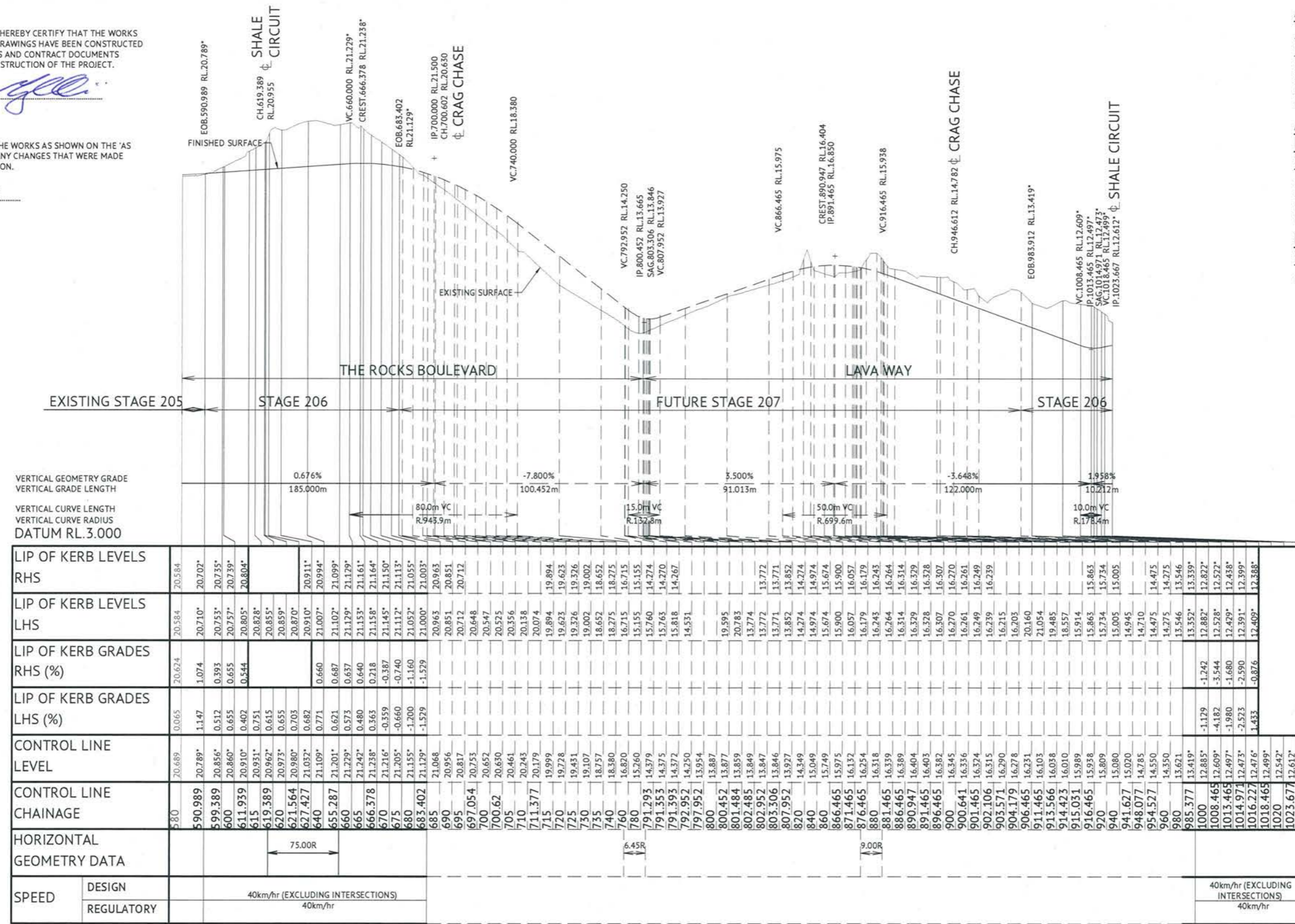
30mm ASPHALT SURFACING (AC10M)  
 PRIME COAT 1.1L/m<sup>2</sup> (AMCO)  
 125mm BASE COURSE (DMR TYPE 2.1)  
 125mm SUB BASE COURSE (DMR TYPE 2.3)

APPROVED PAVEMENT DESIGN  
 LAVA WAY  
 CH.983.912 - CH.1022.212

30mm ASPHALT SURFACING (AC10M)  
 PRIME COAT 1.1L/m<sup>2</sup> (AMCO)  
 125mm BASE COURSE (DMR TYPE 2.1)  
 125mm SUB BASE COURSE (DMR TYPE 2.3)

ROAD LONGITUDINAL  
 SECTION NOTES

1. FOR LEVEL INFORMATION REFER ROADWORKS DETAILS PLAN.



CHAINAGE	CONTROL LINE LEVEL	LIP OF KERB GRADES LHS (%)	LIP OF KERB GRADES RHS (%)	LIP OF KERB LEVELS LHS	LIP OF KERB LEVELS RHS
580	20.689	0.065	20.624	20.584	20.584
590.989	20.789*	1.147	1.074	20.710*	20.702*
599.389	20.856*	0.512	0.393	20.753*	20.735*
600	20.860*	0.655	0.655	20.757*	20.739*
611.939	20.910*	0.751	0.544	20.805*	20.804*
619.389	20.962*	0.615		20.855*	
620	20.973*	0.655		20.859*	
621.564	20.980*	0.703		20.870*	
627.427	21.032*	0.682		20.910*	
640	21.109*	0.771	0.660	21.007*	20.994*
655.287	21.201*	0.621	0.687	21.102*	21.099*
660	21.229*	0.573	0.637	21.129*	21.129*
665	21.242*	0.480	0.640	21.153*	21.161*
666.378	21.238*	0.363	0.218	21.158*	21.164*
670	21.216*	-0.359	-0.387	21.145*	21.150*
675	21.205*	-0.660	-0.740	21.112*	21.113*
680	21.155*	-1.200	-1.160	21.052*	21.055*
683.402	21.129*	-1.529	-1.529	21.000*	21.003*
685	21.068			20.963	20.963
690	20.956			20.851	20.851
695	20.817			20.712	20.712
697.054	20.753			20.648	
700	20.652			20.547	
700.62	20.630			20.525	
705	20.461			20.356	
710	20.243			20.138	
711.377	20.179			20.074	
715	19.999			19.894	19.894
720	19.728			19.623	19.623
725	19.451			19.326	19.326
730	19.107			19.002	19.002
735	18.757			18.652	18.652
740	18.380			18.275	18.275
760	16.820			16.715	16.715
780	15.260			15.155	15.155
791.293	14.379			14.274	14.274
791.353	14.375			14.270	14.270
791.393	14.372			14.267	14.267
797.952	13.954			14.531	14.531
800	13.887			19.595	19.595
800.452	13.877			20.783	20.783
801.484	13.859			13.774	13.774
802.485	13.849			13.771	13.771
802.952	13.847			13.852	13.852
803.306	13.846			14.274	14.274
807.952	13.927			14.974	14.974
820	14.349			15.674	15.674
840	15.049			15.900	15.900
860	15.749			16.179	16.179
866.465	15.975			16.243	16.243
871.465	16.132			16.264	16.264
876.465	16.254			16.314	16.314
880	16.318			16.329	16.329
881.465	16.339			16.328	16.328
886.465	16.389			16.307	16.307
890.947	16.404			16.270	16.270
891.465	16.403			16.261	16.261
896.465	16.432			16.249	16.249
900	16.345			16.239	16.239
900.641	16.356			16.215	16.215
901.465	16.374			20.160	20.160
902.106	16.315			21.054	21.054
903.571	16.290			19.485	19.485
904.179	16.278			18.557	18.557
906.465	16.231			15.914	15.914
911.465	16.103			15.863	15.863
913.566	16.038			15.734	15.734
914.423	16.010			15.005	15.005
915.031	15.989			14.945	14.945
916.465	15.938			14.710	14.710
920	15.809			14.475	14.475
940	15.080			14.275	14.275
941.627	15.020			13.546	13.546
948.077	14.785			13.352*	13.359*
954.527	14.550			12.822*	12.822*
960	14.350			12.528*	12.528*
980	13.621			12.438*	12.438*
985.377	13.419*			12.399*	12.399*
1000	12.885*			12.409*	12.409*
1008.465	12.609*				
1013.465	12.497*				
1014.971	12.473*				
1016.227	12.476*				
1018.465	12.499*				
1020	12.542*				
1023.677	12.612*				

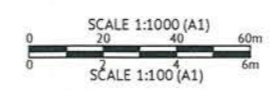
THE ROCKS BOULEVARD AND LAVA WAY LONGITUDINAL SECTION

SCALE 1:1000 HORIZONTAL, SCALE 1:100 VERTICAL

No.	Date	Details	Check
A	12.04.21	Original Issue	GEO

BRAZIER MOTTI PTY LTD (ACN 066 411 041) 595 Flinders Street, Townsville hereby certifies that this Drawing accurately and correctly describes and records the nature and location of the works depicted by asterisks. This drawing is not to be used for subdivision.

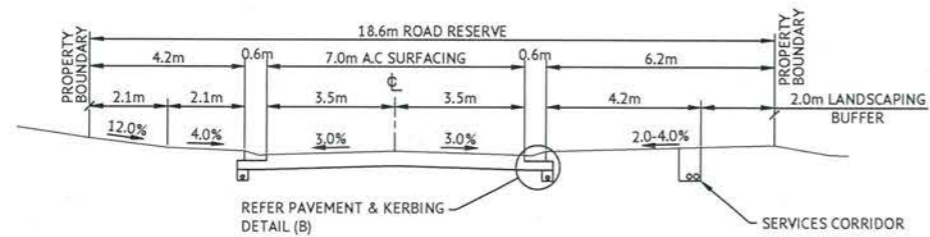
*[Signature]*  
 Director  
 Date: 13-04-21



Client: PARKSIDE DEVELOPMENT PTY LTD  
 Project: COSGROVE STAGE 206  
 COSGROVE DRIVE, COSGROVE  
 THE ROCKS BOULEVARD AND LAVA WAY LONG SECTION

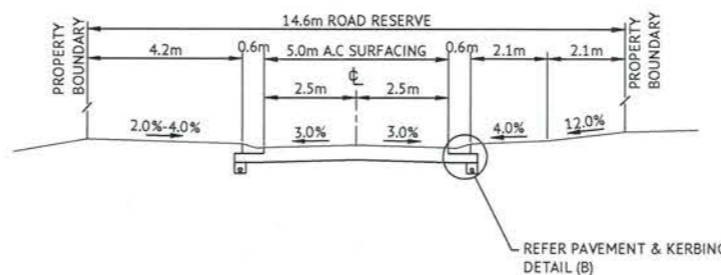
Date: 12th April, 2021  
 Sheet 1 of 1 Sheets  
 Scale: AS SHOWN A1  
 Plan No: 27001/220 A





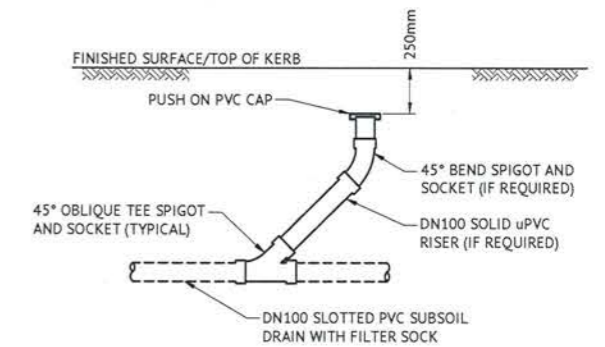
**THE ROCKS BOULEVARD CROSS SECTIONS**

SCALE 1:100



**LAVA WAY CROSS SECTIONS**

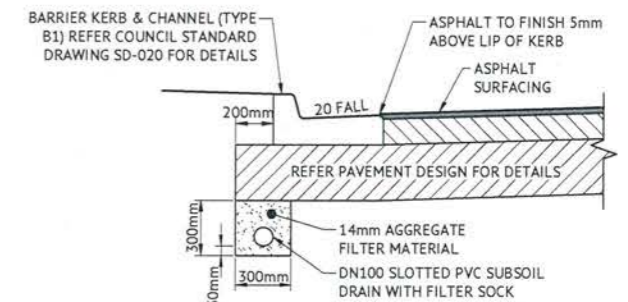
SCALE 1:100



**TYPICAL SUBSOIL DRAIN CLEANOUT POINT DETAIL**

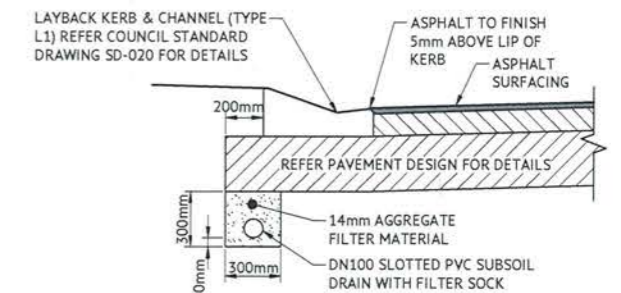
NTS

NOTE: PROVIDE "S" BRASS KERB MARKER TO INDICATE LOCATION OF CLEANOUT POINT



**PAVEMENT & KERBING DETAIL (A MODIFIED)**

SCALE 1:20



**PAVEMENT & KERBING DETAIL (B)**

SCALE 1:20

MENDI CONSTRUCTIONS PTY LTD DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

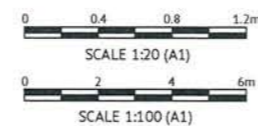
AUTHORISED REPRESENTATIVE: *[Signature]*  
DATE: 19/04/21

PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

RPEQ: *[Signature]* 13231  
DATE: 19.04.21

No.	Date	Details	Check
A	12.04.21	Original Issue	GEO

Level Datum: AHD (DERIVED)  
 B.M. Used: PM204185 RL:10.188  
 Coordinate Projection: Plane Rectangular  
 Coordinate Datum: Arbitrary  
 Origin of Coordinates: PM204185 E: 69029.701  
 Meridian: MISA94 (Zone 55) N: 90844.196  
 Map Reference:  
 Contour Interval: Surveyed by: BM  
 Job No: 27001-158-01 Drawn: M/M  
 File No: 27001\_221A.dwg Approved:



Client: **PARKSIDE DEVELOPMENT PTY LTD**  
 Project: **COSGROVE STAGE 206**  
**COSGROVE DRIVE, COSGROVE**  
 Local Authority: Townsville City Council

Date: 12th April, 2021  
 Sheet 1 of 1 Sheets  
 Scale: AS SHOWN A1  
 Plan No: 27001/221 A  
 Local Authority: Townsville City Council  
 Local Authority: Townsville City Council  
 Local Authority: Townsville City Council

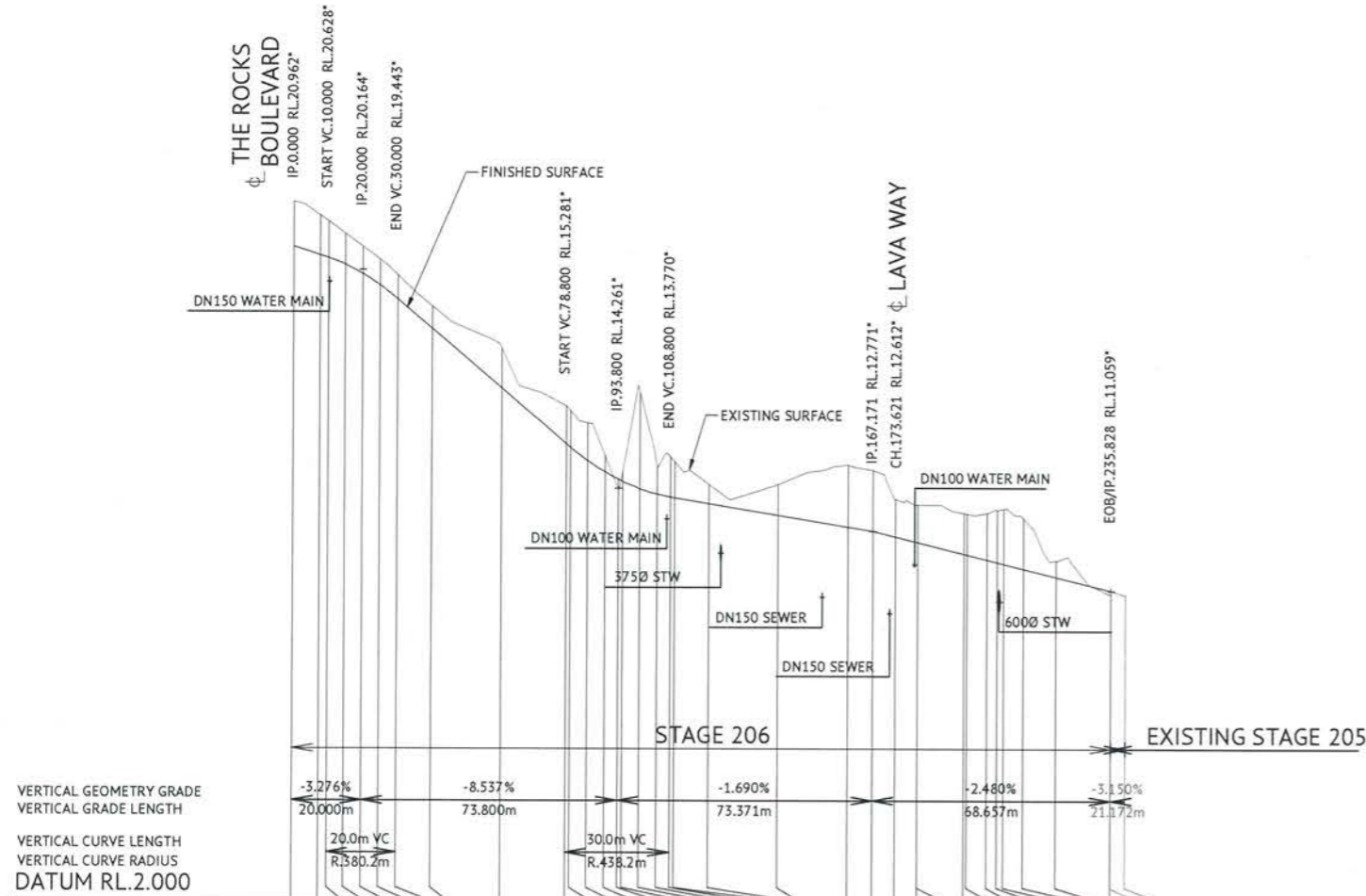


**APPROVED PAVEMENT DESIGN**  
**SHALE CIRCUIT**  
**CH.0.000 - CH.235.864**

30mm ASPHALT SURFACING (AC10M)  
 PRIME COAT 1.1L/m<sup>2</sup> (AMCO)  
 125mm BASE COURSE (DMR TYPE 2.1)  
 125mm SUB BASE COURSE (DMR TYPE 2.3)

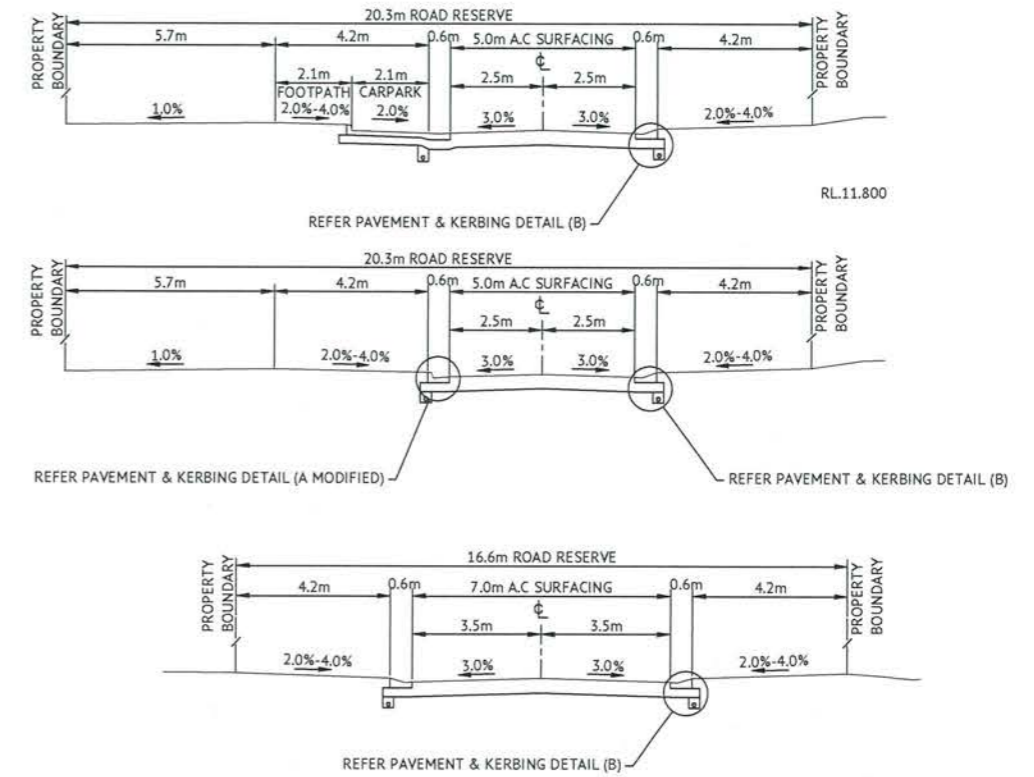
**ROAD LONGITUDINAL SECTION NOTES**

1. FOR LEVEL INFORMATION REFER ROADWORKS DETAILS PLAN.



LIP OF KERB LEVELS RHS	20.605*	20.574*	20.532*	20.467*	19.734*	19.344*	18.490*	16.782*	15.175*	15.075*	14.692*	14.365*	14.152*	14.096*	13.880*	13.775*	13.648*	13.627*	13.454*	13.120*	12.784*	12.654*	12.507*	12.338*	12.337*	12.006*	11.777*	11.619*	11.379*	10.987*	10.981	10.851	
LIP OF KERB LEVELS LHS	20.609*	20.579*	20.532*	20.068*	19.740*	19.344*	18.493*	16.783*	15.178*	15.075*	14.691*	14.367*	14.152*	14.096*	13.880*	13.776*	13.648*	13.627*	13.454*	13.124*	12.786*	12.654*	12.507*	12.338*	12.337*	12.006*	11.745*	11.611*	11.377*	10.991*	10.981	10.851	
LIP OF KERB GRADES RHS (%)	-3.456	-3.940	-5.200	-6.660	-7.800	-8.540	-8.540	-8.540	-8.548	-8.533	0.511	-0.385	-5.605	-4.667	-3.100	-2.167	-2.026	-1.750	-1.730	-1.670	-1.680	-1.813	-2.279	-2.649	-1.408	-2.443	-2.661	-2.599	-2.477	0.107	10.949	10.952	10.851
LIP OF KERB GRADES LHS (%)	-3.413	-3.940	-5.280	-6.560	-7.920	-8.510	-8.550	-8.550	-8.537	-8.500	-0.381	-5.632	-4.380	-3.020	-3.100	-2.167	-2.026	-1.640	-1.730	-1.690	-1.785	-2.078	-2.649	-2.649	-1.408	-2.421	-2.330	-2.534	-2.439	0.107	10.949	10.952	10.851
CONTROL LINE LEVEL	20.962*	20.707*	20.628*	20.432*	20.164*	19.843*	18.594*	16.889*	15.281*	15.183*	14.798*	14.471*	14.261*	14.195*	13.985*	13.850*	13.770*	13.744*	13.552*	13.225*	12.894*	12.771*	12.612*	12.452*	12.452*	12.113*	11.967*	11.891*	11.840*	11.696*	11.468*	11.056	10.926
CONTROL LINE CHAINAGE	7.656	10	15	20	25	30	40	60	78.8	80	85	90	95	100	105	108.8	110	120	140	160	167.171	173.621	180	180.071	193.475	194.425	200	203.064	205.014	210.764	220	235.828	240
HORIZONTAL GEOMETRY DATA	5.50R																																
SPEED DESIGN	30km/hr (EXCLUDING INTERSECTIONS)																																
SPEED REGULATORY	30km/hr																																

**SHALE CIRCUIT LONGITUDINAL SECTION**  
 SCALE 1:1000 HORIZONTAL SCALE 1:100 VERTICAL



**SHALE CIRCUIT CROSS SECTIONS**  
 SCALE 1:100

MENDI CONSTRUCTIONS PTY LTD DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

AUTHORISED REPRESENTATIVE: *[Signature]*  
 DATE: 19/04/21

PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

RPEQ: *[Signature]* 15231  
 DATE: 19-04-21

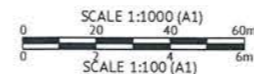
No.	Date	Details	Check
A	12.04.21	Original Issue	GEO

Level Datum: AHD (DERIVED)  
 B.M. Used: PM204181 RL:10.188  
 Coordinate Projection: Plane Rectangular  
 Coordinate Datum: Arbitrary  
 Origin of Coordinates: PM204181  
 Meridian: MGA94 (Zone 55)  
 Map Reference:  
 Contour Interval:  
 Job No: 27001-158-01  
 File No: 27001\_222A.dwg

Surveyed by: BM  
 Drawn: MIM  
 Approved:

BRAZIER MOTTI PTY LTD (ACN 056 411 041), 595 Sanders Street, Townsville hereby certifies that the Drawing accurately and correctly describes and records the nature and location of the works depicted by asterisks in the plan and that the works have been constructed for subdivision.

*[Signature]*  
 Director  
 Date: 13-04-21



Client: **PARKSIDE DEVELOPMENT PTY LTD**  
 Project: **COSGROVE STAGE 206  
 COSGROVE DRIVE, COSGROVE  
 SHALE CIRCUIT LONGITUDINAL AND CROSS SECTIONS**  
 Local Authority: Townsville City Council

Date: 12th April, 2021  
 Sheet 1 of 1 Sheets  
 Scale: AS SHOWN  
 Plan No: 27001/222 A

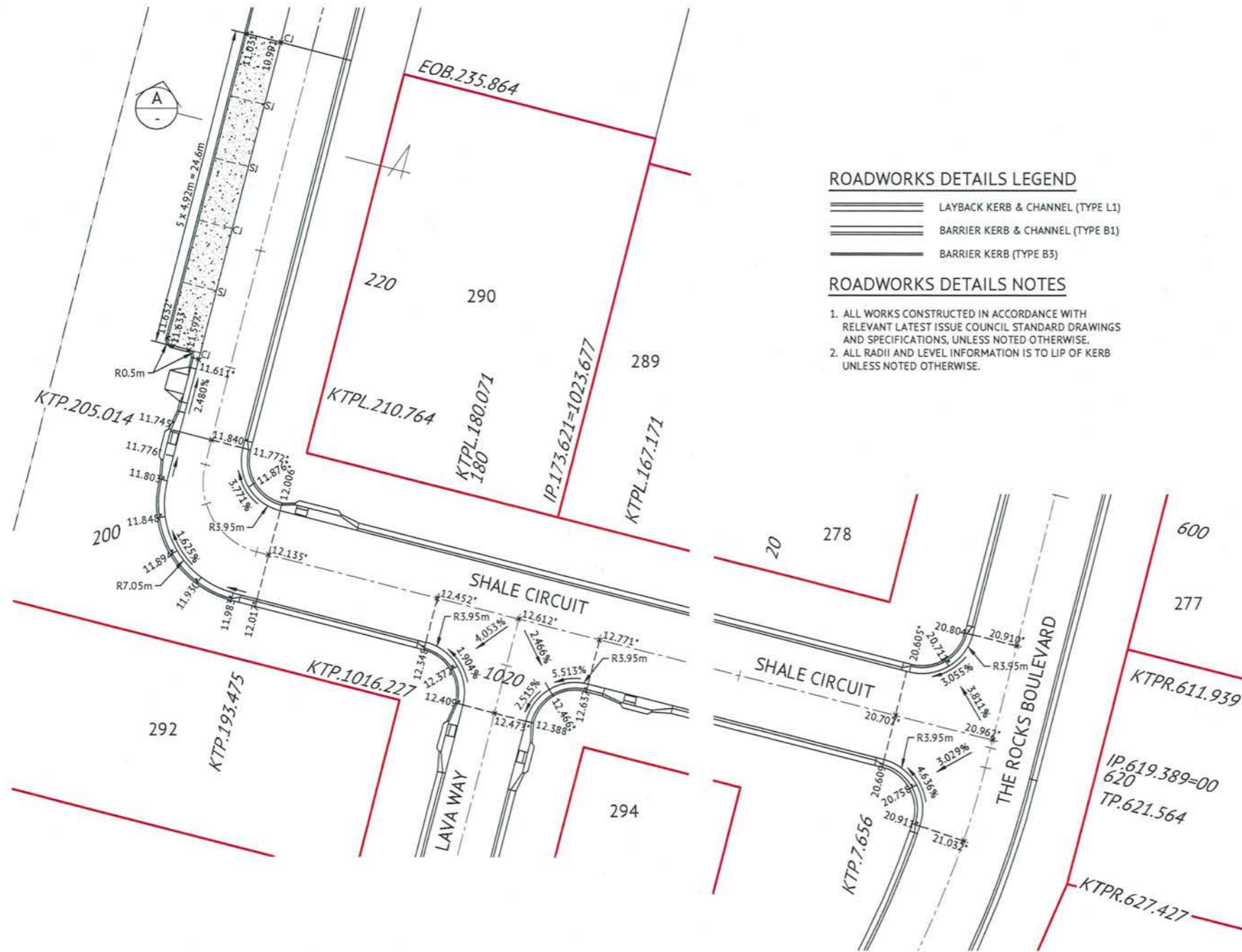
braziermotti.com.au  
 SURVEILING  
 TOWNPLANNING  
 PROJECT MANAGEMENT  
 MAPPING & GIS

MENDI CONSTRUCTIONS PTY LTD DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

AUTHORISED REPRESENTATIVE: *[Signature]*  
DATE: 19/04/21

PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

RPEQ: *[Signature]*  
DATE: 19.04.21



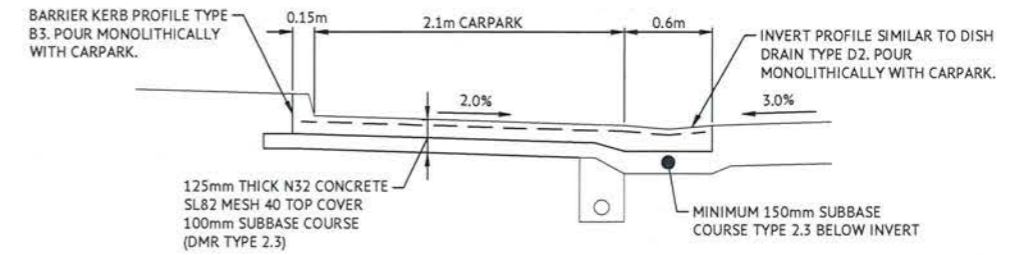
**ROADWORKS DETAILS**  
SCALE 1:200

**ROADWORKS DETAILS LEGEND**

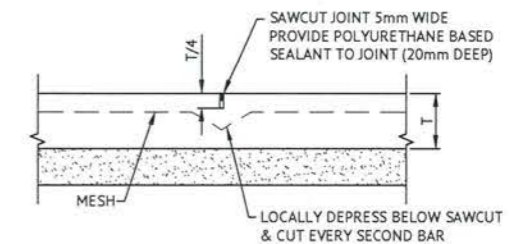
- LAYBACK KERB & CHANNEL (TYPE L1)
- BARRIER KERB & CHANNEL (TYPE B1)
- BARRIER KERB (TYPE B3)

**ROADWORKS DETAILS NOTES**

1. ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
2. ALL RADII AND LEVEL INFORMATION IS TO LIP OF KERB UNLESS NOTED OTHERWISE.



**SECTION A - CARPARK BAYS**  
SCALE 1:25



**SAW CUT JOINT (SJ)**  
SCALE 1:10  
NOTE: MAXIMUM JOINT SPACING 6.0m.  
T = SLAB THICKNESS



**CONTRACTION JOINT (CJ)**  
SCALE 1:10  
NOTE: MAXIMUM JOINT SPACING 15.0m  
R\* = R16 FOR SLAB THICKNESS (100mm-150mm)  
R\* = R20 FOR SLAB THICKNESS (151mm-190mm)  
R\* = R24 FOR SLAB THICKNESS (191mm-240mm)



No.	Date	Details	Check
A	12.04.21	Original Issue	GEO

Level Datum: AHD (DERMID)  
B.M. Used: PM204185 RL10.188  
Coordinate Projection: Plane Rectangular  
Coordinate Datum: Arbitrary  
Origin of Coordinates: PM204185  
Meridian: MGA94 (Zone 55)  
Map Reference:  
Contour Interval:  
Job No: 27001-158-01  
File No: 27001\_223A.dwg

E: 89029.701  
N: 90844.196

Surveyed by: BM  
Drawn: M/M  
Approved:

BRAZIER MOTTI PTY LTD (ACN 066 411 041), 595 Sanders Street, Townsville hereby certifies that the Drawing accurately and correctly describes and records the nature and location of the works depicted by asterisks and that the works have been completed for subdivision.

*[Signature]*  
Director  
Date: 13-04-21



Client: **PARKSIDE DEVELOPMENT PTY LTD**  
Project: **COSGROVE STAGE 206  
COSGROVE DRIVE, COSGROVE  
ROADWORKS DETAILS PLAN**  
Local Authority: Townsville City Council

Date: 12th April, 2021  
Sheet 1 of 1 Sheets  
Scale: AS SHOWN  
Plan No: 27001/223 A  
braziermotti.com.au  
SURVEYING  
PROJECT MANAGEMENT  
MAPPING & GIS





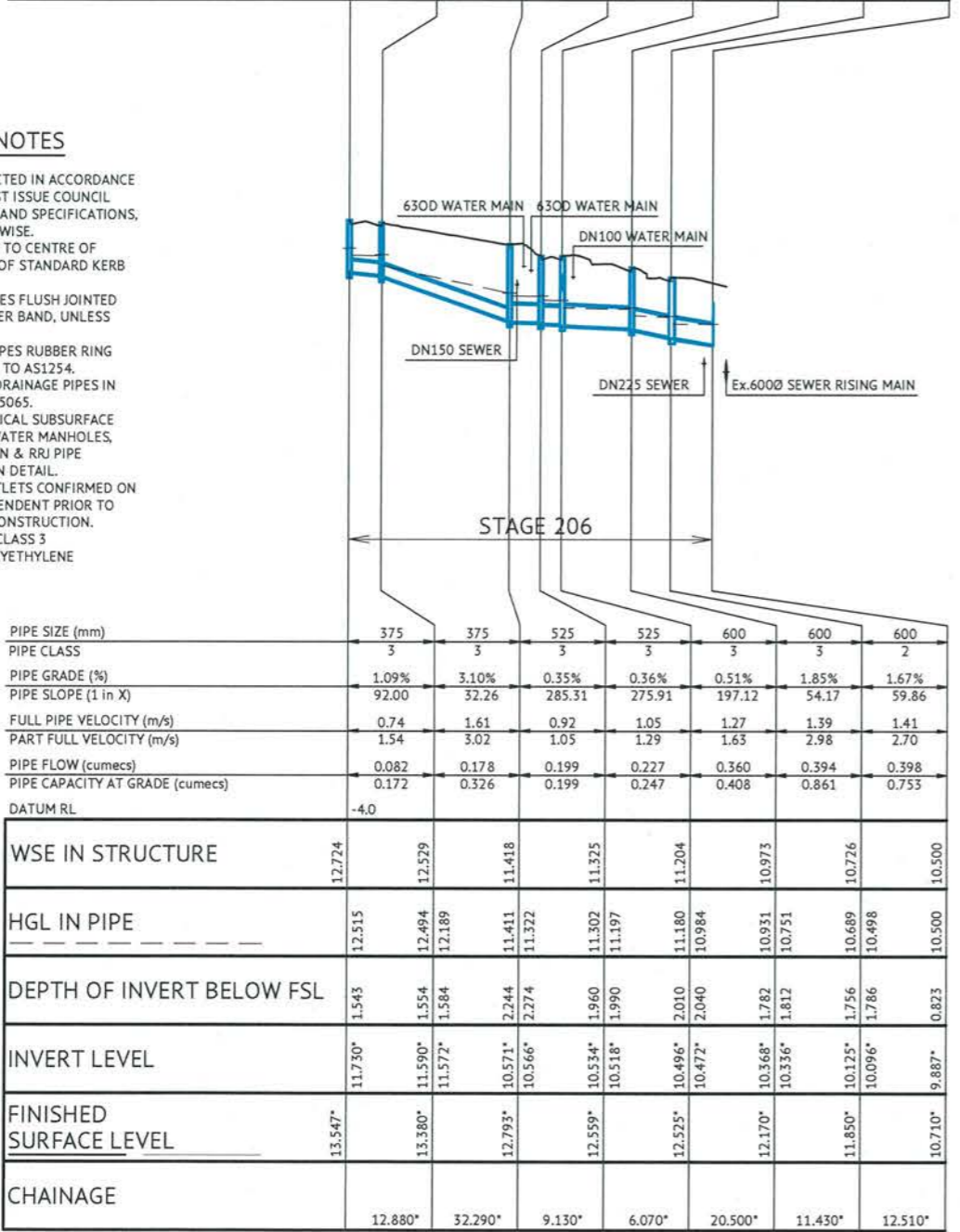
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STRUCTURE DESCRIPTION	TCC INLET PIT 3.6m LINTEL; MH TYPE 1	TCC INLET PIT 3.6m LINTEL; MH TYPE 1	TCC INLET PIT 2.4m LINTEL; MH TYPE 2	TCC INLET PIT 2.4m LINTEL; MH TYPE 2	TCC INLET PIT 2.4m LINTEL; MH TYPE 2	TCC INLET PIT 3.6m LINTEL; MH TYPE 2	TCC INLET PIT 2.4m LINTEL; MH TYPE 2	PRECAST CONCRETE OUTLET

**LEGEND**

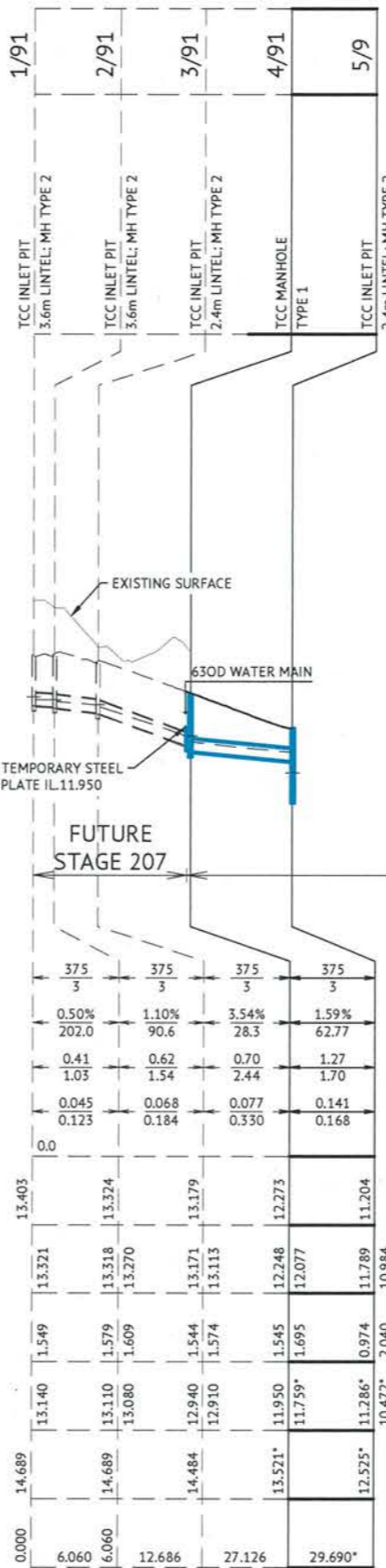
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REFER TCC STD  
DWG SD-482

**STORMWATER NOTES**

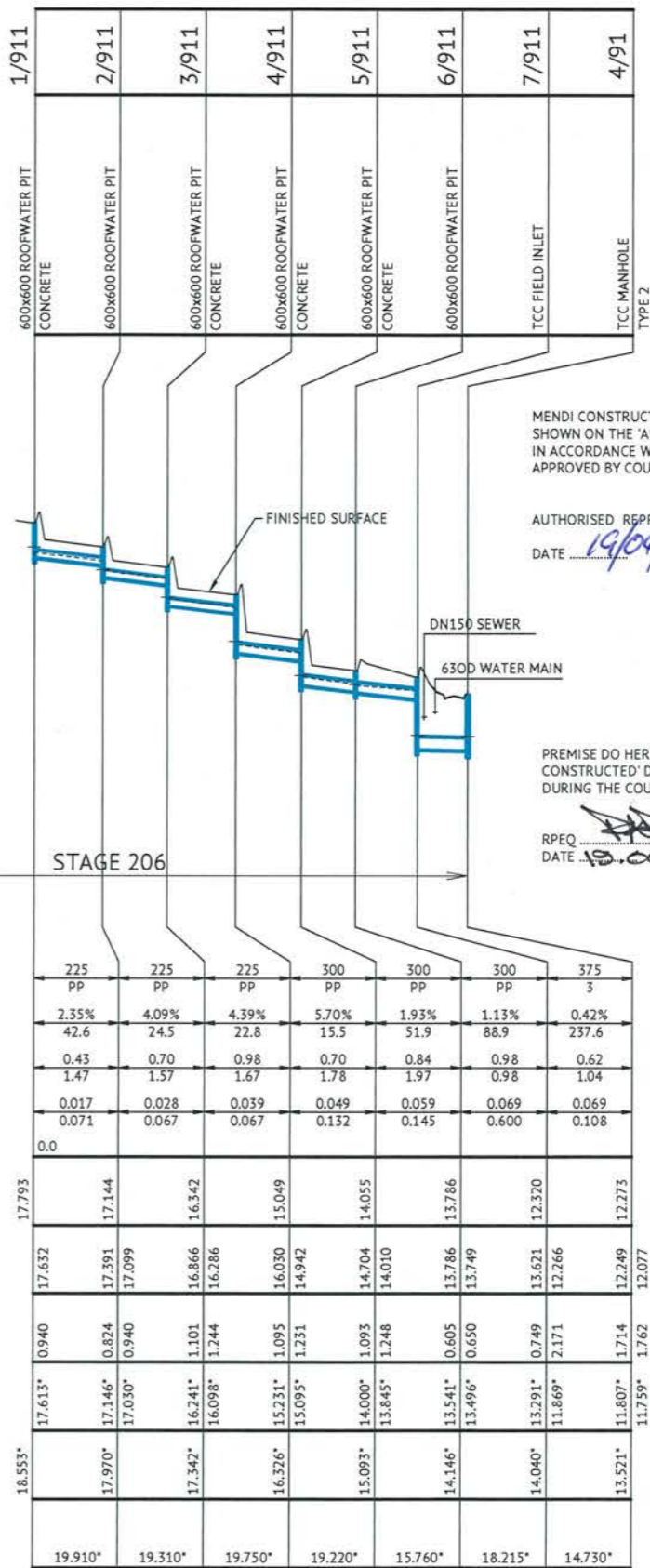
1. ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
2. STRUCTURE SETOUT IS TO CENTRE OF MANHOLE OR CENTRE OF STANDARD KERB INLET CHAMBER.
3. ALL RCP DRAINAGE PIPES FLUSH JOINTED WITH EXTERNAL RUBBER BAND, UNLESS NOTED OTHERWISE.
4. ALL uPVC DRAINAGE PIPES RUBBER RING JOINTED CONFORMING TO AS1254.
5. ALL POLYPROPYLENE DRAINAGE PIPES IN ACCORDANCE WITH AS5065.
6. REFER DETAIL FOR TYPICAL SUBSURFACE DRAINAGE TO STORMWATER MANHOLES, KERB INLET TRANSITION & RRJ PIPE MANHOLE CONNECTION DETAIL.
7. ALL STORMWATER OUTLETS CONFIRMED ON SITE BY THE SUPERINTENDENT PRIOR TO COMMENCEMENT OF CONSTRUCTION.  
PIPE CLASS: (3) - RCP CLASS 3  
(PP) - POLYETHYLENE



PIPE SIZE (mm)	375	375	525	525	600	600	600
PIPE CLASS	3	3	3	3	3	3	2
PIPE GRADE (%)	1.09%	3.10%	0.35%	0.36%	0.51%	1.85%	1.67%
PIPE SLOPE (1 in X)	92.00	32.26	285.31	275.91	197.12	54.17	59.86
FULL PIPE VELOCITY (m/s)	0.74	1.61	0.92	1.05	1.27	1.39	1.41
PART FULL VELOCITY (m/s)	1.54	3.02	1.05	1.29	1.65	2.98	2.70
PIPE FLOW (cumecs)	0.082	0.178	0.199	0.227	0.360	0.394	0.398
PIPE CAPACITY AT GRADE (cumecs)	0.172	0.326	0.199	0.247	0.408	0.861	0.753
DATUM RL	-4.0						
WSE IN STRUCTURE	12.724						
HGL IN PIPE	12.515	12.494	12.189	11.411	11.322	11.302	11.197
DEPTH OF INVERT BELOW FSL	1.543	1.554	1.584	2.244	2.274	1.960	1.990
INVERT LEVEL	11.730*	11.590*	11.572*	10.571*	10.566*	10.534*	10.518*
FINISHED SURFACE LEVEL	13.547*	13.380*	12.793*	12.559*	12.525*	12.170*	11.850*
CHAINAGE	12.880*	32.290*	9.130*	6.070*	20.500*	11.430*	12.510*



PIPE SIZE (mm)	375	375	375	375
PIPE CLASS	3	3	3	3
PIPE GRADE (%)	0.50%	1.10%	3.54%	1.59%
PIPE SLOPE (1 in X)	202.0	90.6	28.3	62.77
FULL PIPE VELOCITY (m/s)	0.41	0.62	0.70	1.27
PART FULL VELOCITY (m/s)	1.03	1.54	2.44	1.70
PIPE FLOW (cumecs)	0.045	0.068	0.077	0.141
PIPE CAPACITY AT GRADE (cumecs)	0.123	0.184	0.330	0.168
DATUM RL	0.0			
WSE IN STRUCTURE	13.403			
HGL IN PIPE	13.321	13.318	13.270	13.171
DEPTH OF INVERT BELOW FSL	1.549	1.579	1.609	1.544
INVERT LEVEL	13.140	13.110	13.080	12.910
FINISHED SURFACE LEVEL	14.689	14.689	14.484	13.521*
CHAINAGE	0.000	6.060	12.686	27.126



PIPE SIZE (mm)	225	225	225	300	300	300	375
PIPE CLASS	PP	PP	PP	PP	PP	PP	3
PIPE GRADE (%)	2.35%	4.09%	4.39%	5.70%	1.93%	1.13%	0.42%
PIPE SLOPE (1 in X)	42.6	24.5	22.8	15.5	51.9	88.9	237.6
FULL PIPE VELOCITY (m/s)	0.43	0.70	0.98	0.70	0.84	0.98	0.62
PART FULL VELOCITY (m/s)	1.47	1.57	1.67	1.78	1.97	0.98	1.04
PIPE FLOW (cumecs)	0.017	0.028	0.039	0.049	0.059	0.069	0.069
PIPE CAPACITY AT GRADE (cumecs)	0.071	0.067	0.067	0.132	0.145	0.600	0.108
DATUM RL	0.0						
WSE IN STRUCTURE	17.793						
HGL IN PIPE	17.632	17.391	17.099	16.866	16.542	16.286	16.030
DEPTH OF INVERT BELOW FSL	0.940	0.824	0.940	1.101	1.244	1.244	1.095
INVERT LEVEL	17.613*	17.146*	17.030*	16.241*	16.098*	15.231*	15.095*
FINISHED SURFACE LEVEL	18.533*	17.970*	17.342*	16.326*	15.093*	14.000*	13.845*
CHAINAGE	19.910*	19.310*	19.750*	19.220*	15.760*	18.215*	14.730*

MENDI CONSTRUCTIONS PTY LTD DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

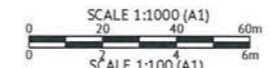
AUTHORISED REPRESENTATIVE: *[Signature]*  
DATE: 19/04/21

PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

RPEQ: *[Signature]*  
DATE: 19.04.21

**Q2 STORMWATER LONGITUDINAL SECTION**

SCALE 1:1000 HORIZONTAL, SCALE 1:100 VERTICAL



No.	Date	Details	Check
A	12.04.21	Original Issue	GED

Level Datum: AHD (DERIVED)  
B.M. Used: PM204181 RL:101.988  
Coordinate Projection: Plane Rectangular  
Coordinate Datum: Arbitrary  
Origin of Coordinates: PM204181  
Meridian: MGA94 (Zone 55)  
Map Reference:  
Contour Interval:  
Job No: 27001-15B-01  
File No: 27001\_224A.dwg

BRAZIER MOTTI PTY LTD  
13-04-21

Client: **PARKSIDE DEVELOPMENT PTY LTD**  
Project: **COSGROVE STAGE 206  
COSGROVE DRIVE, COSGROVE  
Q2 STORMWATER LONGITUDINAL SECTION**  
Local Authority: Townsville City Council

Date: 12th April, 2021  
Sheet: 1 of 1 Sheets  
Scale: AS SHOWN  
Plan No: 27001/224 A



**WATER LEGEND**

- DN100 — WATER MAIN AND DIAMETER
- 630D — POLYETHYLENE WATER MAIN AND DIAMETER
- FH — SV — FIRE HYDRANT, VALVE AND REDUCER
- W—W— EXISTING WATER MAIN, VALVE AND HYDRANT
- RM—RM— EXISTING SEWER RISING MAIN
- E—E— EXISTING OVERHEAD POWERLINE

**IRRIGATION CONDUITS LEGEND**

- DN100 CONDUIT
- DN150 CONDUIT


**WATER NOTES**

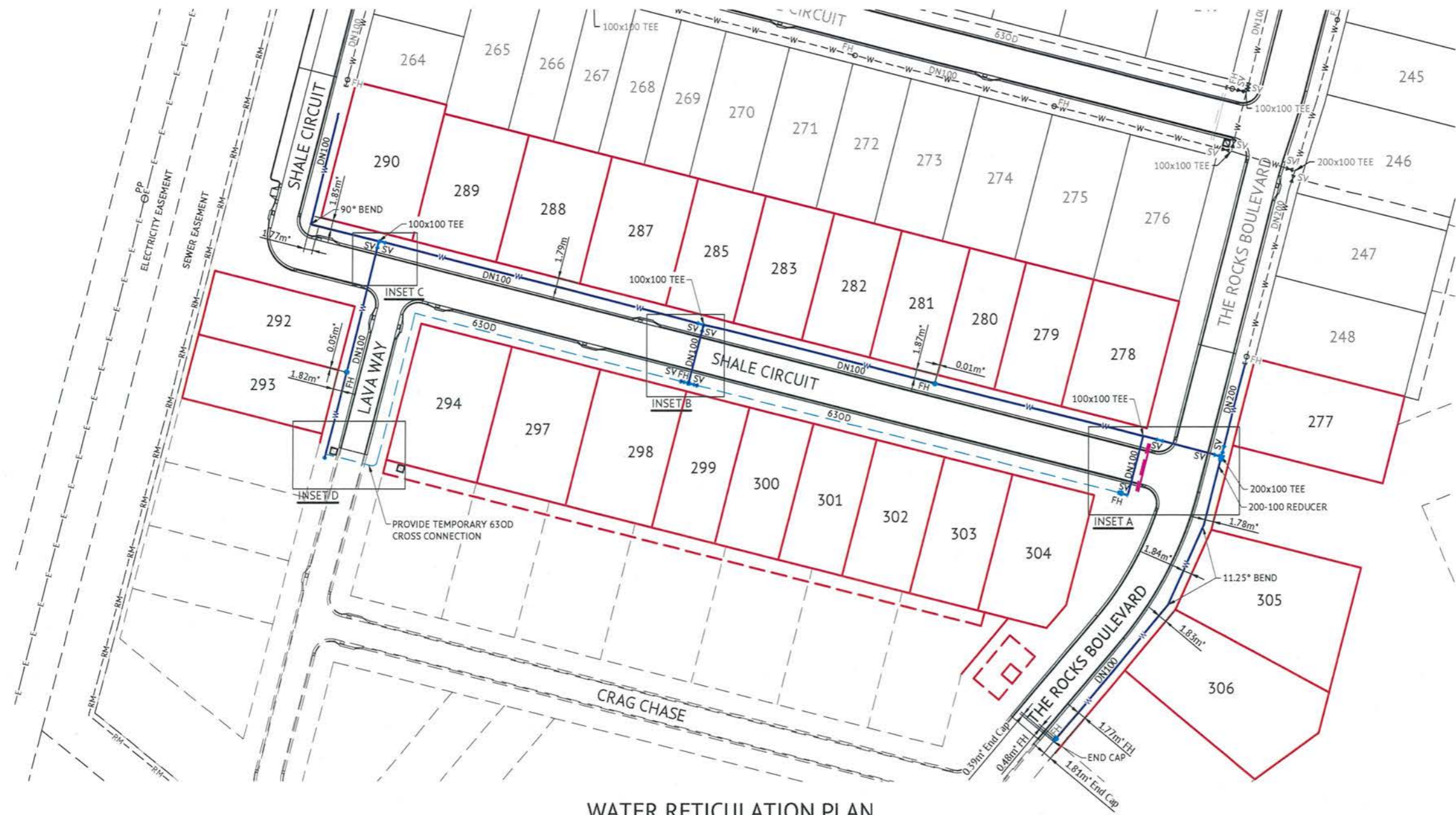
1. ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND PROJECT SPECIFICATION.
2. ALL WATER MAINS ARE LOCATED ON A 1.8m±0.1m ALIGNMENT OFFSET FROM PROPERTY BOUNDARIES, UNLESS NOTED OTHERWISE.
3. ALL uPVC MAINS ARE CLASS PN16 SERIES 2 COMPATIBLE TO AS 1477 RUBBER RING JOINTED, WITH SOCKETED DICL FITTINGS UNLESS NOTED OTHERWISE.
4. ALL 630D MAINS POLYETHYLENE CLASS PN16 TO AS 4130.
5. ALL TRENCHES UNDER ROAD PAVEMENT (INCLUDING FUTURE) BACKFILLED WITH CRUSHER DUST TO SUBGRADE LEVEL.
6. CONNECTION TO EXISTING WATER MAINS CARRIED OUT BY COUNCIL AT THE CONTRACTORS EXPENSE.
7. REFER TCC STANDARD DRAWING SD-315 FOR PVC TO PE SERVICE MAIN CONNECTION DETAIL.
8. FIRE HYDRANTS LOCATED OPPOSITE PROPERTY BOUNDARIES UNLESS NOTED OTHERWISE.

MENDI CONSTRUCTIONS PTY LTD DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

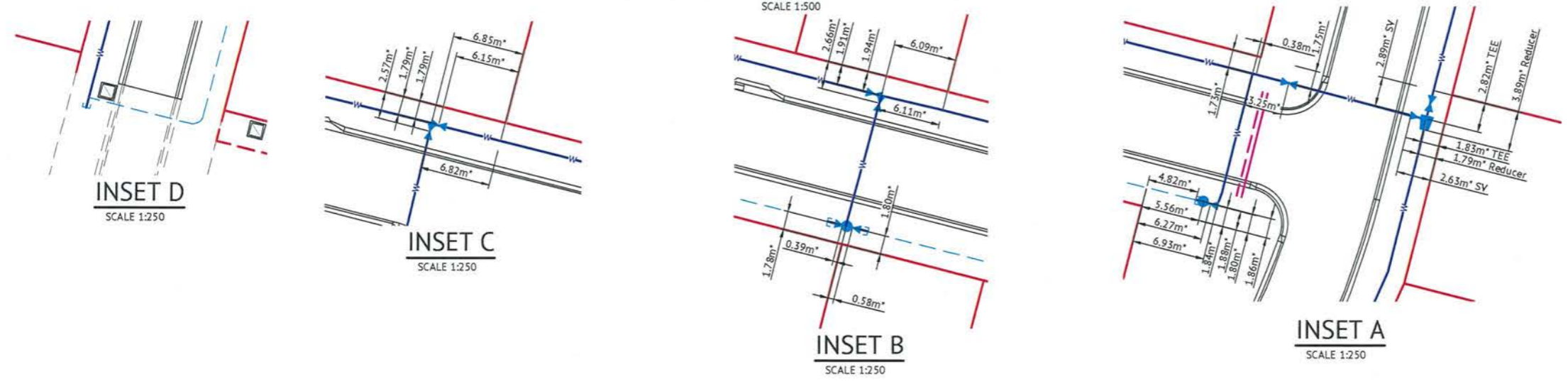
AUTHORISED REPRESENTATIVE   
 DATE 19/04/21

PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

RPEQ  13281  
 DATE 19.4.21



**WATER RETICULATION PLAN**




No.	Date	Details	Check
A	12.04.21	Original Issue	GED

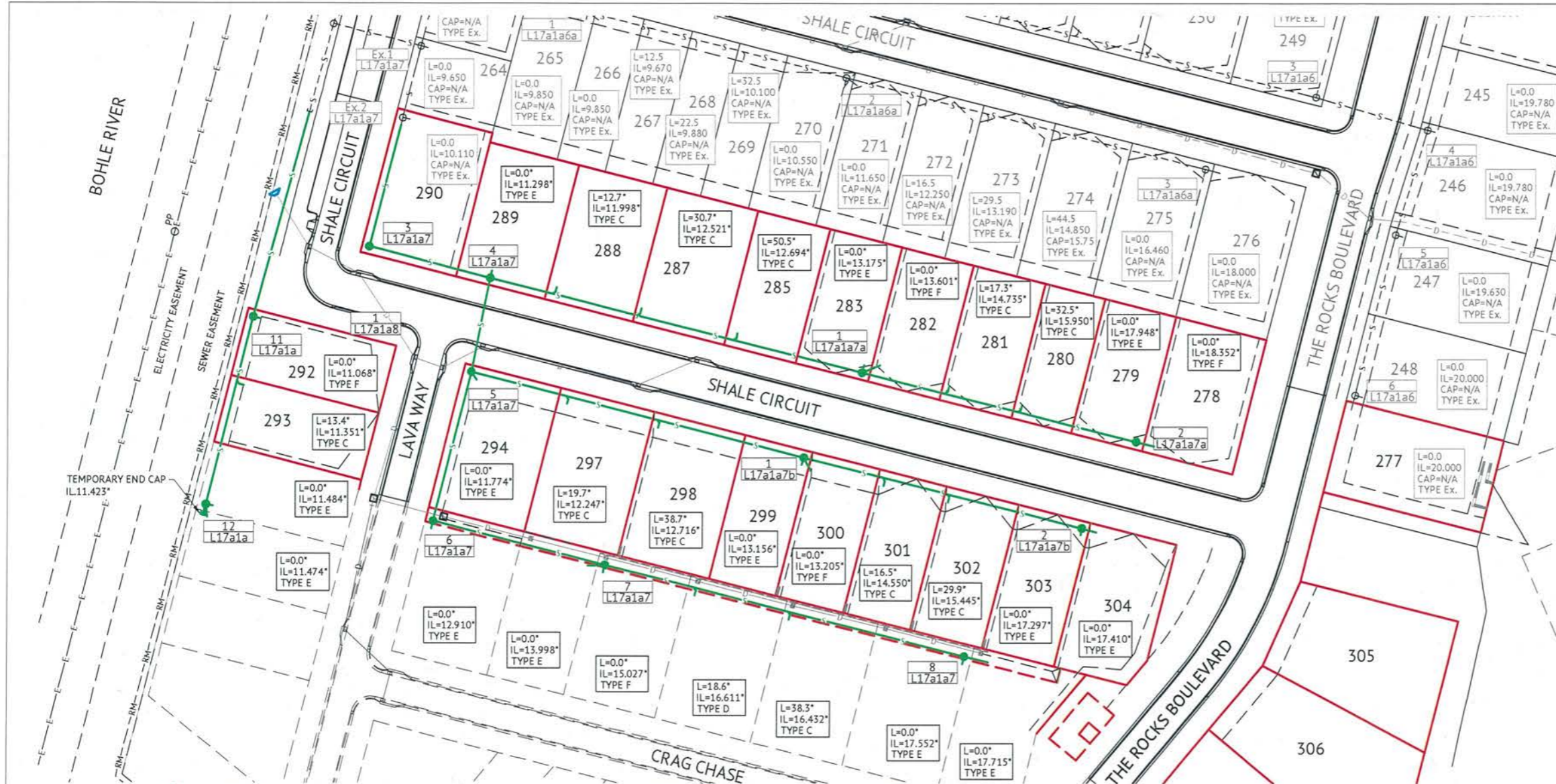
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 Coordinate Projection: Plane Rectangular  
 Coordinate Datum: Arbitrary  
 Origin of Coordinates: PM204181 E: 69029.701 N: 90844.196  
 Meridian: MGA94 (Zone 55)  
 Map Reference:  
 Contour Interval:  
 Job No: 27001-158-01  
 File No: 27001\_225A.dwg  
 Surveyed by: BM  
 Drawn: MJM  
 Approved:

BRAZIER MOTTI PTY LTD (ACN 066 411 041), 595 Flanders Street, Townsville hereby certifies that this Drawing accurately and correctly describes and records the nature and location of the works depicted by asterisks in accordance with the information requested for subdivision.  
  
 Director  
 Date: 13-04-21



Client: <b>PARKSIDE DEVELOPMENT PTY LTD</b>	Date: 12th April, 2021
Project: <b>COSGROVE STAGE 206 COSGROVE DRIVE, COSGROVE WATER RETICULATION PLAN</b>	Sheet 1 of 1 Sheets Scale: AS SHOWN
Local Authority: Townsville City Council	Plan No: 27001/225 A
Locality:	braziermotti.com.au SURVEYING PROJECT MANAGEMENT MAPPING & GIS



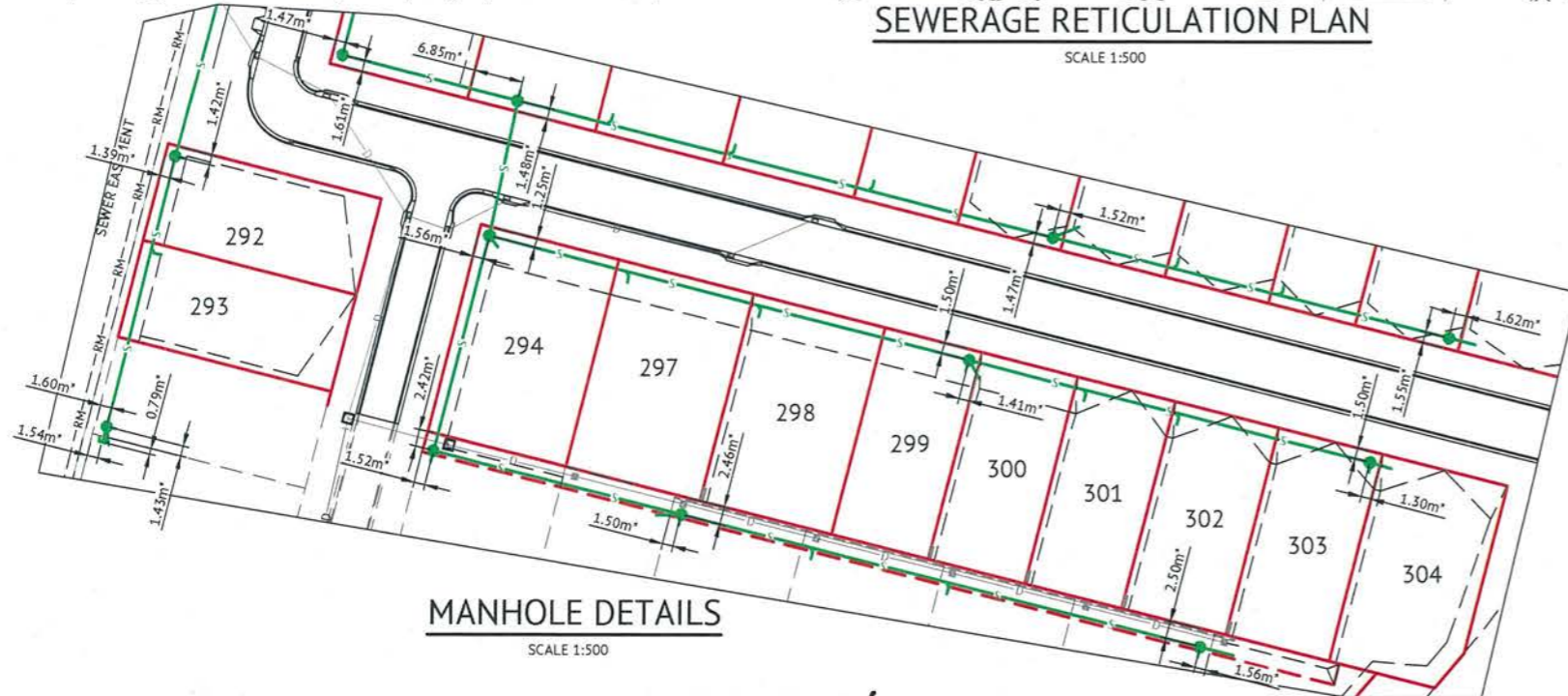


- ### SEWER LEGEND
- STORMWATER DRAINAGE LINE
  - RETAINING WALL
  - EXISTING SEWER RISING MAIN
  - EXISTING OVERHEAD POWERLINE
  - SEWER MAIN AND MANHOLE (MH)
  - SEWER MAIN AND MAINTENANCE SHAFT (MS)
  - DN100 SEWER HOUSE DRAIN
  - EXISTING SEWER MAIN AND MANHOLE
  - CERTIFIED TYPE & INDICATIVE TOP OF MANHOLE LEVEL, MANHOLE NUMBER LINE NUMBER
  - HOUSE CONNECTION (X&Y DIMENSIONS AS PER RELEVANT COUNCIL STANDARD DRAWING U.N.O.) CERTIFIED DISTANCE FROM DOWNSTREAM MANHOLE CERTIFIED INVERT LEVEL OF HOUSE CONNECTION POINT HOUSE CONNECTION TYPE
  - TYPE C - WITHIN LOT 'DIRECT CONNECTION' TYPE D - WITHIN LOT 'JUMP UP' TYPE E - MANHOLE 'DIRECT CONNECTION' TYPE F - MANHOLE 'INTERNAL DROP' TYPE Ex. - EXISTING HOUSE CONNECTION

- ### SEWER NOTES
1. ALL WORKS CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND PROJECT SPECIFICATION
  2. ALL SEWERAGE MAINS LOCATED ON 1.5m ±0.1m ALIGNMENT OFFSET FROM THE PROPERTY BOUNDARIES, UNLESS NOTED OTHERWISE.
  3. ALL SEWERAGE MAINS DN150, UNLESS NOTED OTHERWISE.
  4. ALL DN150 AND DN225 SEWERAGE MAINS uPVC DWV SN8, UNLESS NOTED OTHERWISE.
  5. ALL DN100 HOUSE DRAINS uPVC DWV SN10, UNLESS NOTED OTHERWISE. (MAXIMUM LENGTH 10.0m)
  6. ALL TRENCHES UNDER ROAD PAVEMENT (INCLUDING FUTURE) BACKFILLED WITH CRUSHER DUST TO SUBGRADE LEVEL.
  7. CONNECTION/ALTERATIONS TO EXISTING SEWERAGE INFRASTRUCTURE CARRIED OUT BY COUNCIL AT THE CONTRACTORS EXPENSE.
  8. ALL MANHOLE INTERNAL DROP 'CORES' ARE NOT LOCATED WITHIN 150mm OF PRECAST WALL JOINTS. IF CLASH OCCURRED SUPERINTENDENT PROVIDED FURTHER INSTRUCTIONS PRIOR TO MANHOLE BEING 'CORED'.
  9. TOP OF MANHOLE LEVELS PROVIDED ARE INDICATIVE, REFER TCC STANDARD DRAWING SD-475 FOR FINISHED LEVELS OF MANHOLE COVERS.

## SEWERAGE RETICULATION PLAN

SCALE 1:500



## MANHOLE DETAILS

SCALE 1:500

MENDI CONSTRUCTIONS PTY LTD DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

AUTHORISED REPRESENTATIVE   
 DATE 19/04/21

PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

RPEQ   
 DATE 19-04-21

No.	Date	Details	Check
A	12.04.21	Original Issue	GEO

Level Datum: AHD (DERIVED)  
 B.M. Used: PM204181 RL:10.188  
 Coordinate Projection: Plane Rectangular  
 Coordinate Datum: Arbitrary  
 Origin of Coordinates: PM204181  
 Meridian: MGA94 (Zone 55)  
 Map Reference:  
 Contour Interval:  
 Job No: 27001-158-01  
 File No: 27001\_226A.dwg

Surveyed by: BM  
 Drawn: MJM  
 Approved:

BRAZIER MOTTI PTY LTD (ACN 066 411 041), 595 Rinders Street, Townsville hereby certifies that this Drawing accurately and correctly describes and records the nature and location of the works depicted by asterisks and that the works have been completed for subdivision.

Director  
 Date: 13-04-21



Client: **PARKSIDE DEVELOPMENT PTY LTD**

Project: **COSGROVE STAGE 206  
 COSGROVE DRIVE, COSGROVE  
 SEWERAGE RETICULATION PLAN**

Date: 12th April, 2021  
 Sheet 1 of 1 Sheets  
 Scale: AS SHOWN  
 Plan No: 27001/226 A

Local Authority: Townsville City Council

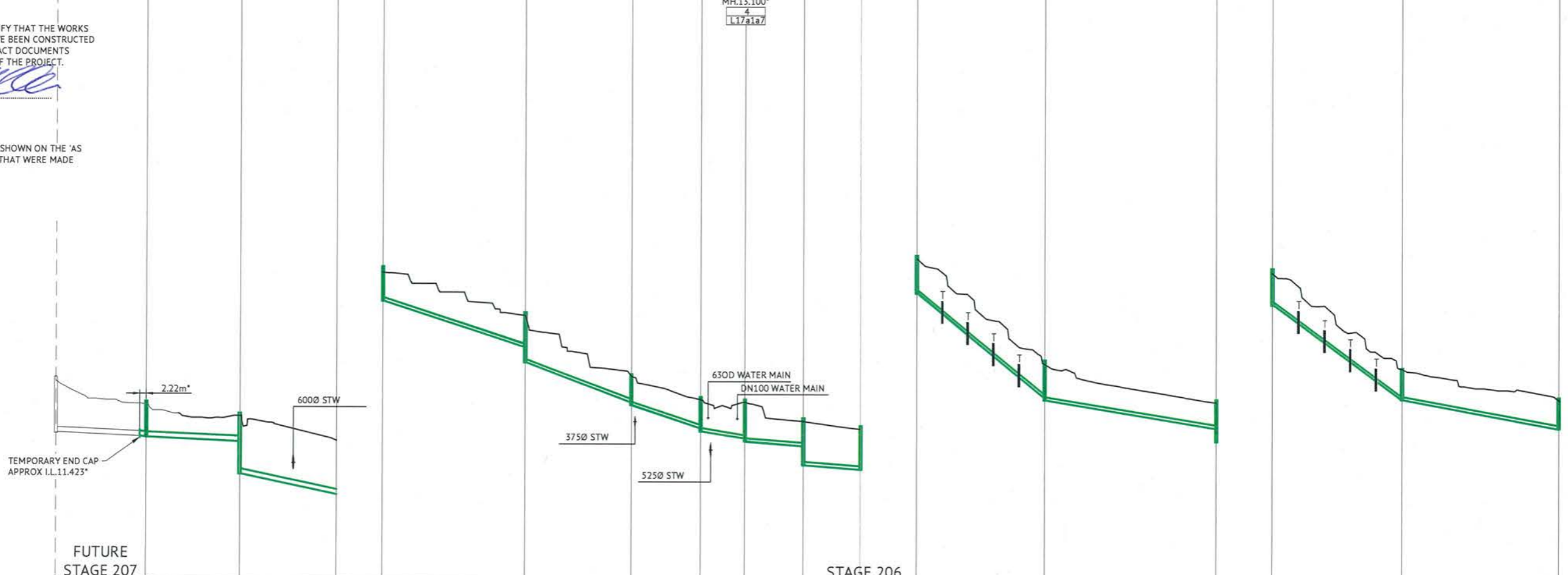
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AUTHORISED REPRESENTATIVE: *[Signature]*  
 DATE: 19/04/21

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RPEQ: *[Signature]* 13231  
 DATE: 13.04.21

MH.14.050  
 MH.12.968\*  
 MH.12.434\*  
 TEMP RND CAP  
 MH.19.127\*  
 MH.16.196\*  
 MH.14.188\*  
 MH.13.196\*  
 MH.12.287\*  
 MH.11.900  
 MH.19.539\*  
 MH.14.871\*  
 MH.13.100\*  
 MH.18.925\*  
 MH.14.564\*  
 MH.13.196\*



**LEGEND**  
 T TRENCH STOPS  
 REFER TCC STD  
 DWG SD-482

	FUTURE STAGE 207				STAGE 206									STAGE 206																	
DIAMETER	2250	2250	2250		1500	1500	1500	1500	1500	1500		1500	1500		1500	1500															
GRADE	1 in -228	1 in -228	1 in -48.11		1 in -29	1 in -32	1 in -31	1 in -66	1 in -25	1 in -134		1 in -12	1 in -42		1 in -14	1 in -56															
DATUM RL.	0.000				0.000							0.000		0.000		0.000															
FINISHED SURFACE LEVEL	13.882		12.80*	12.186*	11.11*	18.854*		15.983*	14.01*	12.950*	12.930*	12.059*	11.767*	19.405*		14.688*	12.930*	18.830*		14.410*	12.950*										
INVERT LEVEL	11.660	11.570	11.396*	11.202*	8.812*	17.570*	17.487*	14.902*	14.082*	12.940*	12.807*	11.794*	11.650*	11.357*	11.218*	10.186*	10.173*	10.008*	17.884*	17.815*	13.204*	13.082*	11.249*	11.218*	17.272*	17.190*	13.132*	13.070*	11.822*		
DEPTH TO INVERT OF SEWER	2.222	2.312	1.404	1.408	0.984	2.447	2.298	1.284	1.367	1.081	1.901	1.070	1.203	1.156	1.300	1.573	1.712	1.873	1.886	1.759	1.571	1.590	1.484	1.606	1.681	1.712	1.558	1.640	1.278	1.340	1.128
MANHOLE SETOUT	55.904	40.403	39.157*	43.294*		74.963*		35.976*	31.171*	19.350*	25.380*	27.034*	57.229*		77.629*	58.107*		69.550*													
LINE	L17a1a				L17a1a7							L17a1a7a		L17a1a7b																	

**SEWERAGE LONGITUDINAL SECTIONS**  
 SCALE 1:1000 HORIZONTAL, SCALE 1:100 VERTICAL

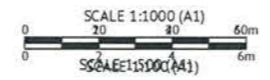
No.	Date	Details	Check
A	12.04.21	Original Issue	GEO

Level Datum: AHD (DERIVED)  
 B.M. Used: PM204181 RL:10.188  
 Coordinate Projection: Plane Rectangular  
 Coordinate Datum: Arbitrary  
 Origin of Coordinates: PM204181  
 Meridian: MGA94 (Zone 55)  
 Map Reference:  
 Contour Interval:  
 Job No: 27001-158-01  
 File No: 27001\_227a.dwg

Surveyed by: BM  
 Drawn: MUM  
 Approved:

BRAZIER MOTTI PTY LTD (ACN 066 411 041), 595 Sanders Street, Townsville hereby certifies that this Drawing accurately and correctly describes and records the nature and location of the works depicted by asterisks (\*) and that the works have been constructed for subdivision.

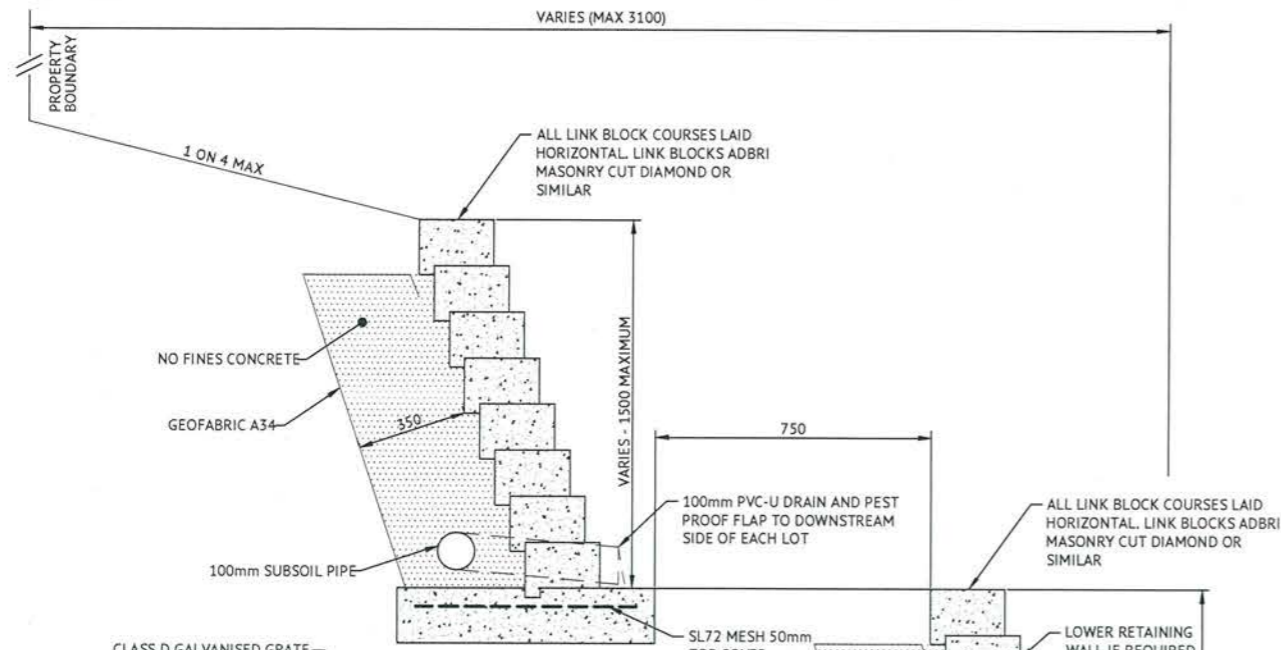
*[Signature]*  
 Director  
 Date: 13-04-21



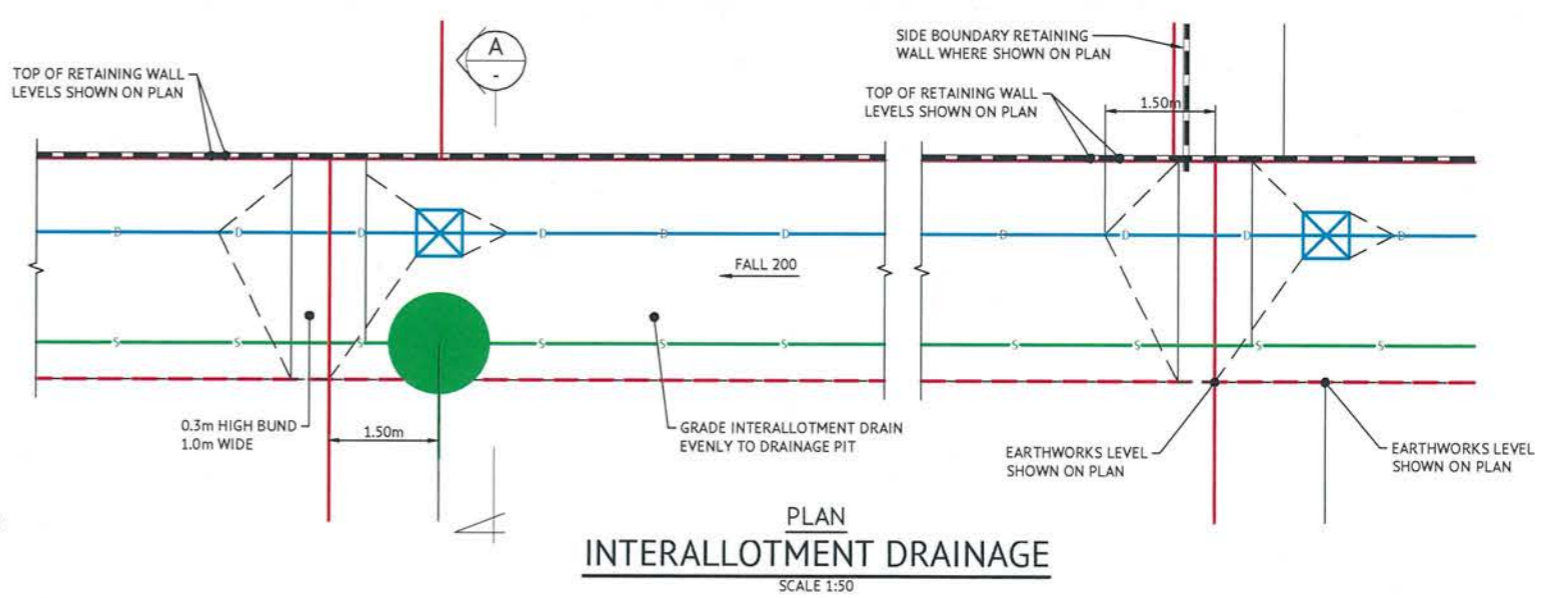
Client: **PARKSIDE DEVELOPMENT PTY LTD**  
 Project: **COSGROVE STAGE 206  
 COSGROVE DRIVE, COSGROVE  
 SEWERAGE LONGITUDINAL PLAN**  
 Local Authority: Townsville City Council

Date: 12th April, 2021  
 Sheet 1 of 1 Sheets  
 Scale: AS SHOWN  
 Plan No: 27001/227 A

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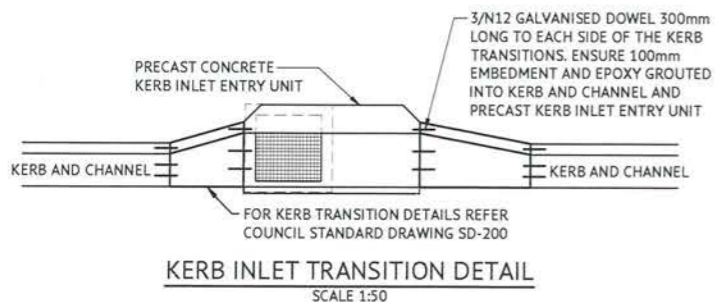
**TYPICAL SECTION A  
LINK BLOCK WALL DETAIL**  
SCALE 1:10



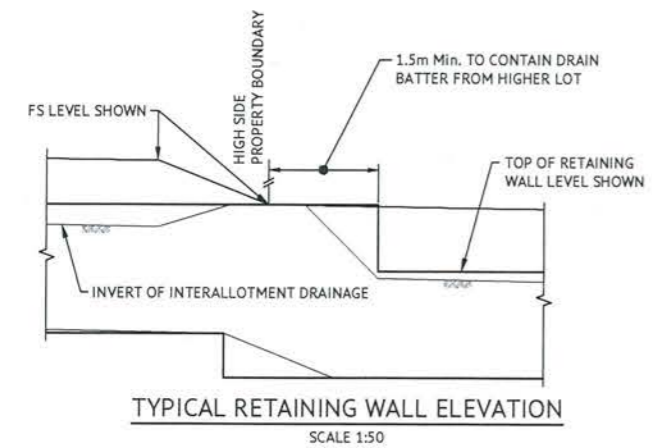
**PLAN  
INTERALLOTMENT DRAINAGE**  
SCALE 1:50



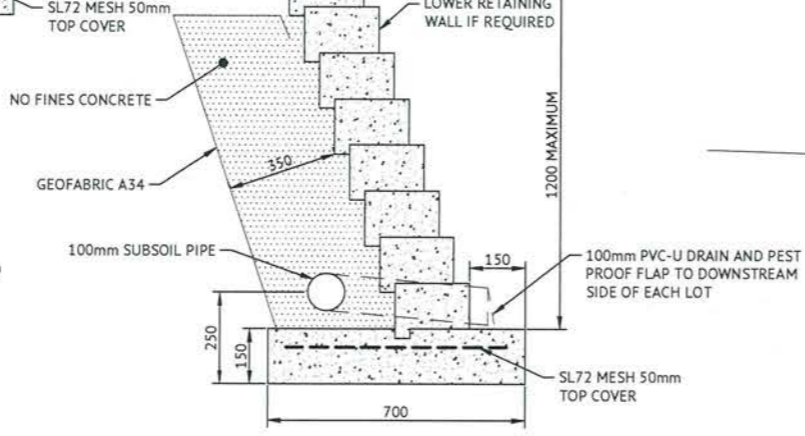
**GRATED STORMWATER MANHOLE DETAIL**  
SCALE 1:20



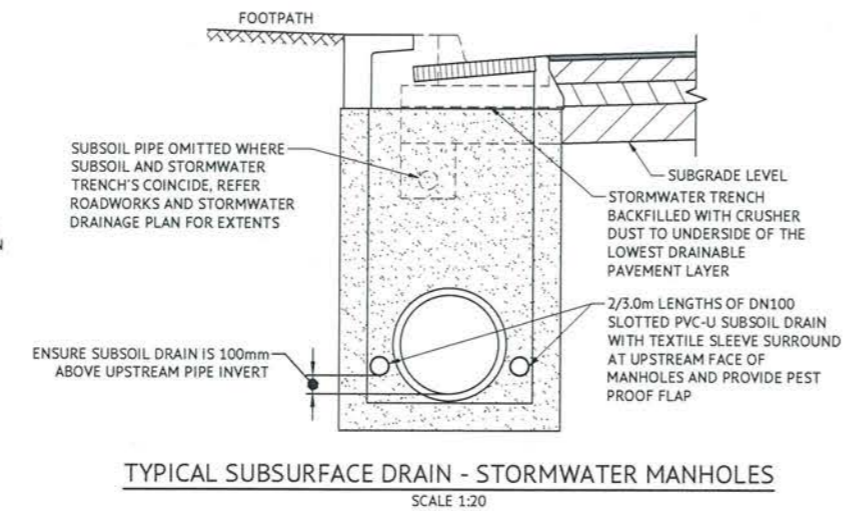
**KERB INLET TRANSITION DETAIL**  
SCALE 1:50



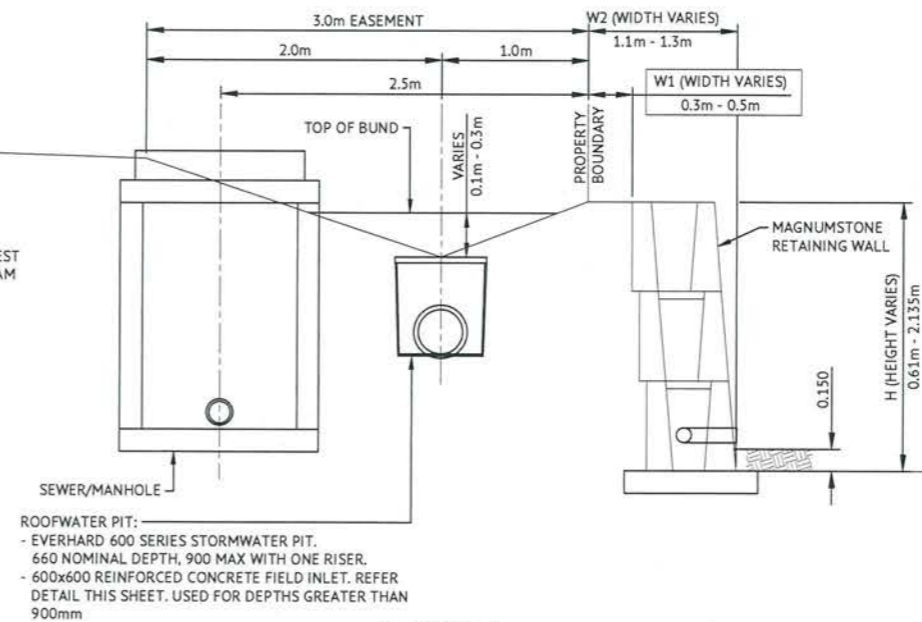
**TYPICAL RETAINING WALL ELEVATION**  
SCALE 1:50



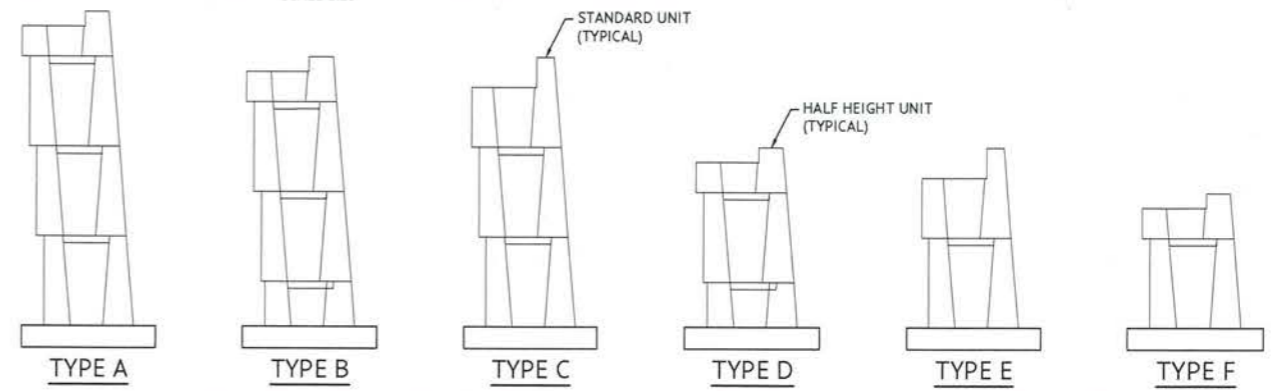
**TYPICAL SECTION A  
LINK BLOCK WALL DETAIL**  
SCALE 1:10



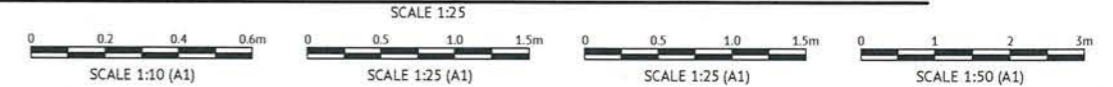
**TYPICAL SUBSURFACE DRAIN - STORMWATER MANHOLES**  
SCALE 1:20



**SECTION A  
INTERALLOTMENT DRAINAGE DETAIL**  
SCALE 1:25



**MAGNUMSTONE RETAINING WALL - TYPICAL CONFIGURATIONS**



**RETAINING WALL NOTES:**

1. RETAINING WALLS CONSTRUCTED IN ACCORDANCE WITH THE MANUFACTURERS STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
2. MINIMUM ASSUMED BASE BEARING CAPACITY = 150kPa.
3. DRAINAGE PIPE 100mm Ø PERFORATED DRAINAGE PIPE SURROUNDED BY 20mm BLUE METAL (SCREENED) WRAPPED IN GEOTEXTILE FABRIC. DRAIN TO DAYLIGHT.
4. CONTROLLED BACKFILL IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION.
5. THE DESIGN IS BASED ON RETAINING IN-SITU MATERIAL FOR AN AVERAGE SOIL GROUP (REFER TABLE D4, AS4678), WITH A MINIMUM INTERNAL FRICTION ANGLE OF 29° AND MAXIMUM BULK DENSITY OF 19kNm<sup>3</sup>. CONFIRM ON SITE.
6. RETAINING WALLS DESIGNED AS CLASS B IN ACCORDANCE WITH AS4378.
7. NO STRUCTURAL FENCE CONSTRUCTED WITHIN A DISTANCE OF "H" FROM THE RETAINING WALL WITHOUT ENGINEERING APPROVAL.
8. RETAINING WALLS NOT SUITABLE FOR FLOOD PRONE AREAS. CONTACT ENGINEER IF SIGNIFICANT GROUND WATER ENCOUNTERED IN RETAINED MATERIAL DURING CONSTRUCTION.
9. NO ROADS WITHIN "H" OF RETAINING WALLS.

No.	Date	Details	Check
A	12.04.21	Original Issue	GED

Level Datum: AHD (DERIVED)  
 B.M. Used: PM204181 RL10.188  
 Coordinate Projection: Plane Rectangular  
 Coordinate Datum: Arbitrary  
 Origin of Coordinates: PM204181  
 Meridian: MGA94 (Zone 55)  
 Map Reference:  
 Contour Interval:  
 Job No: 27001-158-01  
 File No: 27001\_228A.dwg

Surveyed by: BM  
 Drawn: MJM  
 Approved:

MENDI CONSTRUCTIONS PTY LTD DO HEREBY CERTIFY THAT THE WORKS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND CONTRACT DOCUMENTS APPROVED BY COUNCIL FOR THE CONSTRUCTION OF THE PROJECT.

AUTHORISED REPRESENTATIVE: *[Signature]*  
 DATE: 19/04/21

PREMISE DO HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE 'AS CONSTRUCTED' DRAWINGS REFLECT ANY CHANGES THAT WERE MADE DURING THE COURSE OF CONSTRUCTION.

RPEQ: *[Signature]* 13231  
 DATE: 19.04.21

Client: **PARKSIDE DEVELOPMENT PTY LTD**  
 Project: **COSGROVE STAGE 206  
 COSGROVE DRIVE, COSGROVE  
 MISCELLANEOUS DETAILS**

Local Authority: Townsville City Council

Date: 12th April, 2021  
 Sheet: 1 of 1 Sheets  
 Scale: AS SHOWN  
 Plan No: 27001/228 A

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 MAPPING & GIS



### LEGEND

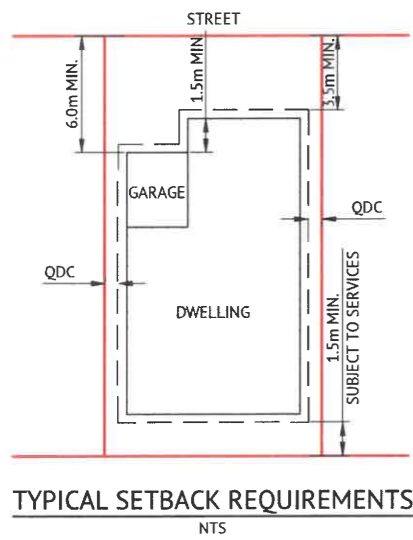
- SEWER MAIN & MANHOLE
- WATER MAIN, FIRE HYDRANT & SLUICE VALVE
- STORMWATER DRAINAGE LINE
- SUBSOIL DRAIN & CLEANOUT POINT
- EXISTING SEWER MAIN & MANHOLE
- EXISTING WATER MAIN
- EXISTING STORMWATER
- ALLOWABLE DRIVEWAY ACCESS
- BUILT TO BOUNDARY GARAGE AS PER QDC
- BUILDING SETBACK, REFER NOTE 3
- LINK BLOCK RETAINING WALL
- EXISTING LINK BLOCK RETAINING WALL
- PREFERRED DRIVEWAY LOCATION
- ERGON CABINET LOCATION

- ### DRIVEWAY ACCESS ENVELOPE
- FOR DRIVEWAY ACCESS ENVELOPE ALLOW 0.5m MINIMUM CLEARANCE TO ALL COUNCIL INFRASTRUCTURE, EXCEPT STORMWATER PITS WHICH REQUIRE 0.6m MINIMUM CLEARANCE AND SEWERAGE HOUSE CONNECTIONS WHICH REQUIRE 1.2m MINIMUM CLEARANCE.
  - ALL DRIVEWAYS REQUIRED A PERMIT FROM COUNCIL PRIOR TO CONSTRUCTION
- ### CORNER SIGHT LINES
- COMPLY WITH SIGHT LINES REQUIREMENT OF THE QUEENSLAND AND DEVELOPMENT CODE ON ROAD CORNERS. THIS IS TYPICALLY A 9m x 9m EXCLUSION ZONE BASED ON BOUNDARIES.
  - FOR CLOPPED CORNERS AND LOTS WITH PARK FRONT AGES TYPICALLY THIS IS A 18m x 18m EXCLUSION ZONE BASED ON THE EDGE OF THE TRAFFIC LANE. REAR ACCESS LANES ARE EXEMPTED FROM THIS REQUIREMENT.

## BUILDING ENVELOPE AND DRIVEWAY ACCESS PLAN

SCALE 1:250

- ### BUILDING SETBACK
- "SETBACK" MEANS A LINE OR LINES PARALLEL TO ANY BOUNDARY OF A LOT BEYOND WHICH THE BUILDING OR OTHER STRUCTURE SHALL NOT ENCROACH, AND MEASURED AS THE SHORTEST HORIZONTAL DISTANCE FROM THE OUTERMOST PROJECTION OF THE BUILDING OR OTHER STRUCTURE TO THE VERTICAL PROJECTION OF THE LOT BOUNDARY (TOWNSVILLE CITY PLAN 2005, PAGE 491).
  - THE BUILDING ENVELOPES ARE TO COMPLY WITH THE DESIGN CODE SHOWN ON THIS PLAN. GREATER SETBACKS MAY BE REQUIRED TO ACCOMMODATE THE ZONE OF INFLUENCE OF UNDERGROUND SERVICES AS STATED IN COUNCIL'S POLICY ON BUILDING OVER OR ADJACENT TO SEWERS.
  - DIMENSIONS ARE QDC GROUND DWELLING ONLY AND DO NOT ACCOUNT FOR BATTERS OR RETAINING WALLS. A SITE INSPECTION IS REQUIRED PRIOR TO COMMENCEMENT OF DESIGN. REFER DESIGN CODE FOR UPPER FLOOR AND GARAGE SETBACKS.



### NOTES

- 60% MAXIMUM SITE COVERAGE.
- FOR FRONT SETBACK TO GARAGE, MEASURE FROM THE FRONT BOUNDARY TO THE GARAGE OPENING (WALL).
- ALL OTHER SETBACKS ARE MEASURED FROM THE BOUNDARY TO THE OUTERMOST PROJECTIONS.

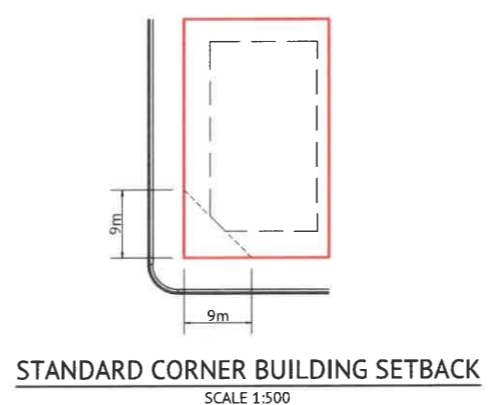
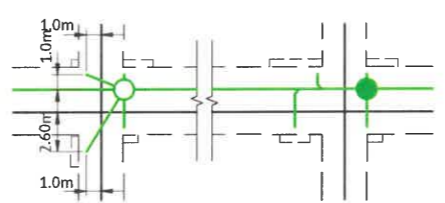
### DEVELOPERS NOTE

FOOTINGS, SLABS AND WALLS OF DWELLING MUST BE DESIGNED AND CONSTRUCTED TO NOT COMPROMISE THE EXISTING RETAINING WALL. ANY PERMANENT LOAD WITHIN 1.5 BY WALL HEIGHT FROM BACK OF RETAINING WALL MUST BE SELF-SUPPORTING WITHOUT SURCHARGING THE RETAINING WALL

FENCE POSTS TO THE REAR OF RETAINING WALLS MUST EXTEND TO DEPTH EQUAL TO HEIGHT OF WALL.

X.X m DENOTES WALL HEIGHT  
DENOTES WALL LOCATION

LIGHT POLES & TELSTRA PITS HAVE NOT BEEN SHOWN AS APPROVED PLANS HAVE NOT BEEN RECEIVED TO DATE



### DESIGN CODE - ALL ALLOTMENTS

TYPE	HOUSE, FRONT LOADED
LOT ACCESS	FRONT
LOT DEPTH (MIN)	25m (20m WHERE 15m WIDTH PROPOSED)
LOT WIDTH (MIN)	10.0m
SITE COVERAGE	MAY EXCEED 50% IN RESPONSE TO CODE REQUIREMENTS, BUT NO MORE THAN 60% SITE COVERAGE.
SETBACK FRONT GROUND (MIN) AND UPPER (MIN)	3.5m
SETBACK FRONT GARAGE	6m AND 1.5m BEHIND FRONT OF DWELLING
SETBACK PRINCIPAL SIDE GROUND (MIN)	QUEENSLAND DEVELOPMENT CODE
SETBACK PRINCIPAL SIDE UPPER (MIN)	QUEENSLAND DEVELOPMENT CODE
SETBACK SECONDARY ROAD FRONTAGE (MIN)	2m
SETBACK PRINCIPAL REAR (MIN)	1.5m (SEWER LINES AND MANHOLES MAY ENFORCE GREATER SETBACKS)*
OUTBUILDING (SHED) WIDTH (MAX)	LESSER OF 50% OF REAR BOUNDARY OR 9m
OUTBUILDING (SHED) DEPTH (MAX)	9m
OUTBUILDING (SHED) REAR SETBACK	0-1.0m
OUTBUILDING (SHED) SIDE SETBACK	ZERO IF LOT 12.5m WIDE. AS PER PRINCIPAL SETBACK IF LOT >12.5m WIDE
FLOOR HEIGHT PRINCIPAL (MIN)	400mm
MAXIMUM STOREYS	AS PER THE APPLICABLE SCHEME
PRIVATE OPEN SPACE (MIN) (MAY BE COVERED)	4mx4m
PARKING (MIN)	TWO (2), ONE OF WHICH MUST BE COVERED

\*NOTE: CLEARANCES TO SEWER LINES AND MANHOLES ARE REQUIRED IN ACCORDANCE WITH COUNCIL POLICY.

### FOR CONSTRUCTION

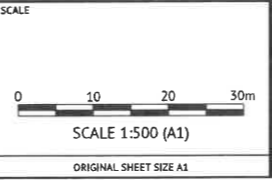
DATE	REV	DESCRIPTION	REC	APP
14/10/20	C	LOT 280 ADDED, LOTS 281 AND 279 AMENDED TO SUIT	BC	PP
14/09/20	B	REVISED LOT LAYOUT	BC	PP
17/12/19	A	REVISED LOT LAYOUT	BC	PP
01/11/19	2	ISSUED FOR OPERATIONAL WORKS APPROVAL	GC	PP
26/06/18	1	PRELIMINARY ISSUE	GC	PP

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ENGINEERING CERTIFICATION

P.PETERSEN RPEQ 13231



CLIENT: **PARKSIDE DEVELOPMENT PTY LTD**

PROJECT: **COSGROVE - STAGE 206**

LOCATION: **COSGROVE DRIVE - COSGROVE**

SHEET TITLE: **BUILDING ENVELOPE AND DRIVEWAY ACCESS PLAN**

JOB CODE: **PAR-0220**

SHEET NUMBER	REV
<b>C019</b>	<b>C</b>